

RESOLUTION No. 25-38

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR UF COMMUNICATIONS, LLC, FOR ±2.49 ACRES FOR THE PROPERTY LOCATED AT 6010 NORTHWEST 102 AVENUE, DORAL, FLORIDA, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Chapter 53 "Administration", Article III. Development Procedures, Sec. 53-184(f) of the City's Land Development Code, establishes the site plan review and approval procedures for the Mayor and City Council to review and approve the site plan; and

WHEREAS, UF Communications, LLC (the "Applicant") is seeking site plan approval for the property located at 6010 Northwest 102 Avenue, further identified by the Miami-Dade County Property Appraiser by Folio Nos. 35-3017-001-0394 and 35-3017-001-0393 (the "Property"), as legally described in "Exhibit A" (the "Project"); and

WHEREAS, City staff finds that the proposed site plan, attached hereto as "Exhibit B," complies with the requirements and standards of the City's Land Development Code and Comprehensive Plan; and

WHEREAS, a zoning workshop was held on October 15, 2024, during which the public was afforded an opportunity to examine the Project and provide feedback; and

WHEREAS, the City Council reviewed the site plan application, the written and oral recommendations of the Planning and Zoning Department, including the recommended conditions, and hereby finds competent substantial evidence to find the site plan is in compliance with the City's Comprehensive Plan and Land Development Regulations, and that the site plan maintains the basic intent and purpose of the zoning, subdivision or other

land use regulations, which is to protect the general welfare of the public, and further finds that the site plan application should be granted.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

Section 1. Recitals. The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

Section 2. Findings and Conclusions. Based upon an analysis of the site plan application and standards for approval of a site plan under the City's Land Development Regulations, the City Council hereby finds and concludes that the Applicant's request for site plan, as more particularly set forth in "Exhibit B," is in compliance with the Comprehensive Plan and the Land Development Regulations of the City, and there is substantial competent evidence to support approval of the Application.

Section 3. Approval. The Mayor and City Council hereby approve the site plan for Collection Suites II, for the property located at 6010 Northwest 102 Avenue, further identified by folio numbers 35-3017-001-0394 and 35-3017-001-0393, as legally described in "Exhibit A." The proposed site plan consists of a one-story storage building with mezzanines as well as a central showroom/clubhouse building and separate manager's office structure, with a combined floor area of approximately 56,954 square feet. A copy of the site plan is provided in "Exhibit B." The approval of the site plan is subject to the following conditions:

1. The Project shall be built in substantial compliance with the plans entitled "Collection Suites II By: UF Communications, LLC," prepared by V3 Architectural Group, dated stamped received June 26, 2024.

2. The Project shall be landscaped in accordance with the landscape plan prepared by V3 Architectural Group, dated stamped received June 26, 2024, as amended, and included with the site plan submittal.
3. The Public Works Department recommends approval. Advisory comments below are necessary during site plan review process and implementation of the project:
 - Approval is subject to review from City of Doral Public Works Department - Plans Review.
 - Compliance with the applicable sections of the City's Land Development Code Chapter 77.
 - Implementation of the proposed project dealing with roadway construction work, installation of signage, pavement markings and other needed items shall conform to all applicable requirements, standards and regulations of the latest version of the Manual on Uniform Traffic Control Devices (MUTCD), City of Doral, Miami-Dade County Department of Transportation and Public Works, and Miami-Dade Fire Rescue Department.
4. The Applicant shall comply with Ordinance No. 2015-09 "Public Arts Program," as amended, at the time of building permit (if applicable).
5. The Applicant shall comply with Chapter 63, "Green Building Incentives," of the City's Land Development Code at the time of building permit (if applicable).
6. The Applicant shall comply with the City's Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City's Code.
7. The Applicant shall provide the Building Department a certified drainage inspection report prior to the issuance of a certificate of occupancy.
8. The property owner shall maintain the landscaping within the public rights-of-way adjacent to the property. Maintenance includes trees, plants, sod, and other landscape material.
9. The Applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management

systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.

10. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP), Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>. Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.
11. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 "Noise Ordinance."
12. The Applicant shall comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.
13. The Applicant shall comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.
14. All applicable local, state and federal permits must be obtained before commencement of the development.
15. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

Section 4. Effective Date. This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Councilmember Pineyro who moved its adoption. The motion was seconded by Councilmember Reinoso and upon being put to a vote, the vote was as follows:

Mayor Christi Fraga	Yes
Vice Mayor Maureen Porras	Yes
Councilwoman Digna Cabral	Yes
Councilman Rafael Pineyro	Yes
Councilwoman Nicole Reinoso	Yes

PASSED AND ADOPTED this 27 day of January, 2025.



CHRISTI FRAGA, MAYOR

ATTEST:



CONNIE DIAZ, MMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



LORENZO COBIELLA
GASTESI, LOPEZ, MESTRE & COBIELLA, PLLC
CITY ATTORNEY

EXHIBIT “A”



CITY OF DORAL

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that on **Monday, January 27, 2025 at 5:00 p.m.** the City of Doral City Council will hold a Public Hearing **to consider a site plan.** The Hearing will take place at the **City of Doral Government Center Council Chambers**, located at **8401 NW 53 Terrace, Doral, Florida 33166.**

The City of Doral proposes to adopt the following Resolution:

Resolution No. 2025-

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR COLLECTION SUITES II, FOR ± 2.5 ACRES OF THE PROPERTY GENERALLY LOCATED SOUTH OF 6010 NW 102 AVENUE, DORAL, FLORIDA, FURTHER IDENTIFIED BY MIAMI-DADE COUNTY PROPERTY APPRAISER FOLIO Nos. 35-3017-001-0393 AND 35-3017-001-0394, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE

HEARING NO.: 25-01-DOR-16

APPLICANT: UF Communications, LLC (the "Applicant")

PROJECT NAME: Collection Suites 2

PROPERTY OWNER: Galileax Two, LLC

LOCATION: Property generally located south of 6010 NW 102 Avenue, Doral, FL

FOLIO NUMBER: 35-3017-001-0393 and 35-3017-001-0394

SIZE OF PROPERTY: ± 2.5 acres

FUTURE LAND USE MAP CATEGORY: Business and Industrial

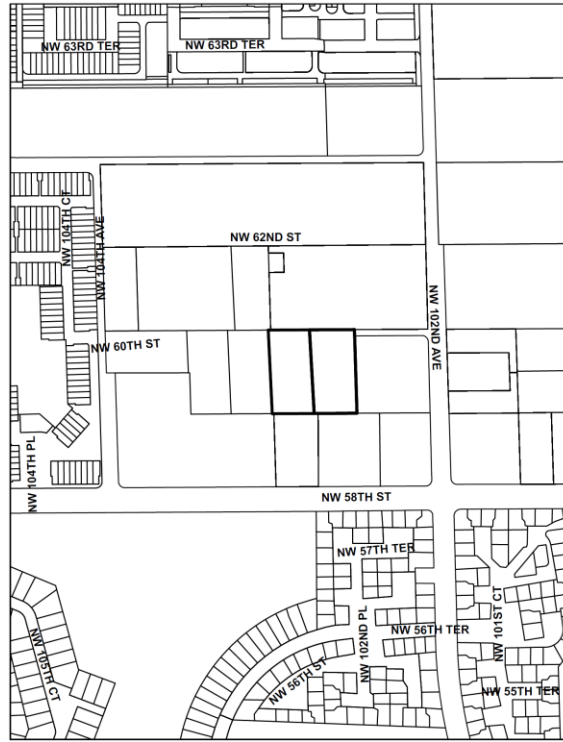
[Ord. No. 2025-01 – pending amendment to the City's Comprehensive Plan Future Land Use Map designation from Business to Industrial for Folio No. 35-3017-001-0393.]

ZONING DISTRICT: Commercial Corridor (CC) and Industrial Commercial (IC)

[Ord. No. 2025-02 – pending zoning map amendment from Commercial Corridor (CC) to Industrial Commercial (IC) for Folio No. 35-3017-001-0393.]

REQUEST: The Applicant proposes a one-story storage building with mezzanines, a central showroom building, and separate manager's office structure. The combined floor area of the proposed buildings is approximately 56,954 square feet.

Location Map



Inquiries regarding the item may be directed to the Planning and Zoning Department at 305-59-DORAL or via email at planningandzoning@cityofdoral.com

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decisions made by the City Council with respect to any matter considered at such meeting or hearing, they will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. This notice does not constitute consent by the City for introduction or admission of otherwise inadmissible or irrelevant evidence, nor does it authorize challenges or appeals not otherwise allowed by law. Persons with disabilities requiring accommodations in order to participate in this public hearing should contact the Office of the City Clerk at 8401 NW 53 Terrace, Doral, Florida, telephone number (305) 593-6730, no later than three (3) business days prior to such proceedings.

Connie Diaz, MMC
City Clerk, City of Doral

EXHIBIT “B”

U-SHAPED COLLECTION SUITES

5990 N.W. 102ND AVE. DORAL, FL. 33178

Submittal Graphic Symbols Definitions		PERMIT SET - 11.15.22	REV. 1 - 11.15.22	REV. 2 - 02.27.23	REV. 3 - 05.12.23	REV. 4 - 06.28.23	REV. 5 - 08.08.24	REV. 6 - 08.08.24	REV. 7 - 08.08.24	REV. 8 - 08.08.24	REV. 9 - 08.28.24
NEW / REVISED											
RE-ISSUED WITHOUT REVISION											
PREVIOUSLY SUBMITTED											
INDEX OF DRAWINGS											
COVER COVER SHEET / INDEX OF DRAWINGS											
CIVIL											
C-1	EROSION & SEDIMENT CONTROL PLAN										
C-2	PAVING, GRADING & DRAINAGE PLAN										
C-3	CIVIL DETAILS 1										
C-4	CIVIL DETAILS 2										
C-5	CIVIL DETAILS 2										
C-6	PAVEMENT MARKETING & SIGNAGE PLAN										
WS-2	WATER & SEWER PLAN										
LANDSCAPE											
LA-1	PLANTING PLAN										
LA-2	PLANTING NOTES, SPECIFICATIONS, AND DETAILS										
LA-3	IRRIGATION PLAN										
LA-4	IRRIGATION PLAN										
LA-5	IRRIGATION DETAILS										
ARCHITECTURAL											
A-0.1	GENERAL NOTES										
A-0.2	GENERAL NOTES										
LS-1.0	PROPOSED GROUND LEVEL LIFE SAFETY PLAN										
LS-2.0	PROPOSED SECOND FLOOR LIFE SAFETY PLAN										
A-1.0	PROPOSED SITE PLAN										
A-1.1	PROPOSED MASTER SITE										
A-2.0	PROPOSED GROUND LEVEL OVERALL PLAN										
A-2.1	PROPOSED GROUND LEVEL ENLARGED PLAN "A"										
A-2.2	PROPOSED GROUND LEVEL ENLARGED PLAN "B"										
A-2.3	PROPOSED GROUND LEVEL ENLARGED PLAN "C"										
A-2.4	PROPOSED GROUND LEVEL ENLARGED PLAN "D"										
A-2.5	PROPOSED GROUND LEVEL ENLARGED PLAN "SHOWROOM & MANAGERS OFFICE"										
A-2.6	PROPOSED MEZZANINE LEVEL OVERALL PLAN										
A-2.7	PROPOSED ROOF PLAN										
A-3.0	PROPOSED REFLECTED CEILING GROUND LEVEL OVERALL PLAN										
A-3.1	PROPOSED REFLECTED CEILING GROUND LEVEL ENLARGED PLAN "A"										
A-3.2	PROPOSED REFLECTED CEILING GROUND LEVEL ENLARGED PLAN "B"										
A-3.3	PROPOSED REFLECTED CEILING GROUND LEVEL ENLARGED PLAN "C"										
A-3.4	PROPOSED REFLECTED CEILING GROUND LEVEL ENLARGED PLAN "D"										
A-3.5	PROPOSED REFLECTED CEILING GROUND LEVEL ENLARGED SHOWROOM & MANAGER'S OFFICE										
A-3.6	PROPOSED ENLARGED BATHROOM										
A-3.7	PROPOSED ENLARGED BATHROOM										
A-4.0	PROPOSED EXTERIOR ELEVATIONS										
A-4.1	PROPOSED EXTERIOR ELEVATIONS										
A-4.2	PROPOSED EXTERIOR ELEVATIONS										
A-4.3	PROPOSED EXTERIOR ELEVATIONS										
A-4.4	PROPOSED EXTERIOR ELEVATIONS										
A-4.5	PROPOSED EXTERIOR ELEVATIONS										
A-4.6	PROPOSED EXTERIOR ELEVATIONS										
A-4.7	PROPOSED EXTERIOR ELEVATIONS										
A-4.8	PROPOSED EXTERIOR ELEVATIONS										
A-5.0	PROPOSED SECTIONS										
A-5.1	PROPOSED SECTIONS										
A-5.2	PROPOSED SECTIONS										
A-5.3	PROPOSED SECTIONS										
A-5.4	PROPOSED ELEVATOR SECTION										
A-6.0	PROPOSED WALL TYPES										
A-7.0	PROPOSED DOOR SCHEDULE										
A-7.1	PROPOSED WINDOW SCHEDULE										
A-7.2	DOOR & WINDOWS DETAILS										
A-7.3	DOOR & WINDOWS DETAILS										
A-8.0	DETAILS										
A-8.1	DETAILS										
A-8.2	DETAILS										
A-8.3	ROOF DETAILS										
A-9.0	FIRE STOP										
A-9.1	FIRE STOP										
A-9.2	FIRE STOP										
A-9.3	FIRE STOP										
STRUCTURAL											
S-100	GENERAL NOTES										
S-101	WIND PRESSURES										
S-200	FOUNDATION FLOOR PLAN										
S-201	FOUNDATION FLOOR PLAN										
S-202	FOUNDATION FLOOR PLAN										
S-203	FOUNDATION FLOOR PLAN										
S-204	FDN. MEZZ. & RF. FLOOR PLAN										
S-205	FOUNDATION FLOOR PLAN										
S-206	MEZZANINE FLOOR PLAN										
S-207	MEZZANINE FLOOR PLAN										
S-208	MEZZANINE FLOOR PLAN										
S-209	ROOF FLOOR PLAN										
S-210	ROOF FLOOR PLAN										
S-211	ROOF FLOOR PLAN										
S-212	ROOF FLOOR PLAN										
S-300	SECTIONS & DETAILS										
S-301	SECTIONS & DETAILS										
S-302	SECTIONS & DETAILS										
S-400	TILT-UP DETAILS										
MECHANICAL											
M-1.1	MECHANICAL FLOOR PLAN										
M-1.2	MECHANICAL FLOOR PLAN										
M-1.3	MECHANICAL FLOOR PLAN										
M-1.4	MECHANICAL FLOOR PLAN										
M-2.1	MECHANICAL CEILING PLAN										
M-2.2	MECHANICAL CEILING PLAN										
M-2.3	MECHANICAL CEILING PLAN										
M-2.4	MECHANICAL CEILING PLAN										
M-3.1	MECHANICAL ROOF PLAN										
M-3.2	MECHANICAL ROOF PLAN										
M-4.0	MECHANICAL NOTES & SCHEDULES										
M-4.1	MECHANICAL DETAILS										
ELECTRICAL											
E-1	FIRST FLOOR PLAN - SIDE B										
E-2	FIRST FLOOR PLAN - SIDE A										
E-3	FIRST FLOOR PLAN - SIDE C										
E-4	FIRST FLOOR PLAN - SIDE C										
E-5	FIRST FLOOR PLAN - SIDE A										
E-6	FIRST FLOOR PLAN - SIDE B										
E-7	FIRST FLOOR PLAN - SIDE C										
E-8	FIRST FLOOR PLAN - SIDE D										
E-9	MEZZANINE LEVEL - SIDE A										
E-10	MEZZANINE LEVEL - SIDE B										
E-11	MEZZANINE LEVEL - SIDE C										
E-12	MEZZANINE LEVEL - SIDE D										
E-13	ROOF LEVEL - SIDE A										
E-14	ROOF LEVEL - SIDE B										
E-15A	RISERS, PANELS, AND NOTES										
E-15B	PANELS										
E-16	SITE PLAN-TELEPHONE CONDUIT LAYOUT										
E-17A	LOW VOLTAGE PLAN-SIDE A										
E-17B	LOW VOLTAGE PLAN-SIDE B										
E-18A	LOW VOLTAGE PLAN-SIDE A										
E-18B	LOW VOLTAGE PLAN-SIDE B										
ES-1	SITE PHOTOMETRIC										
PLUMBING											
P-1A	PARTIAL FIRST FLOOR PLAN										
P-1B	PARTIAL FIRST FLOOR PLAN										
P-2	PLUMBING DETAILS										
P-3	PLUMBING DETAILS										
P-4A	PARTIAL ROOF PLAN										
P-4B	PARTIAL ROOF PLAN										
P-5	GENERAL SANITARY ISOMETRIC										
P-6	GENERAL WATER ISOMETRIC										
P-7	PLUMBING DETAILS										
FIRE PROTECTION											
FP-1	FIRE PROTECTION										
FP-2	FIRE PROTECTION										
FP-3	FIRE PROTECTION										

ABBREVIATIONS			
@	ANCHOR BOLT	INSUL.	INSULATION
A.B.	ALTERNATE	INT.	INTERIOR
ALT.	ALUMINUM	J.C.	JANITOR'S CLOSET
ALUM.	ARCHITECTURAL	JT.	JOINT
ARCH.	ACOUSTICAL	LAV.	LAVATORY
A.T.	ACOUSTICAL TILE	L.C.C.	LEAD COATED COPPER
		LIN.	LINEAR
BD.	BOARD	L.L.	LIVE LOAD
BLDG.	BUILDING	L.P. (LP)	LOW POINT
BM.	BEAM		
B.O.	BY OTHER	MACH.	MACHINE
BRNG./BRG.	BEARING	MAX.	MAXIMUM
BRK.	BRICK	M.B.	MARKER BOARD
BSMT.	BASEMENT	M.E.	MECHANICAL & ELECTRICAL
B.U.	BUILT-UP	MECH.	MECHANICAL
		MET./METL./MET'L	METAL
C.B.	CHALKBOARD	MIN.	MINIMUM
CEIL./CLG.	CEILING	MISC.	MISCELLANEOUS
C.H.	CEILING HEIGHT	MFG.	MANUFACTURER
C.J.	CONTROL JOINT	M.T.	METAL THRESHOLD
CL	CENTERLINE	MAR.T.	MARBLE THRESHOLD
CLO.	CLOSET	MULL.	MULLION
CMU	CONCRETE	M.O.	MASONRY OPENING
C.O.	MASONRY UNIT	M.W.P.	MEMBRANE WATERPROOFING
COL.	CASED OPENING		
CONC.	CONCRETE	N	NORTH
CONF.	CONFERENCE	N.I.C.	NOT IN CONTRACT
CONST.	CONSTRUCTION	NO	NOT TO SCALE
CONT.	CONTINUOUS	NO.	NUMBER
CORR.	CORRIDOR	NOM.	NOMINAL
CSK.	COUNTERSUNK		
C.T.	CERAMIC TILE	O.C.	ON CENTER
		O.D.	OUTSIDE DIAMETER
DET.	DETAIL	OPP.	OPPOSITE
D.F.	DRINKING FOUNTAIN		
DIA.	DIAMETER	PL	PLATE
DIM.	DIMENSION	PSF	POUNDS PER SQUARE FOOT
DN.	DOWN	PSI	POUNDS PER SQUARE INCH
DO	DITTO	PTD.	PAINTED
D.P.	DAMP PROOFING		
D.S.	DOWN SPOUT	Q.T.	QUARRY TILE
D.T.	DRAIN TILE	R./RAD.	RADIUS/RISER
DWG.	DRAWING	RAIL	RAILING
		R.D.	ROOF DRAIN
EA.	EACH	REBAR.	REINFORCING BARS
EL.	ELEVATION	REIN.	REINFORCEMENT
ELEV.	ELEVATOR		AND/OR REINFORCING
E.P.	ELECTRICAL PANEL	R.L.	RAIN LEADER
E.Q.	EQUAL	R.M.	ROOM
EQUIPMT	EQUIPMENT	R.S.	REDUCING STRIP
E.W.	EACH WAY	R/W	RIGHT OF WAY
EXIST./EXS.	EXISTING	S.C.	SOLID CORE
EXP. JT./E.J.	EXPANSION JOINT	SEC.	SECRETARY
EXT.	EXTERIOR	SHT.	SHEET
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	S.F.	SMOOTH FINISH
		SPECS.	SPECIFICATIONS
F.D.	FLOOR DRAIN	S.S.	STAINLESS STEEL
F.X.C.	FIRE EXTING. CABINET	S/S	SERVICE SINK
F.X.H.C.	FIRE EXTINGUISHER & HOSE CABINET	STOR.	STORAGE
F.X.V.C.	FIRE EXTINGUISHER & VALVE CABINET	STRUCT.	STRUCTURE
		T.B.	TOWEL BAR
F.F.	FINISHED FLOOR	TE.	TELEPHONE
FLR./FL.	FLOOR	TEMP.	TEMPERED
F.R.	FIRE RATED	THK.	THICK
		T.P.	PAPER TOWEL DISPENSER
GA.	GAUGE	TYP.	TYPICAL
G.B.	GRAB BARS (HANDICAPPED)		
G.C.	GENERAL CONTRACTOR	U.C.	UNDER CUT
GALV.	GALVANIZED		
GRD.	GROUND	V.B.	VAPOR BARRIER
GYP. BD.	GYPSUM BOARD	V.C.T.	VINYL COMPOSITION TILE
		V.P.	VERTICAL
H.C.	HOLLOW CORE	V.I.F.	VERIFY IN FIELD
HD/CP.	HANDICAPPED		
HGT./HT.	HEIGHT	W.	WITH
H.M.	HOLLOW METAL	WD.	WOOD
HORIZ.	HORIZONTAL	W.P.	WATERPROOFING
H.P. (HP)	HIGH POINT	W.W.F.	WELDED WIRE FABRIC
HR	HOUR		



2 RENDERING PROPOSAL

SCALE: N.T.S.

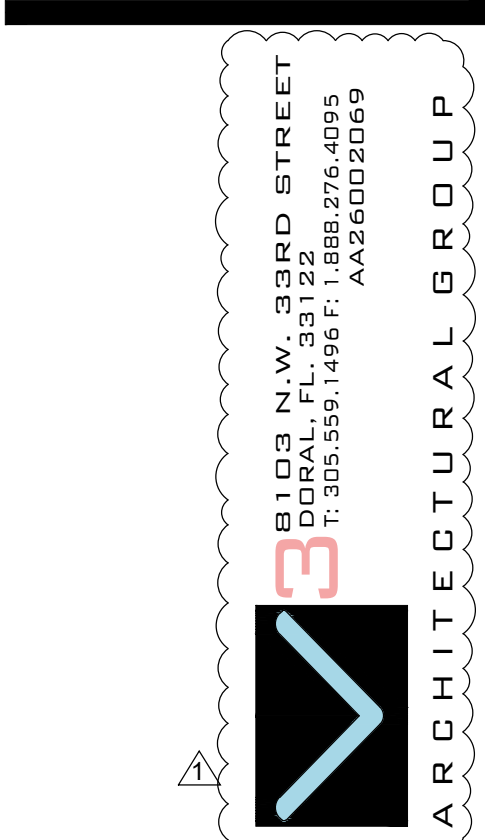


3 RENDERING PROPOSAL

SCALE: N.T.S.

PROJECT GENERAL DATA &

ARCHITECTURAL NOTES	GENERAL FINISH NOTES	CODE COMPLIANCE GENERAL NOTES	MILLWORK NOTES
<p>1. THE CONTRACTOR SHALL NOT DEVIATE FROM THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER AND REVISED PERMIT DRAWINGS. ANY DEVIATION CAN RESULT IN DELAYS, ADDITIONAL COSTS TO THE CONTRACTOR, AND FAILURE TO OBTAIN A FINAL INSPECTION AND/OR CERTIFICATE OF OCCUPANCY. ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THESE DRAWINGS.</p> <p>2. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 7TH EDITION (2020) OF THE FLORIDA BUILDING CODE, ZONING REQUIREMENTS AND ANY OTHER APPLICABLE CODE. THE CONTRACTOR SHALL UTILIZE METHODS OF CONSTRUCTION WHICH COMPLY WITH ALL APPLICABLE BUILDINGS CODES, STANDARDS AND ORDINANCES.</p> <p>3. THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE TO HAVE EXAMINED THE SITE WITH RESPECT TO ALL EXISTING FIELD CONDITIONS BEFORE SUBMITTING BID PROPOSALS, PERFORMING ANY WORK OR ORDERING ANY MATERIALS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ANY EXISTING AND NEW WORK AND SHALL BE RESPONSIBLE FOR VERIFYING ALL FIGURES AND DETAILS SHOWN ON THE DRAWINGS WHICH RELATE TO HIS WORK, PRIOR TO LAYING OUT THE WORK. HE SHALL BE RESPONSIBLE FOR ANY ERROR RESULTING FROM HIS FAILURE TO TAKE SUCH PRECAUTIONS. HE SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, PRIOR TO PERFORMING THE WORK.</p> <p>4. PRIOR TO START, TAKE ORDINARY PRECAUTIONS TO ACQUIRE ALL PERMITS, LICENSES, UTILITY CONNECTION CONFIRMATIONS, LANDLORD & GOVERNMENTAL APPROVAL, ETC., NECESSARY FOR FULL COMPLETION AND OCCUPANCY OF THE PROJECT.</p> <p>5. THE GENERAL CONTRACTOR SHALL LOCATE ALL GENERAL REFERENCE POINTS AND TAKE ORDINARY PRECAUTIONS TO PREVENT THEIR DISRUPTION. EACH PRIME SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF HIS OWN WORK AND SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATION MEASUREMENTS, AND OTHERS AS MAY BE REQUIRED OF HIS WORK. HE SHALL BE RESPONSIBLE FOR VERIFYING ALL FIGURES AND DETAILS SHOWN ON THE DRAWINGS WHICH RELATE TO HIS WORK, PRIOR TO LAYING OUT THE WORK. HE SHALL BE RESPONSIBLE FOR ANY ERROR RESULTING FROM HIS FAILURE TO TAKE SUCH PRECAUTIONS. HE SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, PRIOR TO PERFORMING THE WORK.</p> <p>6. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THAT ALL WORK IS COMPLETED IN A TIMELY, WORKMANLIKE MANNER, COMPLYING WITH THE OWNER/CONTRACTOR AGREEMENT AND ALL OF THE CONSTRUCTION DOCUMENTS.</p> <p>7. DIVISIONS OF THE WORK FOR SUBCONTRACTING PURPOSES SHALL BE AS PER THE GENERAL CONTRACTOR'S DIRECTION.</p> <p>8. IT SHALL BE THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO HAVE EXAMINED AND REVIEWED THE COMPLETE SET OF WORKING DRAWINGS, AND/OR SPECIFICATIONS TO PROVIDE ALL LABOR AND MATERIAL FOR THEIR RESPECTIVE AREA OF WORK FOR THE COMPLETE AND FINISHED INSTALLATION IN COMPLIANCE WITH THE INTENT OF THE DRAWING AND/OR SPECIFICATIONS, WHETHER IT IS INDICATED OR NOT. ALL WORK, WHETHER INDICATED OR NOT, SHALL BE IN COMPLIANCE WITH ALL BUILDING CODES AND ORDINANCES WHICH ARE APPLICABLE TO THE PROJECT.</p> <p>9. THE CONTRACTOR IS TO PROVIDE ALL THE SUPPLEMENTAL MATERIALS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.</p> <p>10. SUBCONTRACTORS SHALL COOPERATE WITH EACH OTHER AND WITH THE GENERAL CONTRACTOR TO PROVIDE MATERIALS AND LABOR THAT ARE NECESSARY IN EACH OTHERS WORK AT THE PROPER TIMES SO THAT THE CONSTRUCTION SCHEDULE IS NOT AFFECTED. THESE INTERFACINGS SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTORS WHOSE WORK IS AFFECTED AS SUCH.</p> <p>11. ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.</p> <p>12. PRODUCT MANUFACTURERS INDICATED IN SCHEDULE AND/OR ON PLANS WERE SELECTED BASED UPON QUALITY, SIZE, COLOR, ETC., AND ARE NOT INTENDED TO RESTRICT COMPETITIVE BIDDING. PRODUCTS "EQUAL TO", INTENDED TO BE USED AS SUBSTITUTES, ARE SUBJECT TO ARCHITECTS APPROVAL IN WRITING PRIOR TO PRODUCT PURCHASE AND INSTALLATION. WINDOWS AND EXTERIOR DOORS SHALL HAVE PRODUCTS APPROVAL AND BE INSTALLED AS OUTLINED IN THE NOTICE OF ACCEPTANCE.</p> <p>13. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SIGNAGE, BARRICADES, FENCING, LIGHTING, ETC., AS REQUIRED FOR THE PREVENTION OF THE PERSONAL INJURIES TO THE OWNERS, EMPLOYEES, REPRESENTATIVES, OR OTHERS WITHIN THE AREAS OF CONSTRUCTION.</p> <p>14. PROTECTIVE DEVICES TO BE INSTALLED COMPLY WITH THE REQUIREMENTS OF ALL LOCAL, STATE, AND NATIONAL GOVERNING CODES, AND OTHER GOVERNING FORM OF AUTHORITY.</p> <p>15. GENERAL CONTRACTOR SHALL TAKE ORDINARY PRECAUTIONS TO SECURE AND PROTECT MATERIALS TO BE RELOCATED AS DETERMINED BY THE OWNER OR ARCHITECT.</p> <p>16. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE PRIOR TO COMMENCEMENT OF WORK FOR THE OWNERS APPROVAL.</p> <p>17. THE CONTRACTOR SHALL REVIEW AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING FOR THE ARCHITECT REVIEW. THE CONTRACTOR IS TO SUBMIT SHOP DRAWINGS OF ALL SHOP FABRICATED ITEMS TO THE ARCHITECT FOR REVIEW, PRIOR TO FABRICATION. ARCHITECT SHALL HAVE AT LEAST TEN (10) WORKING DAYS TO REVIEW.</p> <p>18. THE CONTRACTOR SHALL PROVIDE 18"x18" PAINT SAMPLES (3) APPLIED ON THE FIELD (INTERIOR AND EXTERIOR APPLICATIONS) FOR ARCHITECT'S APPROVAL PRIOR MATERIAL PURCHASING.</p> <p>19. THE CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIAL FINISHES (INTERIOR & EXTERIOR) FOR ARCHITECTS APPROVAL</p> <p>20. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.</p> <p>21. UPON COMPLETION OF THE WORK, THE PREMISES SHALL BE CLEANED OF ALL DEBRIS WITH THE SITE LEFT CLEAN AND ORDERLY. SITE CONDITION TO BE APPROVED BY OWNER AND ARCHITECT.</p> <p>22. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY RESTROOM FACILITIES IN A NEAT AND SANITARY CONDITION, SUCH ACCOMMODATIONS FOR THE USE OF HIS EMPLOYEES AS MAY BE NECESSARY TO COMPLY WITH REGULATIONS OF THE STATE BOARD OF HEALTH AND SANITARY REGULATIONS OF THE INSTITUTION. NO NUISANCE WILL BE PERMITTED.</p>	<p>1) GENERAL CODE REQUIREMENT:</p> <p>a) ALL FINISHES SHALL COMPLY WITH THE 7th EDITION (2020) FLORIDA BUILDING CODE, CHAPTER 8. SHALL GOVERN THE USE OF MATERIALS AS INTERIOR FINISHES BY LIMITING THE ALLOWABLE FLAME SPREAD AND SMOKE DEVELOPMENT BASED ON LOCATION AND OCCUPANCY CLASSIFICATION.</p> <p>2) CARPET</p> <p>a) NOT APPLICABLE</p> <p>3) PAINT / WALLCOVERING:</p> <p>a) FOR DRYWALL PARTITIONS APPLY A COAT OF LATEX PRIMER OR PAINT TO SEAL ITS PAPER SURFACE. APPLY AS A SECOND COAT OF PAINT SOLVENT BASED OR WATER BASED PAINT IN THE SPECIFIED FINISH.</p> <p>b) NO PAINTING OR FINISHING SHALL BE DONE UNDER CONDITIONS WHICH WILL JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK. ALL WORKMANSHIP WHICH IS JUDGED LESS THAN FIRST QUALITY BY THE DESIGNER WILL BE REJECTED.</p> <p>c) ALL COLORS ARE TO BE SELECTED BY THE DESIGNER UNLESS OTHERWISE NOTED (U.O.N.).</p> <p>d) ALL SURFACES SHALL BE PREPARED TO RECEIVE THE SPECIFIED FINISH. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH AND PREPARED TO RECEIVE THE SPECIFIED FINISH. PAINT GRADE WOODWORK SHALL BE HAND SANDPAPERED BETWEEN COATS AND DUSTED CLEAN. ALL HOLES, PITCH POCKETS OR SAPPY PORTIONS SHALL BE SCRAPPED AND SHELLACKED, OR SEALED WITH KNOT SEALER, NAIL HOLES, CRACKS OR DEFECTS SHALL BE PUTTIED AFTER FIRST COAT, WITH PUTTY MATCHING COLOR OF STAIN OR PAINT FINISH. REMOVE OIL GREASE WITH MINERAL SPIRITS.</p> <p>e) ALL CRACKS, HOLES, IMPERFECTIONS IN EXISTING WALLS, PARTITIONS OR GYPBOARD SHALL BE FILLED WITH PATCHING PLASTER AND SMOOTHED OFF TO MATCH ADJOINING SURFACES.</p> <p>f) INTERIOR GYPSUM BOARD SURFACES SHALL BE WIPED WITH A DAMP CLOTH, JUST PRIOR TO APPLICATION OF THE FIRST COAT, IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING PROCESS.</p> <p>g) UPON COMPLETION REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPATTERED ON EXPOSED ADJACENT SURFACES.</p> <p>h) ALL VENEER STAINS SHALL HAVE UNIFORM COLOR.</p> <p>i) EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK INCLUDING WOOD FLOORING AND MILLWORK INSTALLATION AND PROCEED WITH "TOUCH UP" AS REQUIRED.</p> <p>j) PROVIDE THE DESIGNER WITH A MINIMUM OF (3) 8"x10" BRUSH-OUTS OF EACH COLOR & FINISH FOR DESIGNERS APPROVAL AT LEAST 2 WEEKS PRIOR TO SITE APPLICATION. ON-SITE APPLICATION WILL BE REQUIRED ONE WEEK PRIOR TO FINAL APPROVAL. DESIGNER RESERVES THE RIGHT TO ADJUST ANY COLOR/FINISH ONCE THE TEST HAS BEEN MADE.</p> <p>k) UNDERSIDE OF SOFFITS (WHERE OCCURS) TO RECEIVE A FINISH TO MATCH ADJACENT VERTICAL FINISH, UNLESS OTHERWISE NOTED (U.O.N.).</p> <p>l) ELECTRICAL SWITCH AND OUTLET COVER PLATES TO MATCH SURFACE IT RESIDES ON. CONTRACTOR TO PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL.</p> <p>m) PRIOR TO SITE APPLICATION, PROVIDE DESIGNER WITH 8"x10" SAMPLE CUTTINGS FROM ACTUAL DYE LOTS OF ALL SPECIFIED WALLCOVERINGS FOR DESIGNER'S APPROVAL AND PROVIDE EXPECTED DELIVERY DATE TO JOB SITE.</p> <p>n) CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING FOR DELIVERY LEAD TIMES FOR ALL WALL COVERINGS AND OTHER CUSTOM FINISHES WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED AND ANY EXCESSIVE LEAD TIME MUST BE BROUGHT TO THE DESIGNERS ATTENTION IMMEDIATELY TO ALLOW FOR RE-SPECIFICATION IF NEEDED.</p> <p>o) SEE FINISH PLAN, ELEVATIONS AND DETAILS FOR CLARIFICATION OF EXTENT AND FINISH MATERIALS.</p> <p>p) PAINT CEILING ACCESS PANELS WHERE THEY OCCUR TO MATCH ADJACENT CEILING FINISH.</p> <p>q) STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS ARE NOT VISIBLE WHEN VIEWED FROM ANY REASONABLE ANGLE.</p> <p>r) WALLCOVERING SEAMS ARE NOT TO OCCUR WITHIN 1'-0" OF CORNERS. APPLY WALL COVERING SO WALL IS DIVIDED WITH A MINIMUM NUMBER OF SEAMS, AND EQUAL WITHD PANELS UNLESS OTHERWISE NOTED (U.O.N.).</p> <p>s) ALL EXISTING FINISHES THAT ARE TO REMAIN, INCLUDING BUT NOT LIMITED TO WALLCOVERING, WOOD MOLDING, METAL FRAMES, ETC. ARE TO BE CLEANED AND POLISHED TO A LIKE-NEW APPEARANCE.</p>	<p>1. CONTRACTOR IS TO PERFORM ALL WORK FOR THE CONTRACT DOCUMENTS UNDER THE GUIDELINES OF:</p> <p>FLORIDA FIRE PREVENTION CODE (FFPC) 7TH EDITION (2020)</p> <p>FLORIDA BUILDING CODE (FBC) 7TH EDITION (2020)</p> <p>FLORIDA BUILDING CODE (EXISTING) 7TH EDITION (2020)</p> <p>NFPA 1, 2018 EDITION, "FIRE CODE"</p> <p>NFPA 101, 2018 EDITION, "LIFE SAFETY CODE"</p> <p>NFPA 10, 2018 EDITION, "STANDARD FOR PORTABLE FIRE EXTINGUISHER"</p> <p>NFPA 13, 2016 EDITION, "STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEM"</p> <p>NFPA 70, 2020 EDITION, "NATIONAL ELECTRICAL CODE"</p> <p>NFPA 72, 2016 EDITION, "NATIONAL FIRE ALARM CODE"</p> <p>ANSI/ASHRAE 15-19 SAFETY CODE FOR MECHANICAL REFRIGERATION,</p> <p>FLORIDA ENERGY CODE FOR BUILDING CONSTRUCTION LATEST EDITION</p> <p>NFPA 14, 2019 EDITION "STANDARD FOR THE INSTALLATION OF STANDPIPE, AND HOSE SYSTEMS"</p> <p>NFPA 54, 2021 EDITION "NATIONAL FUEL GAS CODE"</p> <p>NFPA 90A, 2021 EDITION, STANDARD FOR THE INSTALLATION OF AIR-CONDITIONING AND VENTILATING SYSTEMS"</p> <p>CITY OF DORAL PLANNING & ZONING CODE</p> <p>2. ALL DRY WALL INTERIOR PARTITIONS SHALL BE INSPECTED BY THE BUILDING DEPARTMENT.</p> <p>3. CONCRETE MASONRY UNITS USED IN EXTERIOR WALLS AND IN ALL WALLS OR PARTITIONS SHALL COMPLY WITH 7TH EDITION (2020) OF THE FBC SECTION 704</p> <p>4. CORRIDOR PARTITIONS, SMOKE STOP PARTITIONS, HORIZONTAL EXIT PARTITIONS, EXIT ENCLOSURES, AND FIRE RATED WALLS REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN A MANNER ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. SUCH IDENTIFICATION SHALL BE ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACES. SUGGESTED WORDING:</p> <p>"FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS"</p> <p>5. PER 7TH EDITION (2020) OF THE FBC 903.2, (IF NECESSARY) AN APPROVED COMPLETE AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT THE BUILDING. THE SPRINKLER SYSTEM SHALL BE DESIGNED USING THE PARAMETERS SET FORTH IN NFPA 9.7</p> <p>6. PER 7TH EDITION (2020) OF THE FBC SECTION 716.3, FIRE DAMPERS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, SHALL BE PROVIDED IN DUCTS PENETRATING WALLS OR PARTITIONS HAVING A FIRE RESISTANCE OF 1 HOUR OR MORE.</p> <p>7. PER 7TH EDITION (2020) OF THE FBC SECTION 716, FIRE DAMPERS SHALL COMPLY WITH THE REQUIREMENTS OF UL 555 AND SHALL BEAR THE LABEL OF AN APPROVED TESTING AGENCY. CLOSURE SHALL INTERRUPT ANY MIGRATORY AIR FLOW AND RESTRICT THE PASSAGE OF FLAME. FIRE DAMPERS SHALL BE CLASSIFIED AND IDENTIFIED FOR USE AS EITHER STATIC SYSTEMS THAT AUTOMATICALLY SHUT DOWN IN THE EVENT OF FIRE, OR DYNAMIC SYSTEMS THAT OPERATE IN THE EVENT OF FIRE.</p> <p>8. ALL FINISHES SHALL COMPLY WITH THE 7TH EDITION (2020) OF THE FLORIDA BUILDING CODE, CHAPTER 8. SHALL GOVERN THE USE OF MATERIALS AS INTERIOR FINISHES BY LIMITING THE ALLOWABLE FLAME SPREAD AND SMOKE DEVELOPMENT BASED ON LOCATION AND OCCUPANCY CLASSIFICATION.</p> <p>9. IT IS THE RESPONSIBILITY OF THE VENDOR/SUPPLIER TO CONFIRM THAT HISHER PRODUCT MEETS ALL LOCAL CODES (ADA, NFPA, IBC, .) FOR THE APPLICATION IN WHICH IT IS TO BE USED, IF THE MATERIAL REQUESTED BY THE ARCHITECT IS IN QUESTION TO MEET SUCH CODES. THE VENDOR/ SUPPLIER MUST INFORM THE ARCHITECT AND MAKE THE NECESSARY CHANGES SO THE PRODUCT MEETS ALL REQUIRED CODES.</p>	<p>GENERAL REQUIREMENTS</p> <p>1. THE MILLWORK SCOPE IS BASED ON THE ENTIRE SET OF DRAWINGS. THE CONTRACTOR SHOULD NOT ASSUME THAT ALL MILLWORK AND RELATED WORK HAS BEEN DELINEATED ON ONLY FEW SELECT SHEETS. SEE MECH-ELEC-PLUMB SHTS. FOR RELATED SCOPE & COORDINATION REQUIREMENTS</p> <p>2. THE MILLWORK CONTRACTOR MUST FIELD VERIFY ACTUAL BUILT CONDITIONS AGAINST THE DESIGN DOCUMENTS. THE SUBMITTED SHOP DRAWINGS MUST REFLECT THE ACTUAL BUILT CONDITIONS FOR ARCHITECT'S REVIEW.</p> <p>a. ANY FABRICATION CHANGES OR DEVIATIONS FROM THE DESIGN DOCUMENTS MUST BE CLEARLY IDENTIFIED, BY "CLOUDING" THE EFFECTED AREA(S) FOR "ARCHITECTS" REVIEW AND ACCEPTANCE.</p> <p>b. "ARCHITECT" IS NOT RESPONSIBLE FOR ANY UNAUTHORIZED CHANGES OR DEVIATIONS (WHICH HAVE NOT BEEN CLEARLY CLOUDED ON THE SHOP SUBMITTALS), EVEN IF THEY HAVE BEEN (MISSED) REVIEWED AND ACCEPTED.</p> <p>c. IN THE EVENT "ARCHITECT" FINDS AN UNAUTHORIZED CHANGE AND TAKES EXCEPTION TO IT, "ARCHITECT" WILL IMMEDIATELY ISSUE A "NOTICE OF NON-CONFORMANCE" TO THE G.C. (GENERAL CONTRACTOR) TO HAVE THE NON-CONFORMANCE CORRECTED FOR ACCEPTANCE. ON THE MONTHLY "PAY REQUISITIONS" THE G.C. CANNOT BILL FOR ANY NON-CONFORMANCE WORK.</p> <p>3. THE MILLWORK CONTRACTOR MUST EXAMINE SURFACES AND CONDITIONS TO WHICH THE MILLWORK IS TO BE INSTALLED. IF THIS CONTRACTOR FINDS THE RECEIVING SURFACES TO BE UNACCEPTABLE, BECAUSE IT WOULD BE DETRIMENTAL TO THE PROPER AND EXPEDITIOUS INSTALLATION OF THE WORK, HE MUST STATE SUCH FINDINGS, IN WRITING, SO THAT CORRECTIVE MEASURES CAN BE TAKEN. STARTING THE MILLWORK INSTALLATION, SHALL CONSTITUTE ACCEPTANCE OF THE SURFACES AND CONDITIONS TO PERFORM THE WORK AS SPECIFIED.</p> <p>4. THE MILLWORK CONTRACTOR MUST COORDINATE & ASSIST IN THE COORDINATION OF THE MILLWORK SCOPE WITH OTHER TRADES SO AS TO MEET THE PROJECT COMPLETION OBLIGATIONS.</p> <p>5. FURNISH ALL LABOR, MATERIALS, EQUIPMENT, INCIDENTALS, TRANSPORTATION TO PROJECT JOBSITE TO COMPLETE ALL MILLWORK, CASE WORK AND RELATED WORK CALLED FOR BY PLANS AND/OR SPECIFICATIONS; INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING ITEMS:</p> <p>a. LUMBER (BLOCKING)</p> <p>b. PLYWOOD (BLOCKING)</p> <p>c. PARTITIONS</p> <p>d. SHELVING, FIXED AND ADJUSTABLE</p> <p>e. WOOD VENEER CASEWORK</p> <p>f. CABINETRY AND HARDWARE</p> <p>g. STANDING AND RUNNING TRIM</p> <p>SHOP DRAWING REQUIREMENTS:</p> <p>1. SUBMIT SHOP DRAWINGS FOR ARCHITECT'S REVIEW.</p> <p>2. PROVIDE LARGE SCALE PLANS, ELEVATIONS, SECTIONS, AND DETAILS CLEARLY NOTING ALL MATERIALS & THICKNESS</p> <p>3. CLEARLY LOCATE AND IDENTIFY ALL EXPOSED RUNNING JOINTS WHICH OCCUR IN THE FINISHED WORK. THESE JOINTS SHALL BE SUBJECT TO THE ARCHITECT'S ACCEPTANCE OR REJECTION.</p> <p>4. SUBMIT COMPLETE SCHEDULE AND SAMPLES OF CABINETRY HARDWARE AND FINISH WOOD VENEERS.</p> <p>5. PRODUCT LITERATURE, SUBMIT CATALOG CUTS AND DATA SHEETS FOR EACH ITEM OF HARDWARE NOTING SIZE, CHARACTER AND FINISH.</p> <p>6. CLEARLY NOTE RELATED WORK PROVIDED BY OTHER TRADES.</p> <p>SAMPLE REQUIREMENTS:</p> <p>1. SUBMIT (2) SAMPLES OF EACH SPECIES OF MILLWORK WOOD (FINISH, CUT OR GRAIN PATTERN) FOR ARCHITECT'S ACCEPTANCE. ALONG WITH EACH SAMPLE, INCLUDE A DESCRIPTION OF WHAT OR WHERE IT IS TO BE USED. SUBMIT SAMPLES IN THE FOLLOWING FORMAT:</p> <p>a. FOR STANDING & RUNNING MILLWORK TRIM - EACH SAMPLE TO BE 12" LONG SECTION OF A TYPICAL SECTION WITH APPLICABLE STAIN OR PAINT FINISH TO HALF THE LENGTH.</p> <p>b. FINISH WOOD VENEER, PAINT OR STAIN ON PLYWOOD - EACH SAMPLE TO BE 24" LONG x NOMINAL PANEL WIDTH, APPLY VENEER, STAIN OR PAINT TO ONE HALF OF THE PLYWOOD SAMPLE (INCLUDING THE RETURN EDGES)</p> <p>PRODUCT DELIVERY STORAGE + HANDLING</p> <p>1. DO NOT DELIVER FINISHED MILLWORK MATERIALS TO THE JOBSITE, UNTIL THE INTERIORS ARE DRIED-IN AND TOTALLY AIR-CONDITIONED.</p> <p>2. PROTECT FINISH MILLWORK MATERIALS DURING TRANSIT, DELIVERY, STORAGE AND HANDLING TO PREVENT DAMAGE, SOILING AND DETERIORATION.</p> <p>3. IN ADDITION, ALL PAINTING, WET WORK, GRINDING AND SIMILAR OPERATIONS WHICH COULD DAMAGE, SOIL, OR DETERIORATE MILLWORK MUST BE COMPLETED IN THE AREAS OF THE INSTALLATION.</p> <p>a. IF, DUE TO UNFORESEEN CIRCUMSTANCES, THE MILLWORK MATERIAL HAS TO BE STORED IN AREAS OTHER THAN THE INSTALLATION AREAS, THESE AREAS MUST COMPLY WITH MILLWORK ON-SITE STORAGE REQUIREMENTS.</p> <p>4. TAKE NECESSARY PRECAUTION TO PROTECT WORK FROM DAMAGE AFTER IT HAS BEEN INSTALLED. FINISH MILLWORK SURFACES EXPOSED TO VIEW WHICH BECOME DAMAGED IN ANY WAY (IE. SCRATCHED, ABRADED) SHALL BE REMOVED AND REPLACED.</p> <p>FABRICATION REQUIREMENTS:</p> <p>1. BUILD / ASSEMBLE ALL MILLWORK PIECES, IN THE LARGEST PRACTICAL TRANSPORTABLE SECTIONS AT THE CABINET MANUFACTURING PLANT. COMPLETE ALL MILLWORK JOINERY AT THE PLANT, FIELD ASSEMBLY WILL NOT BE PERMITTED.</p> <p>2. MILLWORK FABRICATIONS SHALL CONFORM TO APPROVED SHOP SUBMITTALS.</p> <p>3. EXPOSED FASTENERS ARE NOT ACCEPTABLE. FASTENERS IN EXPOSED SURFACES SHALL BE CONCEALED IE: COUNTERSUNK, PUTTIED, SANDED AND FINISHED TO MATCH ADJOINING SURFACES.</p> <p>a. RUNNING JOINTS:</p> <p>i. MUST NOT BE NOTICEABLE.</p> <p>ii. CONTINUOUS SURFACES MUST BE LEVEL OR IN THE SAME PLANE & ALIGN.</p> <p>4. COVER EXPOSED SURFACES, AND EDGES WITH HARDWOOD VENEER IN ACCORDANCE WITH THE SHOP DRAWINGS. WOOD VENEER SURFACES NOT EXPOSED TO VIEW SHALL HAVE A CONTINUOUS WOOD VENEER BACKING. EXPOSED FASTENERS IN THE FINISHED WORK WILL NOT BE PERMITTED.</p> <p>5. WOOD VENEER SHALL CONFORM TO SIZES AND PROFILES NOTED. MITER ALL VERTICAL OUTSIDE CORNERS. AT CORE AREA COUNTERTOPS, HORIZONTAL WOOD VENEER TO RUN PAST EDGE OF VERTICAL.</p> <p>6. WOOD OR PLASTIC LAMINATE VENEER ON SHELVING, WHERE SPECIFIED, SHALL BE APPLIED TO ALL SURFACES.</p> <p>MATERIALS + HARDWARE</p> <p>1. PLASTIC LAMINATE SHALL CONFORM TO NEMA STANDARDS LD-3, AND FURNISHED IN THE FOLLOWING NOMINAL MINIMUM THICKNESS</p> <p>a. 0.050" THICK FOR COUNTERTOPS.</p> <p>b. 0.050" THICK FOR VERTICAL EXPOSED SURFACES.</p> <p>c. 0.020" THICK AS A BACKER SHEET AND INTERIOR EXPOSED SURFACES.</p> <p>2. ADHESIVE FOR GLUING PLASTIC LAMINATE SHEETS TO SUBSTRATE MATERIAL TO BE UREA FORMALDEHYDE, TYPE COMPATIBLE WITH MATERIALS & APPROVED BY PL, LAMINATE MFR. AND OSHA.</p> <p>3. CORE/SUBSTRATE MATERIAL TO RECEIVE PLASTIC LAMINATE OR HARDWOOD VENEERS SHALL BE THE FOLLOWING:</p> <p>a. CUSTOM GRADE PLYWOOD TO BE USED AS SUBSTRATE FOR ALL PLASTIC LAMINATE MILLWORK AND SHALL CONFORM TO AWI-400A QUALITY STANDARDS.</p> <p>b. PREMIUM GRADE PLYWOOD TO BE USED AS SUBSTRATE FOR HARDWOOD VENEERS AND ALL TRANSPARENT STAIN & PAINT FINISH WORK AND SHALL CONFORM TO AWI-400A QUALITY STANDARDS.</p> <p>4. TYPICAL THICKNESS OF CABINETRY COMPONENTS, UNLESS OTHERWISE NOTED ON DRAWINGS SHALL BE AS FOLLOWS:</p> <p>a. COUNTERTOPS 1-1/2"</p> <p>b. SIDES 3/4"</p> <p>c. BOTTOMS 1/2"</p> <p>d. SHELVES 3/4"</p> <p>5. DRAWERS FRONTS TO BE OF 3/4" SOLID LUMBER CORE, UNLESS OTHERWISE NOTED, DRAWER SIDES TO BE 1/2" THICK AND BOTTOMS 1/4". DOVETAILED DRAWER FRONTS TO DRAWER SIDES WITH DRAWER BOTTOMS FULLY DADOED TO SIDES AND FACE.</p> <p>6. TYPICAL DRAWERS GLIDES + HAFELE 420 42.XXX (XXX = CAT. NO. PER SLIDE LENGTH) SIDE MOUNTED, BALL BEARING SLIDES WITH FULL EXTENSION STAINLESS STEEL FINISH, CAPACITY = 79 LBS (PER PAIR)</p> <p>7. ROUTED DRAWER FINGER PULLS IN WOOD CABINETRY SEE ID DRAWINGS FOR DETAILS</p> <p>8. TYPICAL WIRE PULLS + HAFELE 116.05.931</p> <p>9. TYPICAL HINGES + HAFELE 329.17.352 "DIJOMATIC LOGICA" 110 DEGREES SELF-CLOSING (UNLESS OTHERWISE NOTED ON DETAILS)</p> <p>GENERAL AS-BUILT DRAWINGS DISCLAIMER</p> <p>THE EXISTING CONDITIONS REPRESENTED IN THIS SET WERE GENERATED FROM EXISTING AS-BUILT DRAWINGS & FIELD-SURVEYED FINDINGS. THE EXISTING CONDITIONS REPRESENTED ARE STRICTLY FOR THE PURPOSE OF PROVIDING A POINT-OF-REFERENCE BASIS FOR THE PROPOSED DESIGN. NO OTHER ACCURACY SHOULD BE CONSTRUED. ALL EXISTING FOUNDATIONS DRAWN ARE SUSPECT. THE G.C. MUST REPORT ALL STRUCTURAL AND MEP CONDITIONS THAT CONFLICT WITH THE PROPOSED DESIGN IN A TIMELY MANNER FOR A/E RESOLUTION.</p>
INTERIOR CONSTRUCTION PLAN NOTES	INTERIOR DESIGN COORD. REQ'TS		
<p>1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSION GOVERN ALL. NEW PARTITIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT FOR CLARIFICATION.</p> <p>2. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISBLE JOINTS. PATCH AND REPAIR SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.</p> <p>3. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD. UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" OR "HOLD" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL WALL FINISHES, AND MUST BE ACURATLY MAINTAINED WITH A MINIMUM OF 1/8" VARIATION.</p> <p>4. DIMENSIONS MARKED + MEANS A TOLERANCE NOT GREATER OR SMALLER THAN TWO INCHES FROM INDICATED DIMENSION. IN CASE OF CONFLICT NOTIFY ARCHITECT FOR CLARIFICATION.</p> <p>5. ALL DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE INSIDE FACE OF SILL UNLESS OTHERWISE NOTED.</p> <p>6. ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE TRIM</p> <p>7. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE IN PROPER ALIGNMENT</p> <p>8. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.</p> <p>9. REFER TO REFLECTED CEILING PLANS FOR SOFFITS, CEILING HEIGHTS AND PLENUM BARRIER LOCATIONS</p> <p>10. REFER TO POWER PLANS, EQUIPMENT PLANS AND REFLECTED CEILING PLANS FOR LOCATIONS OF SWITCHES, OUTLETS AND THE LIKE</p> <p>11. DIMENSIONS LOCATING DOORS ARE TO BE INSIDE EDGE OF JAMB UNLESS OTHER WISE NOTED</p> <p>12. ALL MILLWORK FASTENED TO THE PARTITION, PROVIDE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY SLABS OR ABOVE 4'-0" HEIGHT. ALL CONCEALED LUMBER AND BLOCKING TO BE FIRE TREATED.</p>	<p>1. SUBMITTALS OF ALL FINISH SPECIFICATIONS ARE REQUIRED FOR ARCHITECT SIGN OFF AND APPROVAL</p> <p>2. SEE ARCHITECTURAL PLANS FOR FRAMING DIMENSIONS AND NEW CONSTRUCTION PARTITIONS. COORDINATE WITH ARCHITECT'S DRAWINGS AS NECESSARY. ANY DISCREPANCIES MUST BE REPORTED TO ARCHITECT PRIOR TO ANY WORK BEING PERFORMED.</p> <p>3. ALL FINISHES TO BE AS PER FINISH TAGS AND FINISH KEY IN I.D. DRAWINGS</p> <p>4. IF ANY DISCREPANCY OCCURS BETWEEN TAGGED ELEVATIONS, DETAILS, AND PLAN WITHIN I.D. SET, CONTRACTOR MUST SUBMIT CLARIFICATION REQUEST TO ARCHITECT IMMEDIATELY AND PRIOR TO PURCHASING PRODUCT AND INSTALLATION. ARCHITECT TO CLARIFY WITHIN (2) BUS. DAYS.</p> <p>5. IF ANY DISCREPANCY OCCURS BETWEEN ARCHITECT ID DRAWINGS AND ANY CONSULTANT'S OR ARCHITECT'S DRAWINGS OR SHOP DRAWINGS, CONTRACTOR MUST SUBMIT CLARIFICATION REQUEST TO ARCHITECT. ARCHITECT TO CLARIFY WITHIN (3) BUS. DAYS.</p> <p>6. IF ANY FINISH IS NOT SUPPLIED BY MANUFACTURER NOR QUOTED BY MANUFACTURER AS PER ARCHITECT'S FINISH SPECIFICATIONS, CONTRACTOR TO SUBMIT CLARIFICATION REQUEST TO ARCHITECT. ARCHITECT TO CLARIFY WITHIN (3) BUSINESS DAYS.</p> <p>7. IF ANY FINISH SPECIFICATION IS NO LONGER AVAILABLE OR THE PRODUCT HAS CHANGED IN ANY WAY FROM MANUFACTURER, CONTRACTOR TO SUBMIT CLARICATION REQUEST TO ARCHITECT. ARCHITECT TO CLARIFY WITHIN (3) BUSINESS DAYS.</p> <p>8. IF CONTRACTOR FINDS DISCREPANCY IN FINISH THICKNESSES (INCLUDING APPLIED FINISHES SUCH AS BUT NOT LIMITED TO TILE, MARBLE, OR WALL APPLICATION THAT INVOLVES SETTING MATERIAL) TO ITS' SURROUNDINGS, CONTRACTOR TO SUBMIT CLARIFICATION REQUEST TO ARCHITECT PRIOR TO INSTALLATION. ARCHITECT TO CLARIFY WITHIN (3) BUSINESS DAYS.</p> <p>9. CONTRACTOR MUST SUBMIT (2) SAMPLES OF FINISH MATERIALS INCLUSIVE OF PAINT FOR ARCHITECT'S APPROVAL.</p> <p>10. CONTRACTOR MUST SUBMIT (2) SAMPLES OF THOSE MATERIALS NOT NOTED IN FINISH KEY THAT ARE PART OF AN ASSEMBLY SPECIFIED BY ARCHITECT FOR ARCHITECT'S APPROVAL PRIOR TO PURCHASING AND INSTALLATION.</p>		



copyright 2022 U Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of U Architectural Group, Inc. No portion of these drawings or specifications may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the written consent of U Architectural Group, Inc. is prohibited.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
BLOC DEPT. REV 2.27.23

JOSE A. VIDAL/AR454535
MANUEL D. FERNANDEZ/AR35651

SEAL

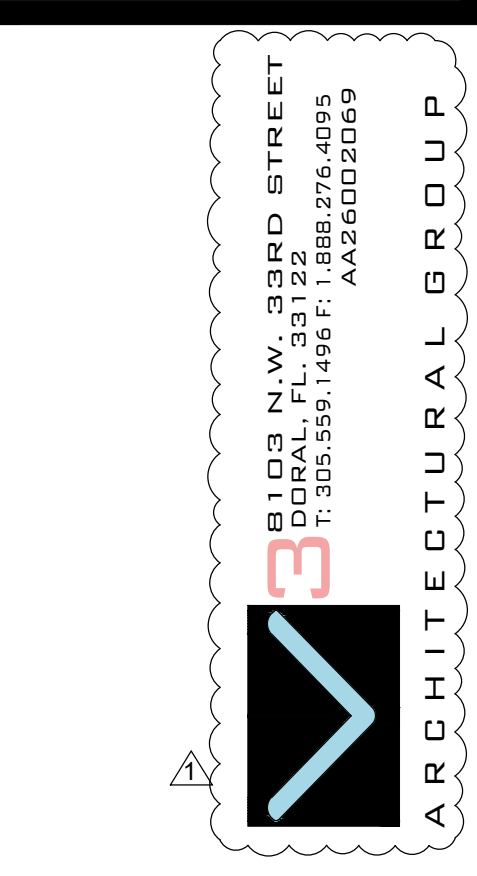
GENERAL NOTES

A0.1
CONSTRUCTION DOCUMENTS

<div>HARDWARE NOTES:</div> <div><div>1. CONTRACTOR SHALL PROVIDE ALL HARDWARE INCLUDING BUT NOT LIMITED TO: BUTTS, LOCKS, SELF-CLOSERS, HOLDERS, DOOR STOPS, THRESHOLDS, KICK PLATES, PUSH PLATES, PULLS AND TEMPLATES AS APPLICABLE. DOOR LOCKS SHALL BE MANUFACTURED BY SCHLAGE OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE A COMPLETE HARDWARE SCHEDULE TO BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PROCUREMENT OF ITEMS.</div><div>2. ALL HARDWARE SHALL BE LEVER TYPE AND SHALL MEET ALL REQUIREMENTS ACCORDING TO THE FLORIDA ACCESSIBILITY CODE 6TH EDITION (2017)</div><div>3. PROVIDE CLOSING COORDINATOR FOR ALL DOOR PAIRS EQUIPPED WITH SELF CLOSING DEVICE.</div><div>4. HARDWARE SCHEDULE SHALL BE COORDINATE WITH THE WALL FIRE RATING ASSEMBLY. SEE LIFE SAFETY PLANS</div><div>5. HARDWARE SCHEDULE SHALL BE PROVIDE ALL THE NECESSARY PANIC & CLOSER DEVICES TO MEET THE LIFE SAFETY REQUIREMENTS</div><div>6. ALL DOOR HARDWARE SHALL RECEIVE BRUSHED ALUM OR EQUAL FINISH.</div><div>7. ALL NEW DOORS SHALL HAVE 1 1/2 PAIR OF HINGES OR AS RECOMMENDED BY MANUFACTURER.</div><div>8. PROVIDE ALLOWANCE FOR ALL HARDWARE.</div></div> <div>WINDOW & DOOR GENERAL NOTES:</div> <div><div>1. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWING TO THE ARCHITECT FOR REVIEW PRIOR SHOP FABRICATION OR PURCHASE.</div><div>2. ALL PRODUCTS APPROVAL DOCUMENTATION SHALL BE SUBMITTED TO THE BLDG. DEPT. AS REQUIRED</div><div>3. STRUCTURAL PERFORMANCE: DOORS SHALL BE DESIGNED AND CONSTRUCTED TO PRESERVE THE ENCLOSED BUILDING ENVELOPE AGAINST WIND PRESSURE AND IMPACT LOADS AS SET FORTH IN THE FBC. 7TH EDITION (2020) EDITION</div><div>4. ALL EXTERIOR DOORS SHALL HAVE ALUM. THRESHOLDS, DOOR SWEEPERS & WEATHER STRIP-PING ALL AROUND.</div><div>5. WINDOW SUPPLIER SHALL FIELD VERIFY ALL OPENINGS AND CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS TO MASONRY OPENING SIZES TO ACCOMMODATE AVAILABLE DOORS.</div><div>6. NEW INSTALLATION SHALL BE IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND F.B.C. 7TH EDITION (2020) REQUIREMENTS.</div><div>7. WINDOWS & DOOR UNDER SEPARATE PERMIT</div><div>8. CONTRACTOR OR HARDWARE SUPPLIER SHALL SUBMIT A HARDWARE SCHEDULE FOR APPROVAL PRIOR TO INSTALLATION.</div><div>9. ALL DOUBLE DOORS SHALL HAVE MULTI POINT FLUSH BOLT AN ASTRAGAL.</div><div>10. ALL WOOD OR METAL EXTERIOR DOOR WIDTHS TO BE 1½" UNLESS OTHERWISE NOTED.</div><div>11. SEAL TIGHT WITH BACKER ROD AND SEALANT ALL JOINTS BETWEEN ALUMINUM FRAMING AND ROUGH OPENINGS</div><div>12. ALL FIXED EXTERIOR GLASS PANELS, SHALL REQUIRE PRODUCT CONTROL APPROVAL</div></div> <div>SECURITY NOTES (BULGARY SECURITY & FORCED ENTRY)</div> <div><div>1. ALL LOCKS AND EXTERIOR DOORS: SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LB. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH THE RESISTANCE STANDARDS SET FORTH IN THE BUILDING CODE BOOK.</div><div>2. ALL SINGLE EXTERIOR SWING DOOR: SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES. OR LOCKING AUXILIARY SINGLE DEAD BOLTS WITH INSERTS.</div><div>3. HINGES ON EXTERIOR OFFSET TYPE SWING DOORS: PROVIDE MIN. 3 HINGES PER DOOR W/ SECURITY NON REMOVABLE HINGES BY STANLEY OR APPROVED EQUAL.</div><div>4. JAMBS ON ALL EXTERIOR OFFSET TYPE DOORS IN-SWING DOORS: SHALL BE RABETTED, OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.</div><div>5. SINGLE SWINGING EXTERIOR DOORS: IF WOOD SHALL BE OF SOLID CORE OF NO LESS THAN 1-3/4" THICK.</div><div>6. EXTERIOR WINDOWS: SHALL BE LOCKED WITH DEVICE IN THE INSIDE CAPABLE OF WITH STANDING A FORCE OF 150 LBS APPLIED IN AN OPERABLE.</div></div> <div>DOORS:</div> <div><div>ALL ENTRY DOOR & A/C CLOSET DOOR TO BE PROVIDED WITH SELF CLOSING DEVICE</div><div>WITH = MIN. 32" CLEAR (FOR ACTUAL SIZES REFER TO DOOR SCHEDULE) HEIGHT = MIN. 6'-8" (FOR ACTUAL SIZES REFER TO DOOR SCHEDULE) HARDWARE: LEVER THRESHOLDS :1/2" MAX. WITH BEVELED EDGES SWING : DIRECTION OF EGRESS IF GREATER THAN 50 OCCUP.</div></div> <div>EGRESS NOTE:</div> <div>ALL COMPONENTS IN THE MEANS OF EGRESS TO THE PUBLIC WAY, AND THEREFORE MUST COMPLY WITH ALL EGRESS REQUIREMENTS, INCLUDING LATCHING, HARDWARE, ETC. CH.10 7TH EDITION (2020) OF THE FLORIDA BUILDING CODE.</div>

<div>HARDWARE NOTES:</div> <div><div>1. CONTRACTOR SHALL PROVIDE ALL HARDWARE INCLUDING BUT NOT LIMITED TO: BUTTS, LOCKS, SELF-CLOSERS, HOLDERS, DOOR STOPS, THRESHOLDS, KICK PLATES, PUSH PLATES, PULLS AND TEMPLATES AS APPLICABLE. DOOR LOCKS SHALL BE MANUFACTURED BY SCHLAGE OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE A COMPLETE HARDWARE SCHEDULE TO BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PROCUREMENT OF ITEMS.</div><div>2. ALL HARDWARE SHALL BE LEVER TYPE AND SHALL MEET ALL REQUIREMENTS ACCORDING TO THE FLORIDA ACCESSIBILITY CODE.</div><div>3. PROVIDE CLOSING COORDINATOR FOR ALL DOOR PAIRS EQUIPPED WITH SELF CLOSING DEVICE.</div><div>4. HARDWARE SCHEDULE SHALL BE COORDINATE WITH THE WALL FIRE RATING ASSEMBLY. SEE LIFE SAFETY PLANS</div><div>5. HARDWARE SCHEDULE SHALL BE PROVIDE ALL THE NECESSARY PANIC & CLOSER DEVICES TO MEET THE LIFE SAFETY REQUIREMENTS</div><div>6. ALL NEW DOORS SHALL HAVE 1 1/2 PAIR OF HINGES OR AS RECOMMENDED BY MANUFACTURER.</div><div>7. PROVIDE ALLOWANCE FOR ALL HARDWARE.</div></div> <div>WINDOW & DOOR GENERAL NOTES:</div> <div><div>1. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWING TO THE ARCHITECT FOR APPROVAL PRIOR SHOP FABRICATION OR PURCHASE.</div><div>2. ALL PRODUCTS APPROVAL DOCUMENTATION SHALL BE SUBMITTED TO THE BLDG. DEPT. AS REQUIRED.</div><div>3. STRUCTURAL PERFORMANCE: DOORS SHALL BE DESIGNED AND CONSTRUCTED TO PRESERVE THE ENCLOSED BUILDING ENVELOPE AGAINST WIND PRESSURE AND IMPACT LOADS AS SET FORTH IN THE 7TH EDITION (2020) OF THE FBC.</div><div>4. ALL EXTERIOR DOORS SHALL HAVE ALUM. THRESHOLDS, DOOR SWEEPERS & WEATHER STRIP-PING ALL AROUND.</div><div>5. WINDOW SUPPLIER SHALL FIELD VERIFY ALL OPENINGS AND CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS TO MASONRY OPENING SIZES TO ACCOMMODATE AVAILABLE DOORS.</div><div>6. NEW INSTALLATION SHALL BE IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THE 7TH EDITION (2020) OF THE FLORIDA BUILDING CODE, REQUIREMENTS.</div><div>7. WINDOWS & DOOR UNDER SEPARATE PERMIT</div><div>8. CONTRACTOR OR HARDWARE SUPPLIER SHALL SUBMIT A HARDWARE SCHEDULE FOR APPROVAL PRIOR TO INSTALLATION.</div><div>9. ALL DOUBLE DOORS SHALL HAVE MULTI POINT FLUSH BOLT AN ASTRAGAL.</div><div>10. ALL WOOD OR METAL EXTERIOR DOOR WIDTHS TO BE 1½" UNLESS OTHERWISE NOTED.</div><div>11. SEAL TIGHT WITH BACKER ROD AND SEALANT ALL JOINTS BETWEEN ALUMINUM FRAMING AND ROUGH OPENINGS</div><div>12. ALL FIXED EXTERIOR GLASS PANELS, SHALL REQUIRE PRODUCT CONTROL APPROVAL</div></div> <div>SECURITY NOTES (BURGLARY SECURITY & FORCED ENTRY)</div> <div><div>1. ALL LOCKS AND EXTERIOR DOORS: SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LB. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH THE RESISTANCE STANDARDS SET FORTH IN THE BUILDING CODE BOOK.</div><div>2. ALL SINGLE EXTERIOR SWING DOOR: SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES. OR LOCKING AUXILIARY SINGLE DEAD BOLTS WITH INSERTS.</div><div>3. HINGES ON EXTERIOR OFFSET TYPE SWING DOORS: PROVIDE MIN. 3 HINGES PER DOOR W/ SECURITY NON REMOVABLE HINGES BY STANLEY OR APPROVED EQUAL.</div><div>4. JAMBS ON ALL EXTERIOR OFFSET TYPE DOORS IN-SWING DOORS: SHALL BE RABETTED, OR OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.</div><div>5. SINGLE SWINGING EXTERIOR DOORS: IF WOOD SHALL BE OF SOLID CORE OF NO LESS THAN 1-3/4" THICK.</div><div>6. EXTERIOR WINDOWS: SHALL BE LOCKED WITH DEVICE IN THE INSIDE CAPABLE OF WITH STANDING A FORCE OF 150 LBS APPLIED IN AN OPERABLE.</div></div> <div>DOORS:</div> <div><div>ALL ENTRY DOOR & A/C CLOSET DOOR TO BE PROVIDED WITH SELF CLOSING DEVICE</div><div>WITH = MIN. 32" CLEAR (FOR ACTUAL SIZES REFER TO DOOR SCHEDULE) HEIGHT = MIN. 6'-8" (FOR ACTUAL SIZES REFER TO DOOR SCHEDULE) HARDWARE: LEVER THRESHOLDS :1/2" MAX. WITH BEVELED EDGES SWING : DIRECTION OF EGRESS IF GREATER THAN 50 OCCUP.</div></div> <div>EGRESS NOTE:</div> <div>ALL COMPONENTS IN THE MEANS OF EGRESS TO THE PUBLIC WAY, AND THEREFORE MUST COMPLY WITH ALL EGRESS REQUIREMENTS, INCLUDING LATCHING, HARDWARE, ETC. CH.10 OF THE 7TH EDITION (2020) OF THE F.B.C.</div>

<div>PAINTING</div> <div><div>P1. ALL SPACES SHALL BE SWEEP CLEAR AND CLEAN BEFORE PAINTING OR STAINING IS STARTED, AND ALL SURFACES TO BE PAINTED OR STAINED SHALL BE DRY.</div><div>P2. WHERE NO SPECIFIC MANUFACTURER OF PAINTS, VARNISHES, ENAMELS, STAINS, ETC., IS SPECIFIED, SUCH MATERIALS SHALL BE THE PRODUCT OF THE FOLLOWING: MANUFACTURER'S AND SHALL BE THEIR HIGHEST GRADE OF EACH TYPE OF MATERIAL. PITTSBURG COMPANY, SHERWIN-WILLIAMS PAINT COMPANY, PRATT AND LAMBERT, ASSOCIATED PAINT, MARTIN SENOUR, BENJAMIN MOORE.</div><div>P3. BEFORE COMMENCING WORK, THE PAINTER MUST MAKE CERTAIN THAT SURFACES TO BE COVERED ARE IN PERFECT CONDITION. SHOULD THE PAINTER FIND SUCH SURFACES IMPOSSIBLE FOR ACCEPTANCE, HE SHALL REPORT SUCH FACT TO THE ARCHITECT. THE APPLICATION OF PAINT SHALL BE HELD AS AN ACCEPTANCE OF THE SURFACES AND WORKING CONDITIONS, AND THE PAINTER SHALL BE HELD RESPONSIBLE FOR THE RESULTS REASONABLY EXPECTED FROM THE MATERIALS AND PROCESSES SPECIFIED. IN NO CASE SHALL PAINT OR STAIN BE APPLIED TO SURFACES WHICH SHOW A MOISTURE CONTENT GREATER THAN 12% FOR INTERIOR WOOD OR 15% FOR PLASTER, AS DETERMINED BY AN ELECTRONIC MOISTURE METER. NO PAINTING SHALL BE DONE WHEN THE TEMPERATURE IS BELOW 50 DEGREES FAHRENHEIT.</div><div>P4. ALL WOOD SURFACES TO RECEIVE STAIN SHALL BE CLEANED IN SUCH A MANNER THAT STAIN CAN BE APPLIED EVENLY.</div><div>P5. BEFORE ORDERING MATERIALS, SAMPLES OF EACH AND EVERY TYPE OF FINISH AND COLOR SHALL BE APPROVED BY THE ARCHITECT.</div><div>P6. UPON COMPLETION, ALL TOUCHING UP AS REQUIRED SHALL BE DONE AND PAINT REMOVED FROM ALL SURFACES WHICH ARE NOT SPECIFIED TO RECEIVE PAINT. ALL RAGS, PAINT CANS, AND OTHER DEBRIS SHALL BE REMOVED.</div></div> <div>SEALANTS AND CAULK</div> <div><div>S1. SUBMIT PROPERLY IDENTIFIED MANUFACTURER'S PUBLISHED LITERATURE, WITH UPON COMPLETION, ALL TOUCHING UP AS REQUIRED SHALL BE DONE AND PAINT NAMES, CATALOG NUMBERS, SPECIFICATIONS, SURFACE PREPARATION, MIXING AND APPLICATION DIRECTIONS FOR EACH PRODUCT.</div><div>S2. PROVIDE GUARANTEE COVERING SEALANT MATERIALS FOR A TWO (2) YEAR PERIOD COVERING JOINT FAILURE. JOINT FAILURE IS DEFINED AS: LEAKS OF AIR OR WATER, EVIDENCE OF LOSS OF COHESION, FADING OF SEALANT MATERIAL, MIGRATION OF SEALANT, EVIDENCE OF LOSS OF ADHESION BETWEEN SEALANT AND JOINT EDGE.</div><div>S3. SUBMIT FULL COLOR RANGE FOR SELECTION FROM MANUFACTURER'S STANDARD COLOR CHART.</div><div>S4. MASKING: APPLY TAPE WHERE REQUIRED TO PROTECT ADJACENT SURFACES. ADHERE TAPE IN CONTINUOUS STRIPS IN ALIGNMENT WITH JOINT EDGE, AND REMOVE IMMEDIATELY AFTER JOINTS HAVE BEEN SEALED AND TOOLED.</div><div>S5. MIXING: AS RECOMMENDED BY MANUFACTURER USING PUBLISHED DIRECTIONS. ADHERE TO RECOMMENDED "POT LIFE" REQUIREMENTS.</div><div>S5. CAULKING AND SEALANT FINISHES: FORCE CAULKING AND SEALANT INTO JOINTS WITH GUN HAVING A NOZZLE WHICH FITS INTO JOINTS. FILL JOINTS SOLIDLY, TOOL TO COMPRESS AND SMOOTH JOINTS WITHOUT THIN EDGES, AND LEAVE FREE FROM TOOL MARKS AND FLUSH WITH ADJOINING SURFACES.</div><div>S6. REMOVE EXCESS COMPOUND, SMEARS, DROPPINGS AND MISPLACED COMPOUND BEFORE IT HAS CURED USING SUITABLE TOOLS AND NON-STAINING OIL-FREE SOLVENT RECOMMENDED BY MANUFACTURER.</div><div>S7. CLEAN ADJACENT SURFACES FREE OF SEALANT, CAULKING AND SOILING USING SOLVENT OR CLEANING AGENT AS RECOMMENDED BY THE MANUFACTURER.</div></div> <div>RECORD DRAWINGS</div> <div><div>RD1. FROM THE START OF CONSTRUCTION UNTIL FINAL INSPECTION AND COMPLETION OF THIS PROPERTY, THE CONTRACTOR SHALL HAVE ONE SET OF PLANS AND SPECIFICATIONS IN THE JOB SITE, ON WHICH DETAIL NOTATIONS AS TO THE LOCATIONS OF ALL WORK WILL BE RECORDED. AT THE COMPLETION OF CONSTRUCTION, THIS SET WILL BE TURNED OVER TO THE OWNER WITH THE RECORDED DRAWINGS.</div><div>RD2. UPON COMPLETION OF THE WORK UNDER THIS CONTRACT, AND BEFORE FINAL PAYMENT WILL BE ISSUED, THE CONTRACTOR SHALL DELIVER TO THE OWNER TWO (2) SETS OF CONTRACT DRAWINGS UPON WHICH HE WILL INDICATE THE EXACT LOCATION OF ALL ELECTRICAL PLUMBING AND MECHANICAL WORK, AS BUILT, INCLUDING DIMENSIONAL LOCATIONS OF CONCEALED LINES. THE DATA SHALL BE RECORDED TO SCALE, IN RED INK, ON BLACK LINE PRINTS, WITH EACH PRINT BEARING THE DATE, THE NAME OF CONTRACTOR AND SUBCONTRACTOR WHO EXECUTED WORK, THIS ALSO INCLUDES WORK DONE BY OWNER.</div><div>RD3. THE CONTRACTOR SHALL DELIVER "AS BUILT" DRAWINGS TO THE OWNER UPON COMPLETION OF THE WORK, AS FINAL PAYMENT WILL BE CONTINGENT UPON RECEIPT OF SUCH DRAWINGS.</div></div> <div>GYPSON WALL BOARD</div> <div><div>G1. PROVIDE LABOR, MATERIALS, NECESSARY EQUIPMENT, SERVICES TO COMPLETE GYPSUM DRYWALL WORK, AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN OR BOTH. FINISH DRYWALL WORK TO BE LEVEL, UNMARKED WITH TRUE INSIDE AND OUTSIDE CORNERS AS ACCEPTABLE TO THE ARCHITECT AND OWNER.</div><div>G2. OBTAIN GYPSUM BOARD PRODUCTS FROM A SINGLE MANUFACTURER OR MANUFACTURERS RECOMMENDED BY PRIME MANUFACTURER OF GYPSUM BOARD.</div><div>G3. REFERENCES:<div><div>A. GYPSUM BOARD STANDARD: COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI/ASTM C-840 FOR APPLICATION, FINISHING OF GYPSUM BOARD UNLESS OTHERWISE INDICATED.</div><div>B. STEEL FRAMING STANDARD: COMPLY WITH APPLICABLE REQUIREMENTS OF ASTM C-754 FOR INSTALLATION OF STEEL FRAMING FOR GYPSUM BOARD.</div><div>C. GYPSUM BOARD TERMINOLOGY STANDARD: GA-505 BY GYPSUM ASSOCIATION.</div></div></div><div>G4. INSTALL SUPPLEMENTARY FRAMING, BLOCKING, BRACING TO SUPPORT FIXTURES, EQUIPMENT, SERVICES, CABINetry, HEAVY TRIM, FURNISHINGS, SIMILAR WORK WHICH CANNOT BE ADEQUATELY SUPPORTED ON THE GYPSUM BOARD ALONE.</div></div> <div>TILE</div> <div><div>T1. THIS WORK INCLUDES ALL TILE AND TILE ACCESSORIES AS SHOWN ON DRAWINGS AND AS SPECIFIED HEREIN.</div><div>T2. TILE: TO BE SELECTED BY OWNER</div><div>T3. TILE SHALL BE SPACED ON SURFACES TO BE COVERED TO MINIMIZE CUTTING OF TILES, SHOULD CUTTING BE REQUIRED, THE TILE SHALL BE CENTERED ON THE SURFACE SO THAT CUTS ON EACH END SHALL BE EQUAL IN SIZE AND A MINIMUM WIDTH OF ONE-HALF TILE.</div><div>T4. TILE WORK SHALL BE WASHED AND THOROUGHLY CLEANED OF ALL DIRT, MORTAR, STAINS OR DISCOLORATIONS. ACID SHALL NOT BE USED FOR CLEANING. REMOVE ALL RUBBISH AND SURPLUS MATERIAL AND PROTECT THE TILE WORK FROM DAMAGE UNTIL FINAL COMPLETION OF THE PROJECT, DELIVERING ALL WORK IN A CLEAN AND PERFECT CONDITION.</div><div>T5. CONTRACTOR SHALL SUBMIT SAMPLES AND COLORS FOR EACH SPECIFIED TILE FOR ARCHITECT'S SELECTION AND APPROVAL.</div></div> <div>DOOR NOTES</div> <div><div>D1. PROVIDE LABOR AND ALL NECESSARY EQUIPMENT AND SERVICES TO COMPLETE FINISH HARDWARE WORK. CONTRACTOR TO COORDINATE FINISH HARDWARE WITH ALL OTHER RELATED WORK.</div><div>D2. CONTRACTOR WILL SUBMIT SHOP DRAWINGS FOR ALL ALUMINUM AND STEEL DOORS AND FRAMES FOR ARCHITECTS REVIEW.</div><div>D3. DOOR HARDWARE TO BE SELECTED BY OWNER, PURCHASED AND INSTALLED BY CONTRACTOR. CONTRACTOR TO SUBMIT HARDWARE SCHEDULE TO ARCHITECT FOR REVIEW.</div><div>D4. CONTRACTOR SHALL VERIFY ALL OPENING DIMENSIONS FOR DOORS WITH MOUNTING DETAIL OUTLINED IN THE PRODUCTS APPROVAL NOTICE OF ACCEPTANCE AND JOB SITE CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.</div><div>D5. ALL WOOD DOORS AND DOOR FRAMES TO BE PRIMED AND PAINTED TO MATCH EXISTING.</div></div> <div>WINDOW NOTES</div> <div><div>W1. TOP OF NEW WINDOWS AND DOORS TO ALIGN.</div><div>W2. ALL WINDOWS ARE TO HAVE A PRODUCTS APPROVAL NOTICE OF ACCEPTANCE FOR IMPACT. INSTALL AS PER NOTICE OF ACCEPTANCE.</div><div>W3. CONTRACTOR OR WINDOW SUPPLIER SHALL FIELD MEASURE ALL OPENINGS PRIOR TO ORDERING WINDOWS AND SHALL BE HELD RESPONSIBLE SHOULD UNIT NOT FIT THE PLANNED OPENING. INCLUSIVE OF ALL EXISTING OPENINGS.</div><div>W4. JAMB, HEAD, AND SILL ATTACHMENT METHODS AS PER NOTICE OF ACCEPTANCE AND MANUFACTURER'S REQUIREMENTS.</div></div>
--



copyright 2022 U Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of U Architectural Group, Inc. No portion of the project for which this work prepared is intended to be used in any manner or for any purpose not intended by the project owner without the written consent of U Architectural Group, Inc. is prohibited.
No portion of the project for which this work prepared is intended to be used in any manner or for any purpose not intended by the project owner without the written consent of U Architectural Group, Inc. is prohibited.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

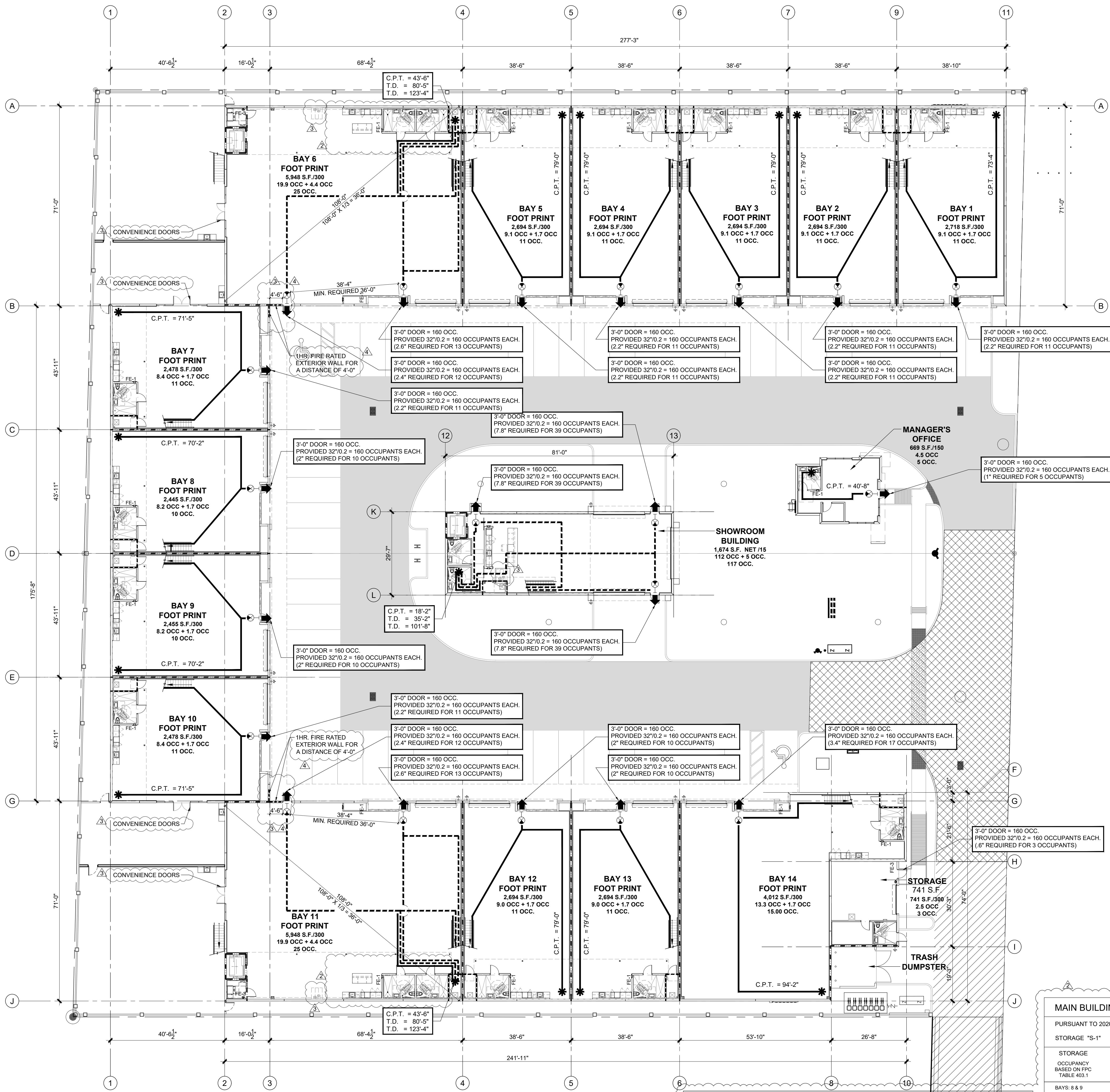
DATE: 11.15.22
DRAWN BY: JM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
A BLDG. DEPT. REV 2: 2.27.23

JOSE A. VIDAL/AR4593
MANUEL D.FERNANDEZ
AR39561
SEAL

GENERAL
NOTES

A0.2
CONSTRUCTION
DOCUMENTS



1 PROPOSED GROUND LEVEL - LIFE SAFETY PLAN

SCALE: 1/16" = 1'-0"



MINIMUM INTERIOR WALL & CLG. FINISH REQUIREMENTS BY OCCUPANCY FFPC 101 7TH EDITION (2020) TABLE A.10.2.2 / FBC 7th Edition (2020) Building 803.11 (SPRINKLERED)			
OCCUPANCY	INTERIOR EXITS STAIRWAYS, INTERIOR EXIT RAMPS AND EXIT PASSAGEWAYS	CORRIDORS ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS	ROOMS AND ENCLOSED SPACES
A - ASSEMBLY	CLASS A OR B	CLASS A	CLASS A, B OR C
B - BUSINESS	CLASS A OR B	CLASS A, B OR C	CLASS A, B OR C
S - STORAGE	CLASS A, B OR C	CLASS A, B OR C	CLASS A, B OR C

SHOWROOM BUILDING - FACILITY GROSS TOILET FIXTURE CALCULATIONS:

PURSUANT TO 2020 FBC - PLUMBING SEVENTH EDITION CODE, TABLE 403.1

ASSEMBLY "A"

PLUMBING FIXTURE CALCULATIONS													
OCCUPANCY BASED ON FBC TABLE 403.1	ASSEMBLY "A"		MALE WC		MALE URINAL		MALE LAVS		FEMALE WC		FEMALE LAVS		SERVICE SINK
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	
58 MALE 59 FEMALE	1	1	0	0	1	1	1	1	1	1	1	1	1

MANAGER'S OFFICE - FACILITY GROSS TOILET FIXTURE CALCULATIONS:

PURSUANT TO 2020 FBC - PLUMBING SEVENTH EDITION CODE, TABLE 403.1

BUSINESS "B"

PLUMBING FIXTURE CALCULATIONS													
OCCUPANCY BASED ON FBC TABLE 403.1	BUSINESS "B"		MALE WC		MALE URINAL		MALE LAVS		FEMALE WC		FEMALE LAVS		SERVICE SINK
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	
3 MALE 3 FEMALE	1	1	0	0	1	1	1	1	1	1	1	1	1

MAIN BUILDING - FACILITY GROSS TOILET FIXTURE CALCULATIONS:

PURSUANT TO 2020 FBC - PLUMBING SEVENTH EDITION CODE, TABLE 403.1

STORAGE "S"

OCCUPANCY BASED ON FBC TABLE 403.1	MALE WC		MALE URINAL		MALE LAVS		FEMALE WC		FEMALE LAVS		DRINKING FOUNTAINS (1:100)		SERVICE SINK
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	
BAYS: 8 & 9 5 MALE 5 FEMALE	1	1*	0	0	1	1*	1	0*	1	0*	1	0**	1
BAYS: 1, 2, 3, 4, 5, 7, 10, 12 & 13 6 MALE 5 FEMALE	1	1*	0	0	1	1*	1	0*	1	0*	1	0**	1
BAYS: 14 8 MALE 7 FEMALE	1	1*	0	0	1	1*	1	0*	1	0*	1	0**	1
BAYS: 6 & 11 13 MALE 12 FEMALE	1	1	0	0	1	1	1	1	1	1	1	1	1

- * PER 2020 FLORIDA BUILDING CODE, PLUMBING, 7TH EDITION SECTION 403.2 SEPARATE FACILITIES EXCEPTION 4. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN BUSINESS OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 25 OR FEWER.
- ** PER 2020 FLORIDA BUILDING CODE, PLUMBING, 7TH EDITION SECTION 410.2 SMALL OCCUPANCIES DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER.
- *** PER 2020 FLORIDA BUILDING CODE, PLUMBING, 7TH EDITION SECTION 410.2 SMALL OCCUPANCIES DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER.

NOTES:
FLORIDA BUILDING CODE 2020 -
BUILDING, SEVENTH EDITION/
FLORIDA FIRE PREVENTION CODE 2020,
SEVENTH EDITION

OCCUPANCY CLASSIFICATION		
ASSEMBLY (SHOWROOM)	GROUP A	(FBC SEC. 303.1)
BUSINESS	GROUP B	(FBC SEC. 304.1)
MODERATE-HAZARD STORAGE	GROUP S-1	(FBC SEC. 311.2)

CALCULATION		
ASSEMBLY (SHOWROOM)	FFPC-101 6.1.2.1	
BUSINESS	FFPC-101 6.1.11.1	
STORAGE	FFPC-101 6.1.13.1	

MEANS OF EGRESS:		
EGRESS WIDTH PER OCC.	15 NET	
STAIRWAYS - 2" PER OCC.	150 GROSS	
OTHER COMPONENTS - 2" PER OCC.	N/A	

MAIN BUILDING OCCUPANCY CALCULATIONS PROPOSED		
STORAGE - GROUND LEVEL	48,824 S.F. / 300	157 OCC.
STORAGE - MEZZANINE LEVEL	8,448 S.F. / 300	29 OCC.
TOTAL	55,372 S.F.	186 OCC.

EXIT CALCULATIONS:		
GROUND LEVEL - REQ. = 157 OCC. x 0.20 IN = 31.4 INCHES		
TOTAL PROVIDED = 792 INCHES		
MEZZANINE LEVEL - REQ. = 29 OCC. x 0.20 IN = 5.8 INCHES		
TOTAL PROVIDED = 792 INCHES		

STAIRS CALCULATION		
STAIRS CALCULATIONS BASED ON MEZZANINE 1, 2, 3, 4, 5, 7, 8, 9, 10, 11, 13 AND 14 OCCUPANCY		
TOTAL NO. OF OCCUPANTS = 2		

MANAGER'S OFFICE OCCUPANCY CALCULATIONS PROPOSED		
BUSINESS - GROUND FLOOR	757 S.F. / 150	5 OCC.
TOTAL	757 S.F.	5 OCC.

EXIT CALCULATIONS:		
GROUND LEVEL - REQ. = 6 OCC. x 0.20 IN = 1.2 INCHES		
TOTAL PROVIDED = 35 INCHES		

SHOWROOM BUILDING OCCUPANCY CALCULATIONS PROPOSED		
ASSEMBLY - GROUND FLOOR	1,674 S.F. / 150	112 OCC.
STORAGE - SECOND FLOOR	1,273 S.F. / 150	85 OCC.
TOTAL	2,947 S.F.	197 OCC.

EXIT CALCULATIONS:		
GROUND FLOOR - REQ. = 117 OCC. x 0.20 IN = 23.4 INCHES		
TOTAL PROVIDED = 96 INCHES		

STAIRS CALCULATION		
STAIRS CALCULATIONS BASED ON MEZZANINE LEVEL OCCUPANCY		
TOTAL NO. OF OCCUPANTS = 5		

EXIT CALCULATIONS:		
GROUND FLOOR - REQ. = 117 OCC. x 0.20 IN = 23.4 INCHES		
TOTAL PROVIDED = 96 INCHES		

STAIRS CALCULATION		
STAIRS CALCULATIONS BASED ON MEZZANINE LEVEL OCCUPANCY		
TOTAL NO. OF OCCUPANTS = 5		

EXIT CALCULATIONS:		
GROUND FLOOR - REQ. = 117 OCC. x 0.20 IN = 23.4 INCHES		
TOTAL PROVIDED = 96 INCHES		

STAIRS CALCULATION		
STAIRS CALCULATIONS BASED ON MEZZANINE LEVEL OCCUPANCY		
TOTAL NO. OF OCCUPANTS = 5		

EXIT CALCULATIONS:		
GROUND FLOOR - REQ. = 117 OCC. x 0.20 IN = 23.4 INCHES		
TOTAL PROVIDED = 96 INCHES		

STAIRS CALCULATION		
STAIRS CALCULATIONS BASED ON MEZZANINE LEVEL OCCUPANCY		
TOTAL NO. OF OCCUPANTS = 5		

EXIT CALCULATIONS:		
GROUND FLOOR - REQ. = 117 OCC. x 0.20 IN = 23.4 INCHES		
TOTAL PROVIDED = 96 INCHES		

STAIRS CALCULATION		
STAIRS CALCULATIONS BASED ON MEZZANINE LEVEL OCCUPANCY		
TOTAL NO. OF OCCUPANTS = 5		

EXIT CALCULATIONS:		
GROUND FLOOR - REQ. = 117 OCC. x 0.20 IN = 23.4 INCHES		
TOTAL PROVIDED = 96 INCHES		

STAIRS CALCULATION		
STAIRS CALCULATIONS BASED ON MEZZANINE LEVEL OCCUPANCY		
TOTAL NO. OF OCCUPANTS = 5		

EXIT CALCULATIONS:		
GROUND FLOOR - REQ. = 117 OCC. x 0.20 IN = 23.4 INCHES		
TOTAL PROVIDED = 96 INCHES		

STAIRS CALCULATION		
STAIRS CALCULATIONS BASED ON MEZZANINE LEVEL OCCUPANCY		
TOTAL NO. OF OCCUPANTS = 5		

EXIT CALCULATIONS:		
GROUND FLOOR - REQ. = 117 OCC. x 0.20 IN = 23.4 INCHES		
TOTAL PROVIDED = 96 INCHES		

LIFE SAFETY : SYMBOL LEGEND

- T.D. TRAVEL DISTANCE
- D.E.C. DEAD END CORRIDOR
- C.P.T. COMMON PATH OF TRAVEL
- BEGINNING OF TRAVEL DISTANCE INDICATED
- POINT OF EXIT DISCHARGER

3'-0" SINGLE DOOR	DOOR SIZE PROVIDED
PROVIDED 32"x0.2 = 160 OCCUPANTS	CLEAR DIM. PROVIDED
REQUIRED 47"x0.2 = 20 OCCUPANTS	DIM. REQUIRED PER OCCUPANT LOAD

2X2 ENCOUNTER LED TROFFER W/ INTEGRAL EMERGENCY BATTERY	
EXIT LIGHT	
EXIT LIGHT AND EMERGENCY LIGHTS W/ INTEGRAL EMERGENCY BATTERY	

SMOKE DETECTOR	
SMOKE RATED PARTITION	
1-HOUR RATED WALL	
2-HOUR RATED WALL	

FE-1 SEMI RECESSED FIRE EXTINGUISHER	
FE-1 LARSEN'S MODEL MP-5 UL RATING 2A-10B-C W/ FIRE EXTINGUISHER CABINET MODEL SS 2409-R3 SEMI-REC. 2-1/2" WITH SS FULL PANEL DOOR - CLEAR ACRYLIC GLAZING FOR EVERY 3,000 SF AND WITH A MAXIMUM TRAVEL DISTANCE OF 75'-0" TO EXTINGUISHER LOCATION. SEE FLOOR PLANS FOR GENERAL LOCATIONS. COORDINATE WITH ARCHITECT FOR EXACT LOCATIONS.	

FE-2 SEMI RECESSED FIRE EXTINGUISHER	
FE-2 LARSEN'S MODEL MP-5 UL RATING 2A-10B-C W/ FIRE EXTINGUISHER CABINET MODEL SS 2409-R3 SEMI-REC. 2-1/2" WITH SS FULL PANEL DOOR - CLEAR ACRYLIC GLAZING FOR EVERY 3,000 SF AND WITH A MAXIMUM TRAVEL DISTANCE OF 75'-0" TO EXTINGUISHER LOCATION. SEE FLOOR PLANS FOR GENERAL LOCATIONS. COORDINATE WITH ARCHITECT FOR EXACT LOCATIONS.	

FE-3 PROVIDE BRACKET MOUNT FIRE EXTINGUISHER	
FE-3 LARSEN'S MODEL MP-5 UL RATING 2A-10B-C BRACKET MOUNT.	

NOTE: ALL FIRE EXTINGUISHERS CABINETS TO BE INSTALLED AT 48" ABOVE FINISHED FLOOR TO CABINET HANDLE. ALL F.E. TANKS TO BE INSTALLED AT 48" ABOVE FINISHED FLOOR TO TANK BRACKET RELEASE MECHANISM AS REQUIRED BY ADA.

NOTE:

FIRE AND/OR SMOKE SEPARATION WALLS SHALL BE IDENTIFIED IN THE FIELD. PROVIDE IDENTIFICATION SIGNS FOR SUCH WALLS ABOVE CEILINGS AND OTHER CONCEALED SPACES. THE SIGN SHALL STATE "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" WITH A LETTERING SIZE NOT LESS THAN 3 INCHES (76MM) IN HEIGHT WITH A MINIMUM 3/8 INCH (9.5 MM) STROKE IN A CONTRASTING COLOR. IT SHALL BE LOCATED WITHIN 15 FEET (4572 MM) OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET (9144 MM) MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION AS PER FBC B 2020 BUILDING SEVENTH EDITION, SECTION 703.7.

NOTE:

- DOORS AND FRAMES IN ONE (1) HOUR WALLS SHALL BE 60 MINUTES RATED. (SEE DOOR SCHEDULE)
- DOOR & FRAMES IN TWO (2) HOUR WALLS SHALL BE "B" LABEL, 90 MINUTE RATED. (SEE DOOR SCHEDULE)
- DOORS AND FRAMES IN 30 MINUTE WALLS SHALL BE 20 MINUTES RATED.
- ALL FRAMES FOR FIRE RATED DOORS SHALL MEET REQUIRED DOOR FIRE RATING.
- THE OPENING FORCE FOR INTERIOR SIDE-SWINGING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 5 POUND FORCE. FOR OTHER SIDE-SWINGING, SLIDING, AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 POUND FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30-POUND FORCE. THE DOOR SHALL SWING TO A FULL OPEN POSITION WHEN SUBJECTED TO A 15-POUND FORCE. FORCES SHALL BE APPLIED TO THE LATCH SIDE.
- DOOR SHALL BE CONSTRUCTED TO RESIST THE PASSAGE OF SMOKE.
- DOORS THAT OPEN ONTO EXIT ACCESS CORRIDORS SHALL BE SELF-CLOSING AND SELF LATCHING.

FLAME SPREAD & SMOKE-DEVELOPMENT INDEX (FBC 7th Edition (2020) Building 803.1)

CLASS	FLAME SPREAD	SMOKE-DEVELOPED
CLASS A	0-25	0-450
CLASS B	26-75	0-450
CLASS C	76-200	0-450

NOTE:

THERMAL - AND SOUND-INSULATING MATERIALS SHALL COMPLY WITH FBC B 2020, SEVENTH EDITION - BUILDING SECTION 720.2 CONCEALED INSTALLATION.

INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.

MARKING OF MEANS OF EGRESS NOTES:

PROVIDE MARKING OF MEANS OF EGRESS FOR ENTIRE PROJECT AS PER NFPA 2020, SEVENTH EDITION.

NOTE:

FIRE AND/OR SMOKE SEPARATION WALLS SHALL BE IDENTIFIED IN THE FIELD. PROVIDE IDENTIFICATION SIGNS FOR SUCH WALLS ABOVE CEILINGS AND OTHER CONCEALED SPACES. THE SIGN SHALL STATE "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" WITH A LETTERING SIZE NOT LESS THAN 3 INCHES (76MM) IN HEIGHT WITH A MINIMUM 3/8 INCH (9.5 MM) STROKE IN A CONTRASTING COLOR. IT SHALL BE LOCATED WITHIN 15 FEET (4572 MM) OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET (9144 MM) MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION AS PER FBC 2020 BUILDING, SECTION 703.7.

SHOP DRAWINGS

ALL SHOP DRAWINGS SHALL BE REVIEWED BY A/E OF RECORD PRIOR TO SUBMITTAL TO MIAMI-DADE COUNTY BUILDING DEPARTMENT.



copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. neither the project for which they were prepared is intended to be used in any way other than for the specific project and site shown. No part of these drawings or specifications may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the written consent of V3 Architectural Group, Inc. is prohibited.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

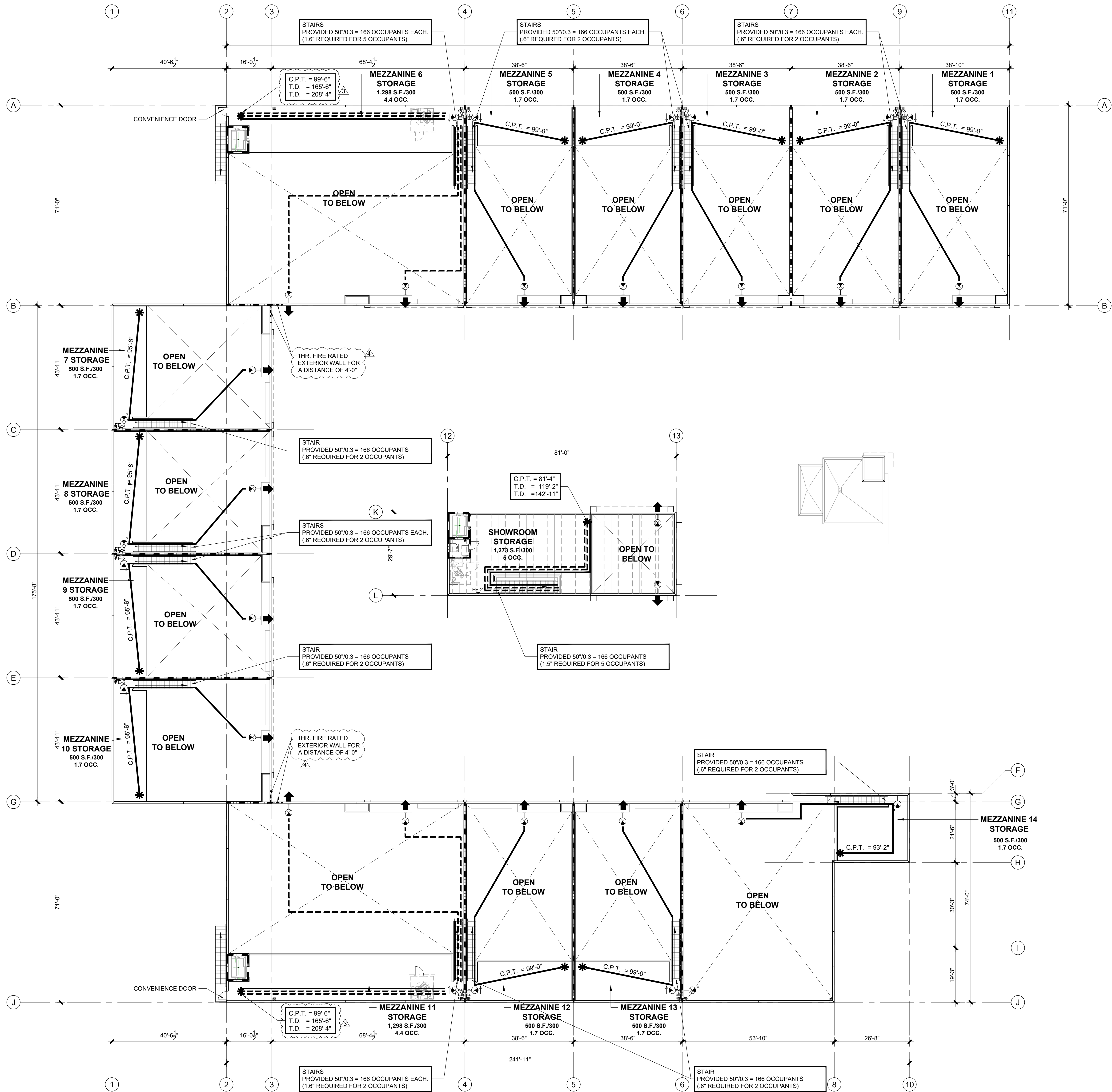
DATE: 11.15.22
DRAWN BY: JM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
BLDG. DEPT. REV 2: 2.27.23
BLDG. DEPT. REV 3: 5.12.23
BLDG. DEPT. REV 4: 6.29.23

JOSE A. VIDAL/AR4535
MANUEL D. FERNANDEZ/AR3561
SEAL

LIFE SAFETY PLAN

LS.1
CONSTRUCTION DOCUMENTS



1 PROPOSED SECOND/ MEZZANINE LEVEL - LIFE SAFETY PLAN
SCALE: 1/16" = 1'-0"

LIFE SAFETY : SYMBOL LEGEND

T.D. TRAVEL DISTANCE
D.E.C. DEAD END CORRIDOR
C.P.T. COMMON PATH OF TRAVEL
BEGINNING OF TRAVEL DISTANCE INDICATED
POINT OF EXIT DISCHARGER

3'-0" SINGLE DOOR
DOOR SIZE PROVIDED
PROVIDED 32"x0.2 = 160 OCCUPANTS
CLEAR DIM. PROVIDED
REQUIRED 4"x0.2 = 20 OCCUPANTS
DIM. REQUIRED PER
OCCUPANT LOAD

2X2 ENCOUNTER LED TROFFER W/ INTEGRAL
EMERGENCY BATTERY
EXIT LIGHT
EXIT LIGHT AND EMERGENCY LIGHTS W/ INTEGRAL
EMERGENCY BATTERY
SMOKE DETECTOR

SMOKE RATED PARTITION
1-HOUR RATED WALL
2-HOUR RATED WALL

FE-1 SEMI RECESSED FIRE EXTINGUISHER
FE-1 LARSEN'S MODEL MP-5 UL RATING 2A-10B C W FIRE
EXTINGUISHER CABINET MODEL SS 2409-SR SEMI-REC. 1-1/2"
WITH SS FULL PANEL DOOR - CLEAR ACRYLIC GLAZING FOR
EVERY 3,000 SF AND WITH A MAXIMUM TRAVEL DISTANCE OF
75'-0" TO EXTINGUISHER LOCATION. SEE FLOOR PLANS FOR
GENERAL LOCATIONS. COORDINATE WITH ARCHITECT FOR
EXACT LOCATIONS.

FE-2 PROVIDE BRACKET MOUNT FIRE EXTINGUISHER
FE-2 LARSEN'S MODEL MP-5 UL RATING 2A-10B-C BRACKET
MOUNT.

NOTE: ALL FIRE EXTINGUISHERS CABINETS TO BE INSTALLED
AT 48" ABOVE FINISHED FLOOR TO CABINET HANDLE. ALL F.E.
TANKS TO BE INSTALLED AT 48" ABOVE FINISHED FLOOR TO
TANK BRACKET RELEASE MECHANISM AS REQUIRED BY ADA.

GROSS BUILDING AREAS:

MAIN BUILDING:	
GROUND LEVEL	45,827 S.F.
MEZZANINE LEVEL	9,121 S.F.
TOTAL	54,948 S.F.
SHOWROOM:	
GROUND LEVEL	2,420 S.F.
SECOND LEVEL	1,549 S.F.
TOTAL	3,969 S.F.
MANAGER'S OFFICE:	
TOTAL	668 S.F.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	JM
DESIGNED BY:	JAV
REVIEWED BY:	MDF
PROJECT NO.	21-0033

REVISIONS	
1	BLDG. DEPT. REV 2: 2.27.23
2	BLDG. DEPT. REV 3: 5.12.23
3	BLDG. DEPT. REV 4: 6.29.23

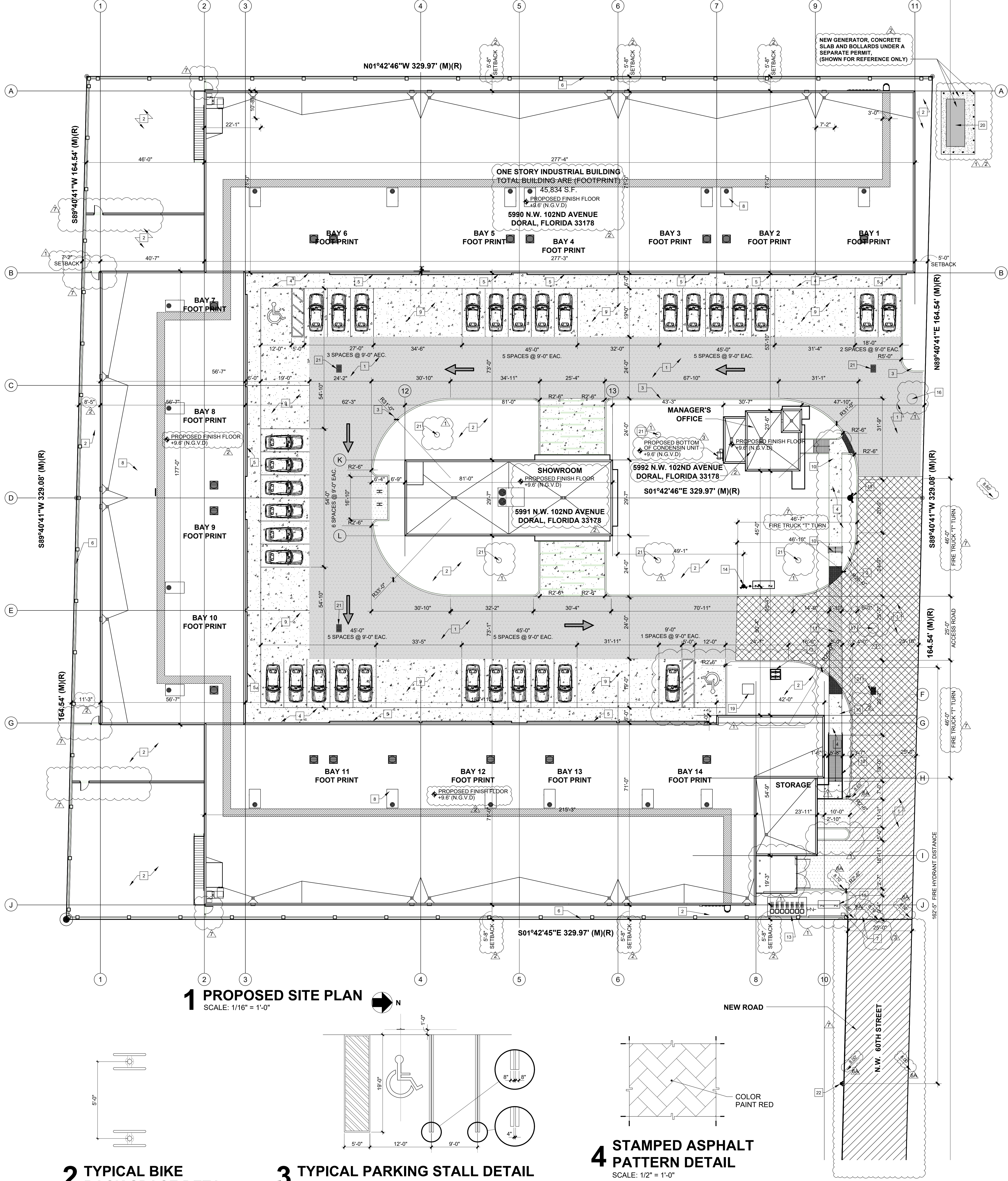
JOSE A. VIDAL (AR#4535)	
MANUEL D. FERNANDEZ	
AR#35651	
SEAL	

LIFE SAFETY
PLAN

LS.2
CONSTRUCTION
DOCUMENTS

3 BLDG N.W. 33RD STREET
DORAL, FL. 33122
P: 305.359.1495 F: 305.359.0069
ARCHITECTURAL GROUP

copyright 2022 VJ Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and
shall remain the property of VJ Architectural Group, Inc. No portion of this project for which
they were prepared is to be used in any manner or
for any other project without the express written consent of VJ Architectural Group, Inc. Reproduction of
these drawings or specifications by VJ Architectural Group, Inc. is prohibited.
Specifications without the written consent of VJ Architectural Group, Inc. is prohibited.



1 PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

2 TYPICAL BIKE RACK SPACE DETAIL
SCALE: 3/8" = 1'-0"

3 TYPICAL PARKING STALL DETAIL
SCALE: 1/8" = 1'-0"

4 STAMPED ASPHALT PATTERN DETAIL
SCALE: 1/2" = 1'-0"

LEGAL DESCRIPTION

FOLIO NUMBER: 35-3017-001-0394
LEGAL DESCRIPTION:
17 53 10 1.25 AC M/L
FLA FRUIT LAND CO SUB OB 2-17
W1/2 OF W1/2 OF E1/2 OF TR 39
COC 23460-3008 06 2005 1

FOLIO NUMBER: 35-3017-001-0393
LEGAL DESCRIPTION:
17 53 10 1.25 AC M/L
FLA FRUIT LAND CO SUB OB 2-17
E1/2 OF W1/2 OF E1/2 OF TR 39
F1/U 30-3017-001-0393
COC 25979-3394 10 2007 6

FOLIO NUMBER: 35-3017-049-0001
LEGAL DESCRIPTION:
COLLECTION SUITES DORAL CONDO
CARLOS & CARLOS INDUSTRIAL PARK
PB 163-099 TR A LESS S 77 ST OF
N105FT OF W60FT
AS DESC IN DECL OR 31116-1259
LOST SIZE 200948 SQ FT
FAU 35 3017 022 0020

PAVING MATERIALS:

SITE AREA:	108,554 S.F.
L.O.S (GREEN AREA):	22,051 S.F.
IMPERVIOUS AREA:	
1. SIDEWALKS	3,305.6 S.F.
2. PARKING	31,999 S.F.
3. TRASH DUMPSTER AREA	233.4 S.F.
4. PERIMETER WALL	726 S.F.
5. BUILDINGS	
A. MAIN BUILDING	46,924 S.F.
B. MANAGER'S OFFICE	757 S.F.
C. SHOWROOM	2,558 S.F.
TOTAL IMPERVIOUS AREA	86,503 S.F.

REQUIRED 20% OF PARKING AREA TO BE CONSTRUCTED USING A HEAT REFLECTIVE MATERIAL WITH A SOLAR REFLECTIVE INDEX OVER 28.
31,999 S.F. x 20% = 6,399.8 S.F.

PROVIDED AREA CONSTRUCTED USING A HEAT REFLECTIVE MATERIAL (CONCRETE) WITH A SOLAR REFLECTIVE INDEX OF AT LEAST 29.
10,794.72 S.F. x 33.73 % = 3,631.1 S.F.

SIGN NOTE:
SIGNAGE SHALL BE REVIEWED UNDER A SEPARATE PERMIT.

HATCH LEGEND

- 1 DENOTES SOLAR REFLECTED CONCRETE
- 2 DENOTES ASPHALT PAVEMENT
- 3 DENOTES GRASS
- 4 DENOTES ROOF ACCESS
- 5 DENOTES STAMPED ASPHALT PATTERN

FLOOD LEGEND:

FLOOD ZONE: X-AH
(ADDRESS: 5990 NW 102ND AVE, DORAL, FL 33178)
PLAY BOOK: 163 PAGE: 59
OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

BASE FLOOD ELEVATION: X-AH BFE NA 5.00'
FIRM PANEL NO. 12086C0278
AVERAGE BACK OF SIDEWALK ELEVATION: N/A

SIDEWALK ELEVATION: N/A
HIGH CROWN OF THE ROAD ELEVATION ABUTTING THE PROPERTY: 8.70'
LOW CROWN OF THE ROAD ELEVATION ABUTTING THE PROPERTY: 8.50'
AVERAGE CROWN OF THE ROAD ELEVATION: 8.60'
JORGE L. CABREIRA 6487

THE ATTACHED CERTIFIED SURVEY PREPARED BY:
SURVEYOR'S NAME: FLORIDA REGISTRATION NO. _____
LOWEST FLOOR ELEVATION: _____ PROPOSED +9.00' N.G.V.D.
LOWEST MACHINERY ELEVATION: _____ PROPOSED +9.60' N.G.V.D.
(COMPRESSOR IN MANAGER'S OFFICE)

ADJACENT GRADE ELEVATION:

- ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION (B.F.E.) TO BE COMPLIANT WITH THE FBC AND DORAL CODE SECTION 23-301.7. 1 FOOT ABOVE BFE, PRO.
- LOWEST MACHINERY EQUIPMENT WILL BE PLACED AT +9.60' N.G.V.D.
- THE SITE WILL BE GRADED IN A MANNER TO PREVENT THE FLOODING AT ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTOR SWELLS WILL BE CONSTRUCTED ON-SITE WITH NO ENCRoACHMENT OVER ADJACENT PROPERTIES

• 0'-0" = +9.60' N.G.V.D.

GREEN / OPEN SPACE:

OPEN SPACE REQUIREMENTS	
MINIMUM:	20% LOT AREA MIN.
MIN. REQUIRED 108,554 S.F. X 20=	21,710.8 S.F.
10 S.F. PER PARKING SPACE= 34 X 10 =	340 S.F.
TOTAL OPEN SPACE REQUIRED:	22,050.8 S.F.
TOTAL OPEN SPACE PROVIDED:	22,051 S.F. (20.32%)

ZONING INFORMATION:

ZONING:	IC INDUSTRIAL COMMERCIAL DISTRICT
SITE AREA:	108,554 S.F.
MIN. REQUIRED SETBACK:	
FRONT:	20'-0"
REAR:	5'-0"
SIDE STREET:	15'-0"
INTERIOR SIDE:	5'-0"
PROPOSED SETBACK:	
FRONT:	N/A
REAR:	7'-2"
SIDE STREET:	N/A
INTERIOR SIDE (WEST):	5'-8"
INTERIOR SIDE (EAST):	5'-8"
LOT COVERAGE	
ALLOWED:	50% MAX
MAX ALLOWED 108,554 S.F. X 50%	54,277 S.F.
PROPOSED:	
MAIN BUILDING	46,924 S.F.
MANAGER'S OFFICE	757 S.F.
SHOWROOM	2,558 S.F.
	50,239 S.F. (46.28%)

F.A.R. BUILDING AREAS:

GROUND LEVEL (NET AREA)	MAX. F.A.R. ALLOWED	F.A.R. PROVIDED
MAIN BUILDING	44,459 S.F.	598 S.F.
MANAGER'S OFFICE	598 S.F.	54,277 SF
SHOWROOM:	2,193 S.F.	
TOTAL	47,250 S.F.	47,250 S.F. = 43.5%
MEZZANINE / SECOND LEVEL		
TOTAL MAIN BUILDING:	9,721 S.F.	27,138.5 SF
		9,721 S.F. = 8.9%
TOTAL BUILDINGS AREAS:		
	56,954 S.F.	81,415.5 SF
		56,971 S.F.

PARKING CALCULATION AREAS:

MAIN BUILDING	46,924 S.F.
GROUND LEVEL - STORAGE	4,448 S.F.
MEZZANINE - STORAGE	55,372 S.F.
TOTAL STORAGE	
STORAGE (1/ 1,000 FOR 1ST. 10,000)	10,000/ 1,000 = 10 P.S.
STORAGE (1/ 2,000 FOR REMAINDER)	45,372/ 2,000 = 23 P.S.
MANAGER'S BUILDING	757 S.F.
OFFICE:	757 S.F.
TOTAL	757/ 300 = 3 P.S.
OFFICE (1/ 300)	
SHOWROOM BUILDING	2,558 S.F.
SECOND LEVEL	1,273 S.F.
TOTAL	3,831 S.F.
OFFICE (1/ 600)	3,831/ 600 = 7 P.S.
TOTAL PARKING SPACES REQUIRED: 43 P.S.	
TOTAL PARKING SPACES PROVIDED: 35 P.S. INCLUDES 2 ACCESSIBLE SPACE *	
BIKE RACK SPACE REQUIRED (OFFICE) 3 x .10 = 1 BIKE RACK	
BIKE RACK SPACE REQUIRED (SHOWROOM) 5 x .20 = 1 BIKE RACK	
BIKE RACK SPACE PROVIDED 2 BIKE RACKS	

* ADDITIONAL REQUIRED PARKING WILL BE PROVIDED VIA CROSS PARKING AGREEMENT

SITE PLAN KEY NOTES

- 1 PROVIDE NEW ASPHALT PAVING. REFER TO CIVIL DRAWINGS.
- 2 NEW LANDSCAPE AREA REFER TO LANDSCAPE DRAWINGS.
- 3 NEW CONCRETE CURB REFER TO CIVIL FOR CURB TYPE (TYP.)
- 4 NEW CONCRETE SIDEWALK WITH BROOM FINISH.
- 5 NEW CONCRETE EYEBROW WITH SMOOTH TEX-COTE FINISH.
- 6 NEW 6'-0" HIGH TILT-UP PANEL FENCE.
- 7 NEW 25'-0" WIDE X 6'-0" HIGH ALUMINUM ROLLING MULTI-GATE W/ ELECTRIC GATE OPENER. REFER TO DETAIL 2 ON SHEET A2.0.
- 8 NEW MECHANICAL EQUIPMENT TO BE PLACED ON ROOF.
- 9 CONCRETE APRON. (CONCRETE TO HAVE A SOLAR REFLECTIVE INDEX OF AT LEAST 29). REFER TO STRUCTURAL DRAWINGS.
- 10 NEW RAMP
- 11 NEW STAMPED ASPHALT PATTERN
- 12 DOUBLE DETECTOR VALVE AND METERS

- 13 WATER METERS
- 14 FIRE DEPARTMENT CONNECTION
- 15 NEW DOUBLE DETECTOR CHECK VALVE
- 16 NEW SANITARY SEWER
- 17 NEW STORM MANHOLE
- 18 NEW FIRE HYDRANT
- 19 NEW F.P.L. TRANSFORMER
- 20 NEW GENERATOR, CONCRETE SLAB AND BOLLARDS UNDER A SEPARATE PERMIT (SHOWN FOR REFERENCE ONLY)
- 21 NEW DRAINAGE
- 22 EXIST. FIRE HYDRANT

DATE: 11.15.22
DRAWN BY: JLM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
1 SITE PLAN REV 1: 11.15.22
2 BLDG. DEPT. REV 2: 2.27.23
3 BLDG. DEPT. REV 3: 5.12.23
4 BLDG. DEPT. REV 6A: 5.12.24
5 BLDG. DEPT. REV 9: 06.25.24

JOSE A. VIDAL (AR#4535)
MANUEL D. FERNANDEZ (AR#3561)

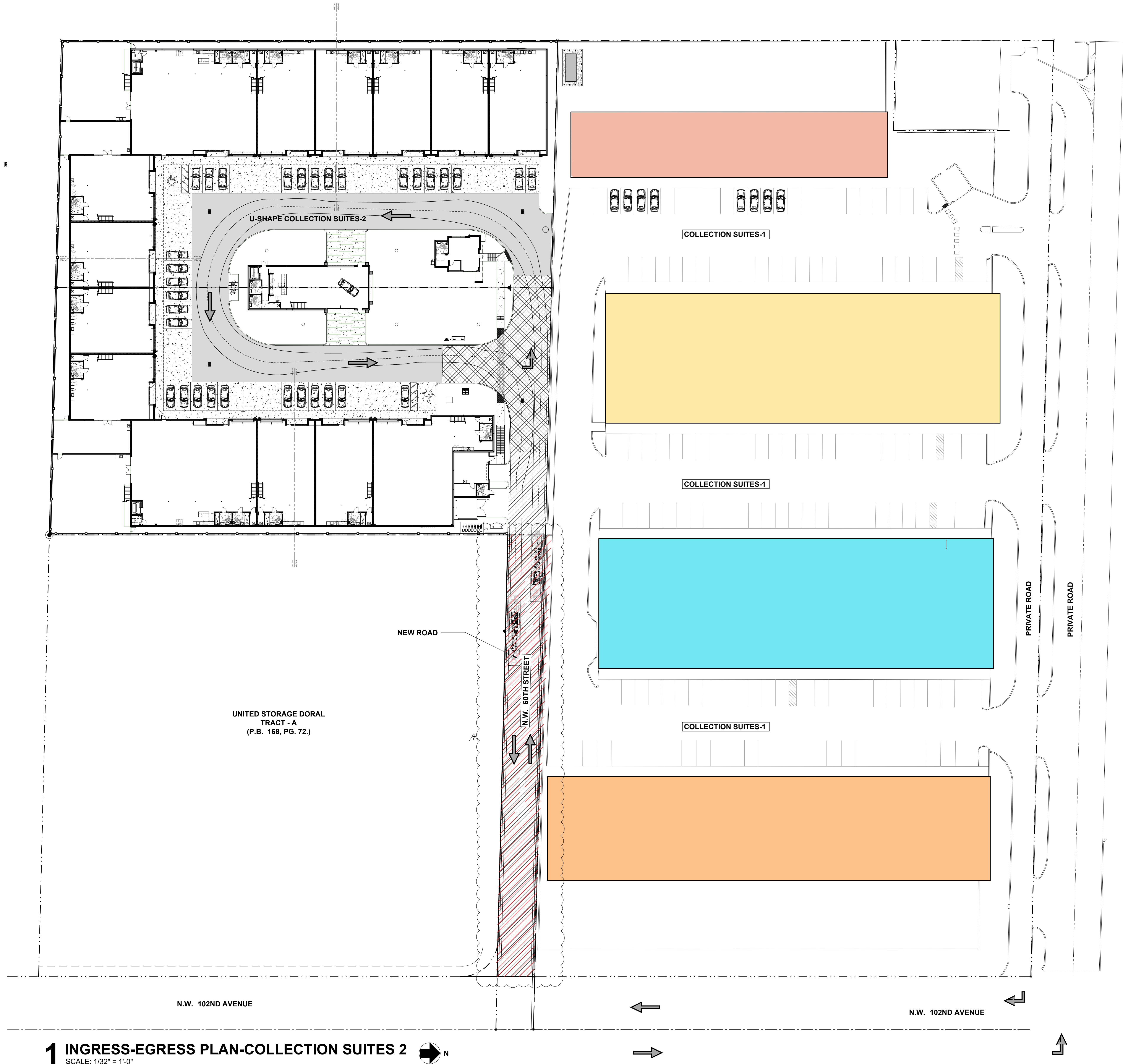
PROPOSED SITE PLAN

A1.0
CONSTRUCTION DOCUMENTS

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

ARCHITECTURAL GROUP



1 INGRESS-EGRESS PLAN-COLLECTION SUITES 2
SCALE: 1/32" = 1'-0"

3

8103 N.W. 33RD STREET
DORAL, FL 33122
P: 285.359.1496 F: 285.359.0069

ARCHITECTURAL GROUP

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. No portion of this project for which they were prepared is to be used or reproduced in any form or by any means without the written consent of V3 Architectural Group, Inc. Reproduction or use of any portion of these drawings without the written consent of V3 Architectural Group, Inc. is prohibited.

U-SHAPE COLLECTION SUITES
5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JMV
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

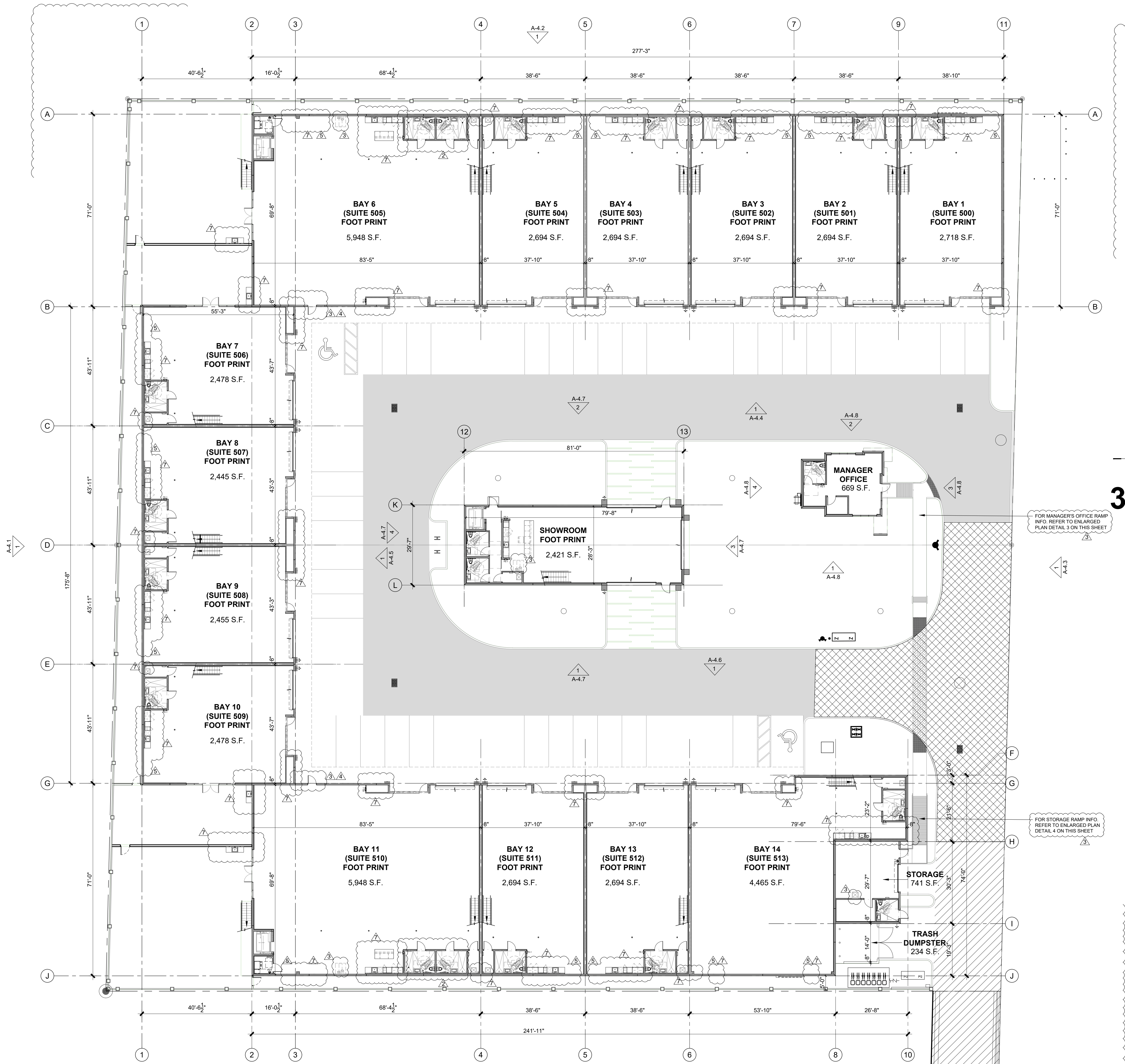
REVISIONS
SITE PLAN REV 1: 07.06.22
BLDG. DEPT. REV 2: 2.27.23
OWNER REQ. REV 7: 02.14.24

JOSE A. VIDAL, AIA 45535
MANUEL D. FERNANDEZ
AIA 35651

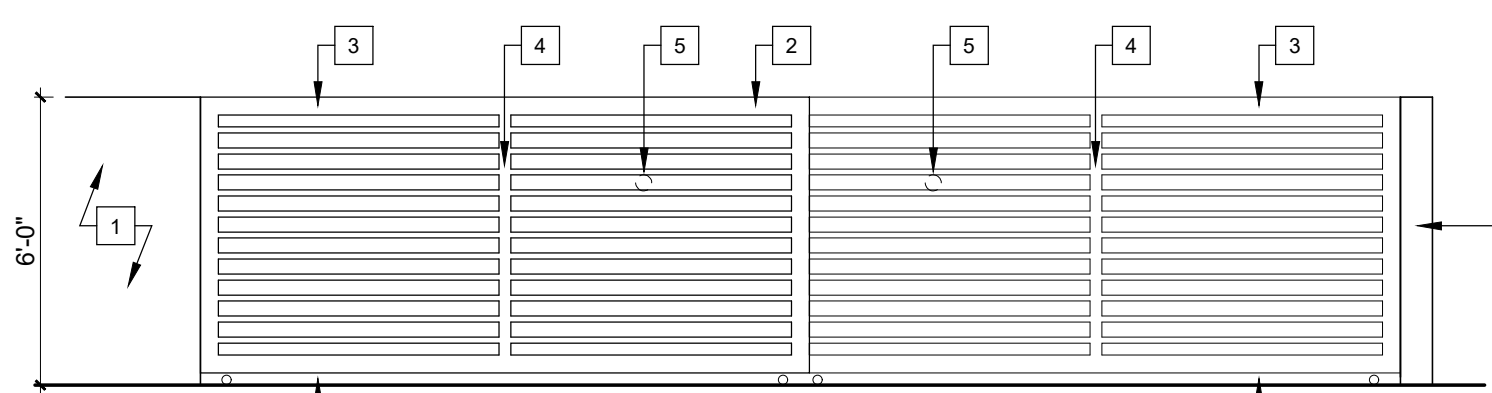
SEAL

PROPOSED
MASTER PLAN

A1.1
CONSTRUCTION
DOCUMENTS



1 PROPOSED GROUND LEVEL - OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 PROPOSED ENTRY GATE ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED ENTRY GATE KEY NOTES:

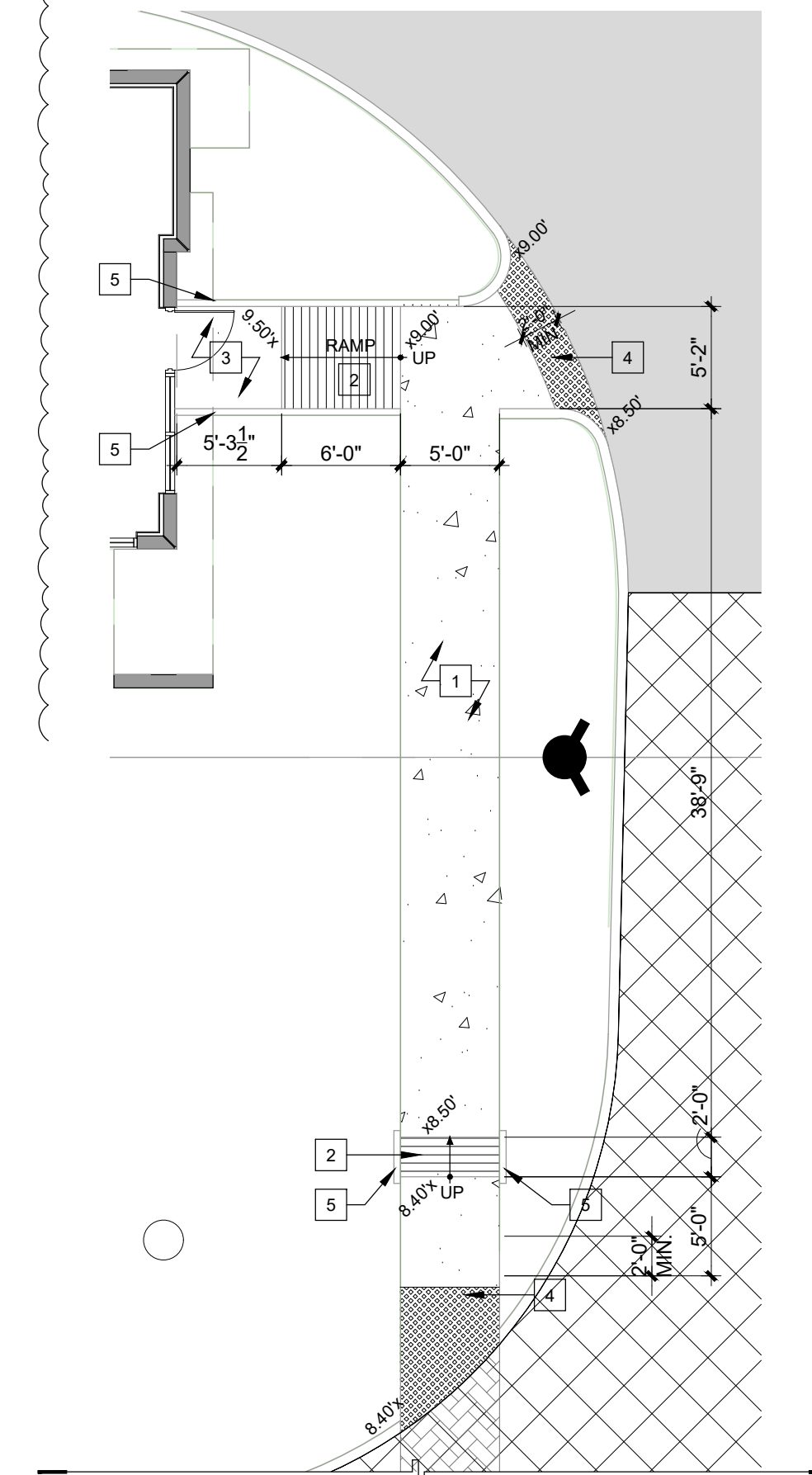
- 6'-0" TILT-UP PANEL FENCE
- 25'-0" WIDE x 6'-0" HIGH ALUMINUM ROLLING MULTI-GATE W/ ELECTRIC GATE OPENER.
- 4 1/2" X 2" PERIMETER ALUMINUM FRAME
- 3" X 2" ALUMINUM INTERMEDIATE VERTICAL MEMBER
- 1 1/2" X 2" ALUMINUM HORIZONTAL MEMBERS, SPACING TO REJECT A 4" DIAMETER SPHERE
- SPACING AT BOTTOM OF PICKET SHALL BE 2" FROM FINISH FLOOR MAXIMUM

FENCE PAINT

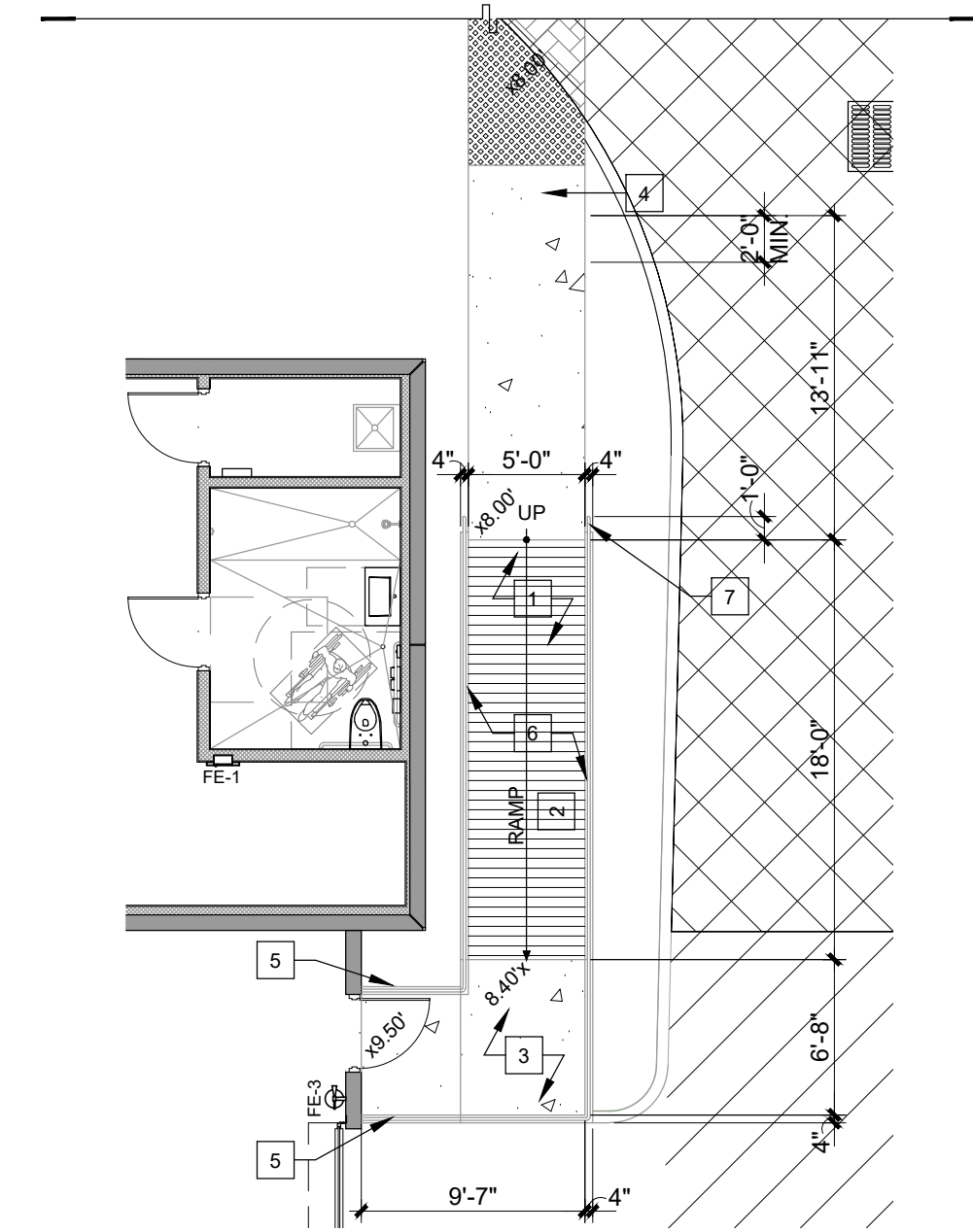
FENCE SHALL BE SHOP PAINTED WITH KYNAR PAINT.
COLOR TO BE SELECTED BY ARCHITECT.

SHOP DRAWING NOTE

GENERAL CONTRACTOR SHALL PROVIDE SIGNED AND
SEALED SHOP DRAWING WIDTH CALCULATIONS PREPARED
BY A FLORIDA LICENSED ENGINEER FOR ARCHITECTS
REVIEW PRIOR TO FABRICATION.



**3 PROPOSED
MANAGER'S OFFICE RAMP**
SCALE: 1/8" = 1'-0"



**4 PROPOSED
STORAGE ROOM RAMP**
SCALE: 1/8" = 1'-0"

RAMPS KEY NOTES:

- CONCRETE SIDEWALK, LIGHT BROOM FINISH
- RAMP SLOPE 1:12 MAXIMUM, CROSS SLOPE 1:48 MAXIMUM
- LANDING SLOPE 1:48 MAXIMUM
- ADA COMPLIANCE DETECTABLE WARNING PAD
- CONCRETE CURB 4" HIGH MINIMUM, (TYP.)
- 1 1/2" O.D. HANDRAIL ON 4" CONCRETE CURB AND VERTICAL POST
AT 48" O.C. HANDRAIL TO BE SET AT 36" HIGH ABOVE FINISH FLOOR.
- 12" HANDRAIL EXTENSION RETURN TO POST

WALL LEGEND:

- TILT-UP PANEL WITH TEX-COTE FINISH.
- MTL. STUD NON RATED PARTITION
- CONCRETE BLOCK WALL 1HR. RATED

NOTES:

- G.C. IS RESPONSIBLE FOR COORDINATING ALL WIRING/DATA WITH MILLWORK MANUFACTURER.
- THESE PLANS REPRESENT AS-BUILT CONDITION FORMING THE BASIS FOR DESIGN & BIDDING.
- NO SUBSTITUTIONS ALLOWED, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
- ANY DISCOVERED FIELD CONDITIONS REQUIRING DEVIATIONS FROM THESE DOCUMENTS MUST BE SUBMITTED TO THE A/E BY RFI FROM THE G.C. FOR A/E RESOLUTION.
- THE G.C. IS RESPONSIBLE FOR ALL DEVIATIONS & IS AT FURTHER RISK IF DEVIATIONS ARE DONE WITHOUT WRITTEN A/E ACCEPTANCE.
- REFER TO MEP DRAWINGS FOR OUTLET AND SWITCH INFORMATION.

FLOOR PLAN NOTES:

- BATHROOM DOORS SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
- BATHROOM FLOORS AND BASE SHALL BE OF IMPERVIOUS MATERIAL.
- ALL GLASS USED INSIDE PROJECT SHALL BE CAT. II SAFETY GLASS.
- REFER TO WALL TYPES FOR BOARD TYPE INSTALLATION.
- GENERAL CONTRACTOR SHALL FOLLOW THE TILE COUNCIL OF NORTH AMERICA INSTALLATION GUIDELINES FOR ALL TILE AND STONE INSTALLATION THROUGHOUT. COEFFICIENT OF FRICTION FOR WET INTERIOR TILES SHALL BE 0.42 PER THE TILE COUNCIL OF NORTH AMERICA.

NOTE:

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE REVIEWED THE ENTIRE SET OF DRAWINGS
PROVIDE ALL REQUIRED BLOCKING INSIDE OF WALLS FOR WALL MOUNTED ITEMS.

CHANGE IN ELEVATION AT ALL DOORS ARE NOT TO EXCEED 1/2". G.C. SHALL VERIFY THAT THE MAXIMUM
SLOPE IN FRONT OF DOORS DOES NOT EXCEED A SLOPE OF 1:48

GENERAL CONTRACTOR SHALL VERIFY FLOOR ELEVATION AND COORDINATE WITH PROPOSED DRAWINGS.
ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

NOTE:

OCCUPANCY SHALL BE POSTED IN ALL ASSEMBLY /
CONFERENCE / LUNCH ROOMS.

NOTE:

THERE IS NO COOKING EQUIPMENT IN
THE PREMISES.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JAM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
1. SITE PLAN REV 1: 11.15.22
2. BLDG. DEPT. REV 2: 2.27.23
3. BLDG. DEPT. REV 3: 5.12.23
4. BLDG. DEPT. REV 4: 6.29.23
5. RFI REV 1: 07.25.23
6. OWNER REVISION 7: 02.14.24

JOSE A. VIDAL/AR4535
MANUEL D. FERNANDEZ/AR35551
SEAL

OVERALL
FLOOR PLAN

A2.0
CONSTRUCTION
DOCUMENTS

Copyright 2022 U-Shape Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and
shall remain the property of U-Shape Architectural Group, Inc. No portion of these drawings
may be reproduced or transmitted in any form or by any means, electronic or mechanical,
including photocopying, recording, or by any information storage and retrieval system,
without the prior written permission of U-Shape Architectural Group, Inc. No reproduction
specifications without the written consent of U-Shape Architectural Group, Inc. is prohibited.

3 BLDG. N.W. 33RD STREET
DORAL, FL. 33122
P: 305.359.1495 F: 305.359.0069
ARCHITECTURAL GROUP

FLOOR PLAN KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISH ON EXTERIOR FACE ONLY.
- 2 HOSE-BIB RECESSED IN WALL MODEL No. PRIER C-384 COMMERCIAL HYDRANT.
- 3 CONTINUOUS LINEAR DRAIN IN FRONT OF ROLL UP DOOR. REFER TO DETAIL. SEE PLUMBING / CIVIL FOR CONNECTION. TYPICAL AT ALL ROLL-UP DOORS.
- 4 CMU WALL. REFER TO WALL TYPES.
- 5 REFER TO ENLARGED UNISEX TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.6 FOR MORE INFORMATION.
- 6 STEEL COLUMN
- 7 EDGE OF MEZZANINE ABOVE.
- 8 REFER TO STRUCTURAL FOR CONTROL JOINTS IN SLAB (TYP.)
- 9 CEILING ABOVE
- 10 TILE FINISH, SELECTION TO BE DETERMINED. TYP
- 11 REFER TO SHEET A-8.2 FOR STAIR PLAN
- 12 ROOF DRAIN LEADER, BOXED OUT WITH G.W.R.
- 13 ELECTRICAL AND I.T EQUIPMENT, REF TO ELECTRICAL DRAWINGS.
- 14 EXTERIOR METAL STAIR.
- 15 1" RECESS, REFER TO DETAIL.
- 16 A/C SHAFT.
- 17 42" HIGH GLASS GUARDRAIL.
- 18 EXPOSED CONCRETE FINISH IN STORAGE
- 19 ELECTRICAL PANEL
- 20 TYPICAL CABINET BLOCKING DETAIL, REFER TO SHEET A3.6
- 21 REFER TO ENLARGED TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.7 FOR MORE INFORMATION.
- 22 NOT USED

NOTES:

1. GC IS RESPONSIBLE FOR COORDINATING ALL WIRING DATA WITH MILLWORK MANUFACTURER.
2. THESE PLANS REPRESENT AS-BUILT CONDITION FORMING THE BASIS FOR DESIGN & BIDDING.
3. NO SUBSTITUTIONS ALLOWED, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
4. ANY DISCOVERED FIELD CONDITIONS REQUIRING DEVIATIONS FROM THESE DOCUMENTS MUST BE SUBMITTED TO THE A/E BY RFI FROM THE G.C. FOR A/E RESOLUTION.
5. THE G.C. IS RESPONSIBLE FOR ALL DEVIATIONS & IS AT FURTHER RISK IF DEVIATIONS ARE DONE WITHOUT WRITTEN A/E ACCEPTANCE.
6. REFER TO MEP DRAWINGS FOR OUTLET AND SWITCH INFORMATION.

FLOOR PLAN NOTES:

1. BATHROOM DOORS SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
2. BATHROOM FLOORS AND BASE SHALL BE OF IMPERVIOUS MATERIAL.
3. ALL GLASS USED INSIDE PROJECT SHALL BE CAT.II SAFETY GLASS.
4. REFER TO WALL TYPES FOR BOARD TYPE INSTALLATION.
5. GENERAL CONTRACTOR SHALL FOLLOW THE TILE COUNCIL OF NORTH AMERICA INSTALLATION GUIDELINES FOR ALL TILE AND STONE INSTALLATION THROUGHOUT. COEFFICIENT OF FRICTION FOR WET INTERIOR TILES SHALL BE 0.42 PER THE TILE COUNCIL OF NORTH AMERICA.

NOTE:

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE REVIEWED THE ENTIRE SET OF DRAWINGS PROVIDE ALL REQUIRED BLOCKING INSIDE OF WALLS FOR WALL MOUNTED ITEMS.

CHANGE IN ELEVATION AT ALL DOORS ARE NOT TO EXCEED 1/2". G.C. SHALL VERIFY THAT THE MAXIMUM SLOPE IN FRONT OF DOORS DOES NOT EXCEED A SLOPE OF 1:48

GENERAL CONTRACTOR SHALL VERIFY FLOOR ELEVATION AND COORDINATE WITH PROPOSED DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

NOTE:

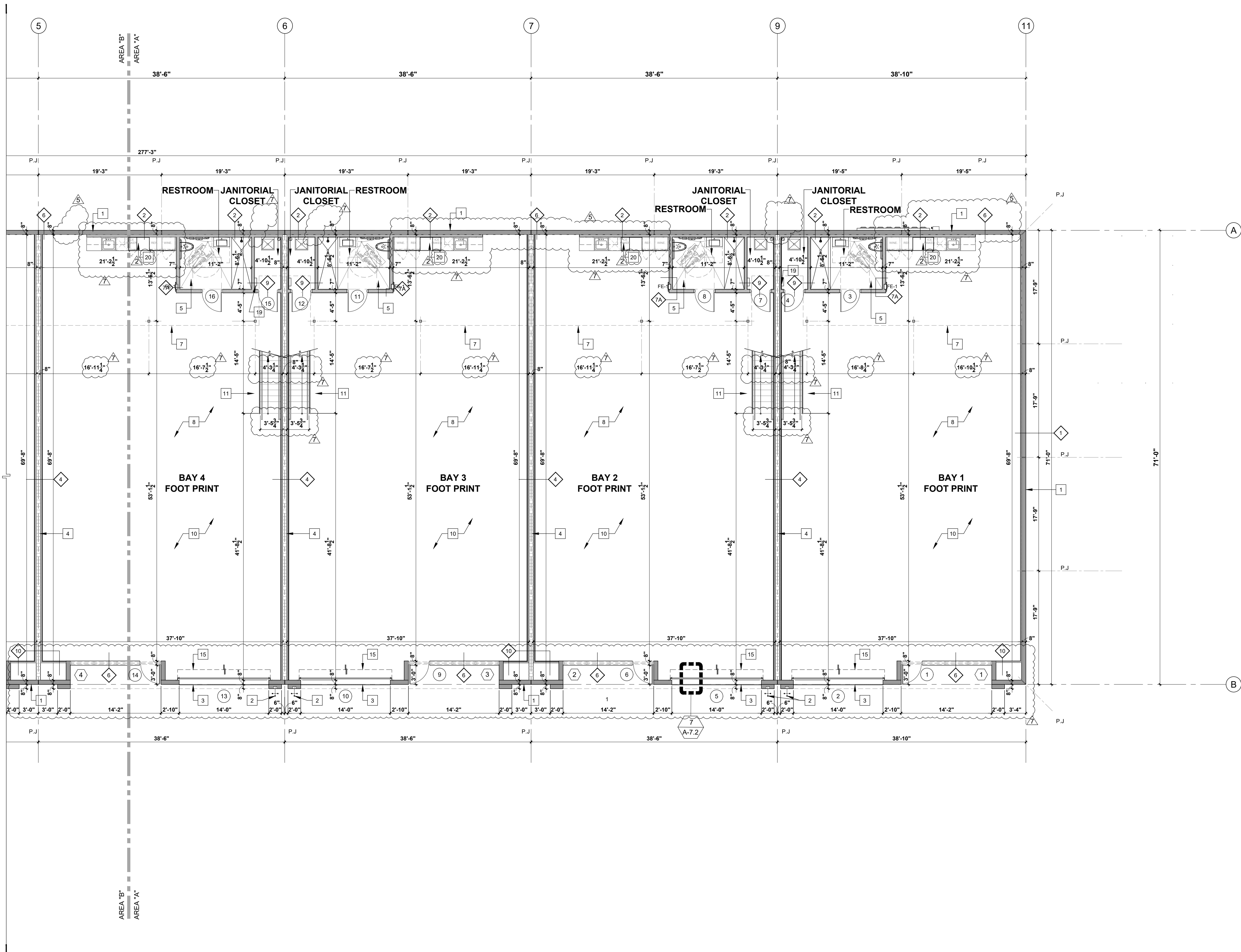
OCCUPANCY SHALL BE POSTED IN ALL ASSEMBLY / CONFERENCE / LUNCH ROOMS.

NOTE:

THERE IS NO COOKING EQUIPMENT IN THE PREMISES.

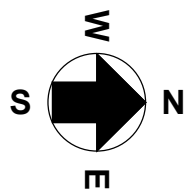
WALL LEGEND:

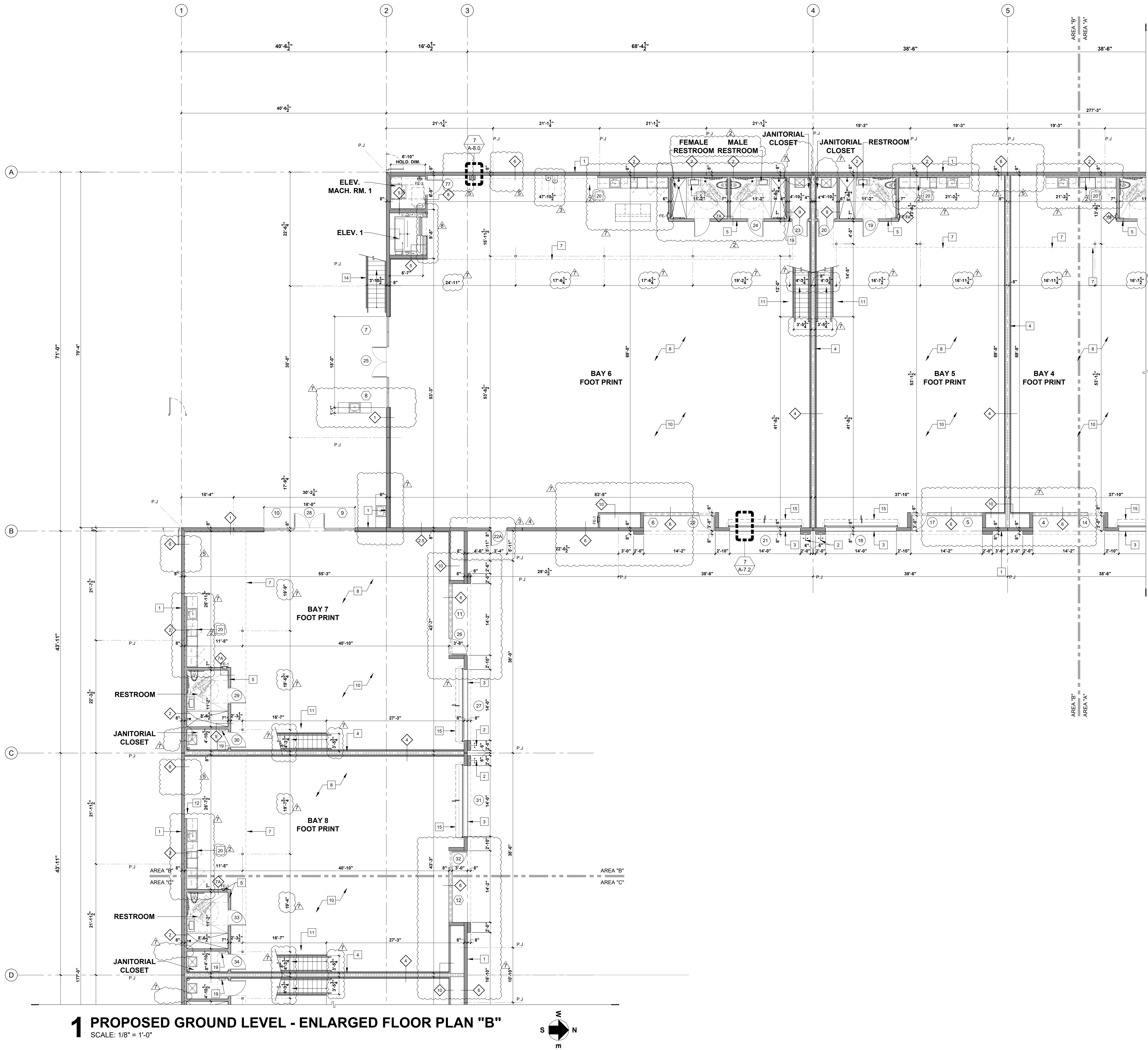
- TILT-UP PANEL WITH TEX-COTE FINISH.
- MTL. STUD NON RATED PARTITION
- CONCRETE BLOCK WALL 1HR. RATED



1 PROPOSED GROUND LEVEL - ENLARGED FLOOR PLAN "A"

SCALE: 1/8" = 1'-0"





1 PROPOSED GROUND LEVEL - ENLARGED FLOOR PLAN "B"
SCALE: 1/8" = 1'-0"

FLOOR PLAN KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-CODE FINISH ON EXTERIOR FACE ONLY.
- 2 HOSE-BIB RECESSED IN WALL MODEL No. PRIER C-364 COMMERCIAL HYDRANT.
- 3 CONTINUOUS LINEAR DRAIN IN FRONT OF ROLL UP DOOR. REFER TO DETAIL. SEE PLUMBING / CIVIL FOR CONNECTION. TYPICAL AT ALL ROLL-UP DOORS.
- 4 CMU WALL, REFER TO WALL TYPES.
- 5 REFER TO ENLARGED UNISEX TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.6 FOR MORE INFORMATION.
- 6 STEEL COLUMN
- 7 EDGE OF MEZZANINE ABOVE.
- 8 REFER TO STRUCTURAL FOR CONTROL JOINTS IN SLAB (TYP.)
- 9 CEILING ABOVE
- 10 TILE FINISH, SELECTION TO BE DETERMINED. TYP
- 11 REFER TO SHEET A-8.2 FOR STAIR PLAN
- 12 ROOF DRAIN LEADER, BOXED OUT WITH G.W.R.
- 13 ELECTRICAL AND I.T EQUIPMENT. REF TO ELECTRICAL DRAWINGS.
- 14 EXTERIOR METAL STAIR.
- 15 1" RECESS. REFER TO DETAIL.
- 16 A/C SHAFT.
- 17 42" HIGH GLASS GUARDRAIL.
- 18 EXPOSED CONCRETE FINISH IN STORAGE
- 19 ELECTRICAL PANEL
- 20 TYPICAL CABINET BLOCKING DETAIL. REFER TO SHEET A3.6
- 21 REFER TO ENLARGED TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.7 FOR MORE INFORMATION.
- 22 NOT USED

WALL LEGEND:

- TILT-UP PANEL WITH TEX-COTE FINISH.
- MTL. STUD NON RATED PARTITION
- CONCRETE BLOCK WALL 1HR. RATED

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

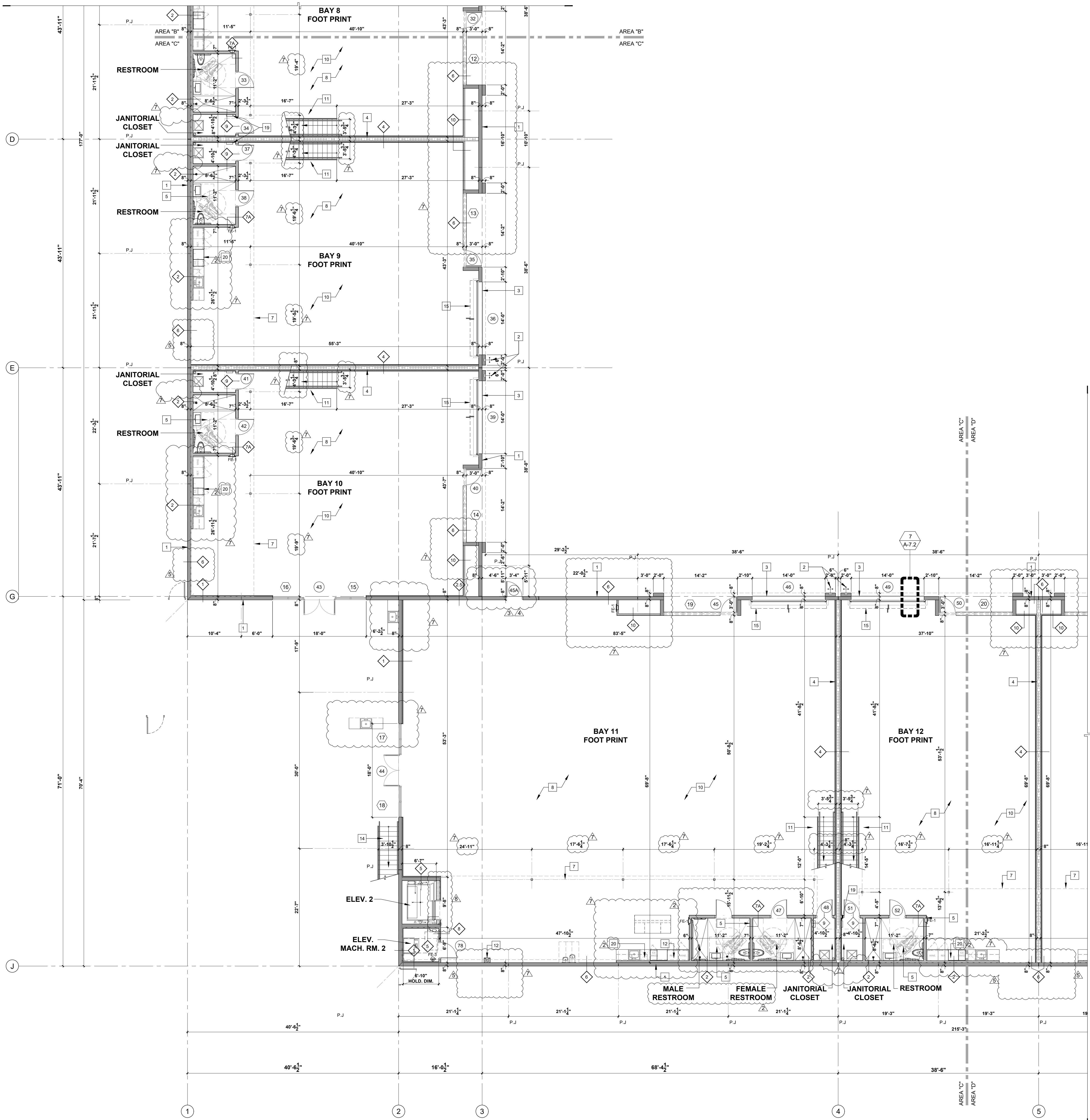
DATE:	11.15.22
DRAWN BY:	JM
DESIGNED BY:	JAV
REVIEWED BY:	MDF
PROJECT NO.	21-0033

REVISIONS	
1	BLDG. DEPT. REV 2: 2.27.23
2	BLDG. DEPT. REV 3: 5.12.23
3	BLDG. DEPT. REV 4: 6.29.23
4	RFI REV 1: 7.25.23
5	OWNER REVISION 7: 02.14.24
6	COORDINATION: 05.14.24

JOSE A. VIDAL AR94535	●
MANUEL D. FERNANDEZ AR95601	
SEAL	

ENLARGED FLOOR PLAN

A2.2
CONSTRUCTION DOCUMENTS



1 PROPOSED GROUND LEVEL - ENLARGED FLOOR PLAN "C"
SCALE: 1/8" = 1'-0"

FLOOR PLAN KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-CODE FINISH ON EXTERIOR FACE ONLY.
- 2 HOSE-BIB RECESSED IN WALL MODEL No. PRIER C-364 COMMERCIAL HYDRANT.
- 3 CONTINUOUS LINEAR DRAIN IN FRONT OF ROLL UP DOOR. REFER TO DETAIL. SEE PLUMBING / CIVIL FOR CONNECTION. TYPICAL AT ALL ROLL-UP DOORS.
- 4 CMU WALL, REFER TO WALL TYPES.
- 5 REFER TO ENLARGED UNISEX TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.6 FOR MORE INFORMATION.
- 6 STEEL COLUMN
- 7 EDGE OF MEZZANINE ABOVE.
- 8 REFER TO STRUCTURAL FOR CONTROL JOINTS IN SLAB (TYP.)
- 9 CEILING ABOVE
- 10 TILE FINISH, SELECTION TO BE DETERMINED. TYP
- 11 REFER TO SHEET A-8.2 FOR STAIR PLAN
- 12 ROOF DRAIN LEADER, BOXED OUT WITH G.W.R.
- 13 ELECTRICAL AND I.T EQUIPMENT, REF TO ELECTRICAL DRAWINGS.
- 14 EXTERIOR METAL STAIR.
- 15 1" RECESS, REFER TO DETAIL.
- 16 A/C SHAFT.
- 17 42" HIGH GLASS GUARDRAIL.
- 18 EXPOSED CONCRETE FINISH IN STORAGE
- 19 ELECTRICAL PANEL
- 20 TYPICAL CABINET BLOCKING DETAIL, REFER TO SHEET A3.6
- 21 REFER TO ENLARGED TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.7 FOR MORE INFORMATION.
- 22 NOT USED

NOTES:

1. GC IS RESPONSIBLE FOR COORDINATING ALL WIRING/DATA WITH MILLWORK MANUFACTURER.
2. THESE PLANS REPRESENT AS-BUILT CONDITION FORMING THE BASIS FOR DESIGN & BIDDING.
3. NO SUBSTITUTIONS ALLOWED, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
4. ANY DISCOVERED FIELD CONDITIONS REQUIRING DEVIATIONS FROM THESE DOCUMENTS MUST BE SUBMITTED TO THE A/E BY RFI FROM THE G.C. FOR A/E RESOLUTION.
5. THE G.C. IS RESPONSIBLE FOR ALL DEVIATIONS & IS AT FURTHER RISK IF DEVIATIONS ARE DONE WITHOUT WRITTEN A/E ACCEPTANCE.
6. REFER TO MEP DRAWINGS FOR OUTLET AND SWITCH INFORMATION.

FLOOR PLAN NOTES:

1. BATHROOM DOORS SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
2. BATHROOM FLOORS AND BASE SHALL BE OF IMPERVIOUS MATERIAL.
3. ALL GLASS USED INSIDE PROJECT SHALL BE CAT. II SAFETY GLASS.
4. REFER TO WALL TYPES FOR BOARD TYPE INSTALLATION.
5. GENERAL CONTRACTOR SHALL FOLLOW THE TILE COUNCIL OF NORTH AMERICA INSTALLATION GUIDELINES FOR ALL TILE AND STONE INSTALLATION THROUGHOUT. COEFFICIENT OF FRICTION FOR WET INTERIOR TILES SHALL BE 0.42 PER THE TILE COUNCIL OF NORTH AMERICA.

NOTE:

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE REVIEWED THE ENTIRE SET OF DRAWINGS PROVIDE ALL REQUIRED BLOCKING INSIDE OF WALLS FOR WALL MOUNTED ITEMS.

CHANGE IN ELEVATION AT ALL DOORS ARE NOT TO EXCEED 1/2". G.C. SHALL VERIFY THAT THE MAXIMUM SLOPE IN FRONT OF DOORS DOES NOT EXCEED A SLOPE OF 1:48

GENERAL CONTRACTOR SHALL VERIFY FLOOR ELEVATION AND COORDINATE WITH PROPOSED DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

NOTE:

OCCUPANCY SHALL BE POSTED IN ALL ASSEMBLY / CONFERENCE / LUNCH ROOMS.

NOTE:

THERE IS NO COOKING EQUIPMENT IN THE PREMISES.

WALL LEGEND:

- TILT-UP PANEL WITH TEX-COTE FINISH.
- MTL. STUD NON RATED PARTITION
- CONCRETE BLOCK WALL 1HR. RATED

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

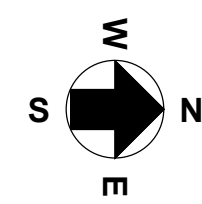
DATE: 11.15.22
DRAWN BY: JIM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033




REVISIONS
1 BLDG. DEPT. REV 2: 2.27.23
2 BLDG. DEPT. REV 3: 5.12.23
3 BLDG. DEPT. REV 4: 6.29.23
4 RFI REV1: 7.25.23
5 OWNER REVISION 7: 02.14.24
6 COORDINATION: 05.14.24

JOSE A. VIDAL, AIA 4535
MANUEL D. FERNANDEZ
AIA 35651
SEAL

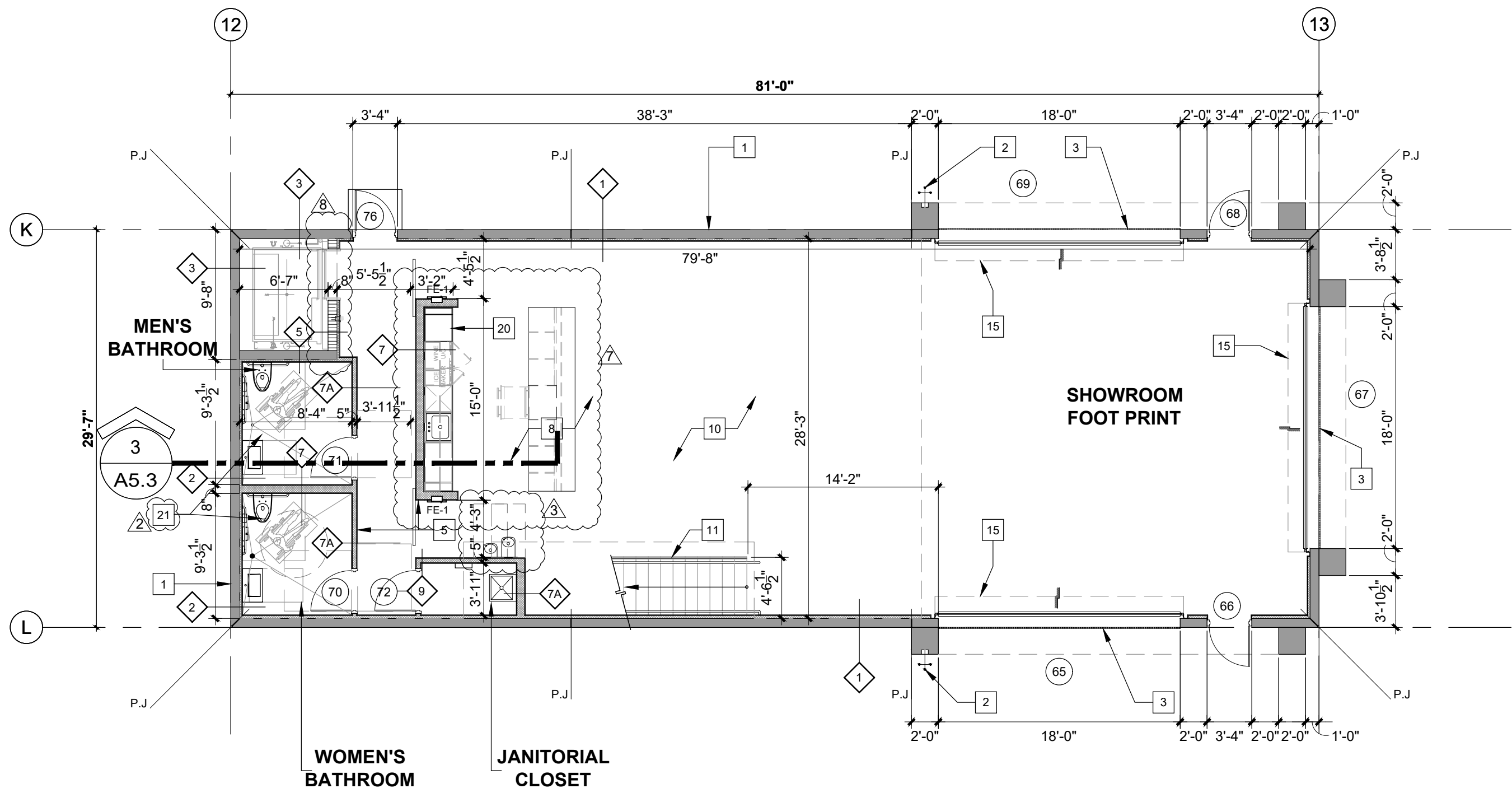
ENLARGED
FLOOR PLAN

A2.3
CONSTRUCTION
DOCUMENTS

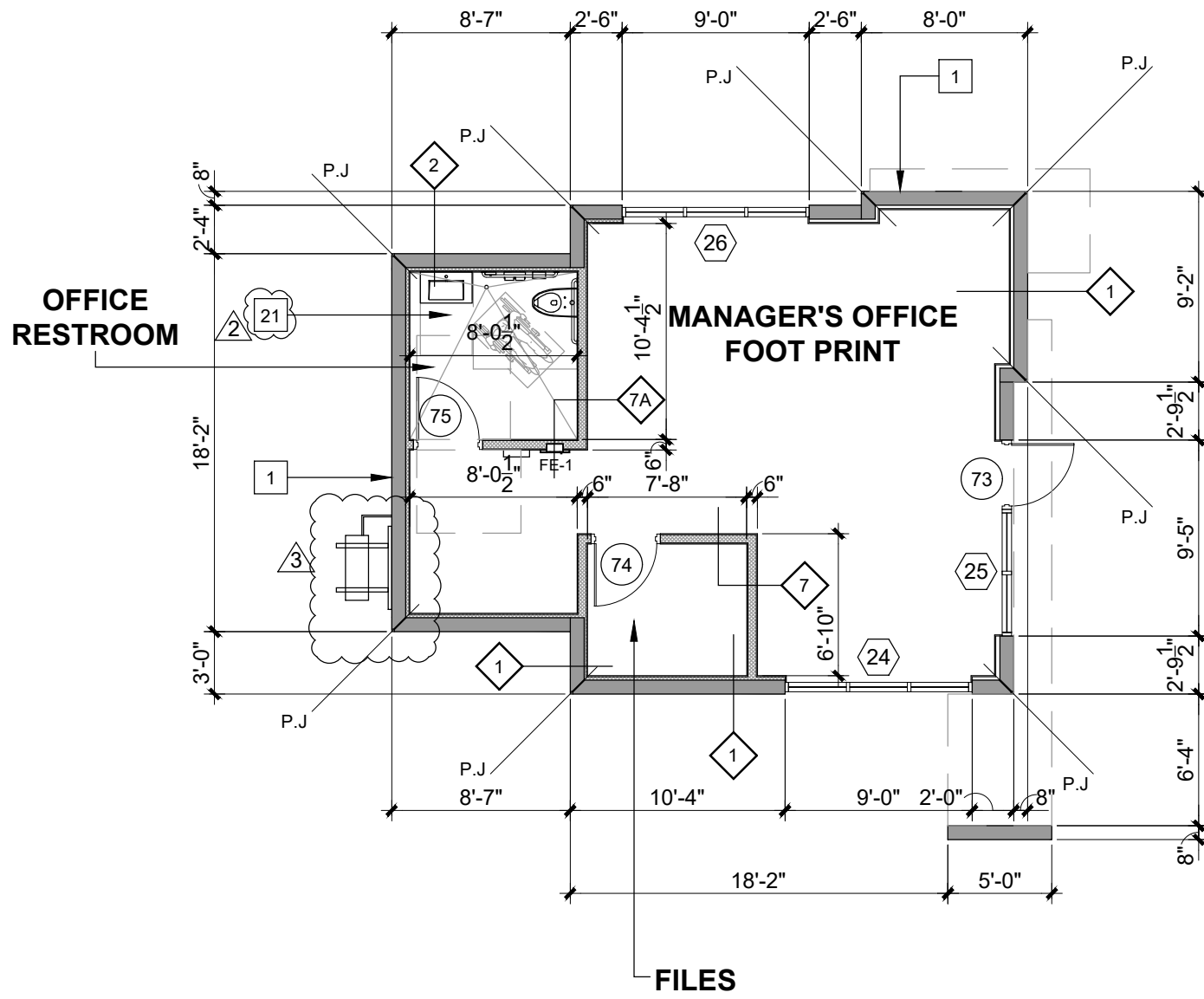
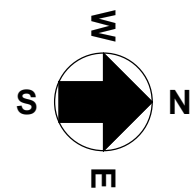


- | | |
|---|------------------------------------|
|  | TILT-UP PANEL WITH TEX-COTE FINISH |
|  | MTL. STUD NON RATED PARTITION |
|  | CONCRETE BLOCK WALL 1HR. RATED |

CONSTRUCTION
DOCUMENTS



1 PROPOSED GROUND LEVEL - ENLARGED SHOW ROOM AND MANAGER'S OFFICE FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISH ON EXTERIOR FACE ONLY.
- 2 HOSE-BIB RECESSED IN WALL MODEL NO. PRIER C-384 COMMERCIAL HYDRANT.
- 3 CONTINUOUS LINEAR DRAIN IN FRONT OF ROLL UP DOOR. REFER TO DETAIL. SEE PLUMBING / CIVIL FOR CONNECTION. TYPICAL AT ALL ROLL-UP DOORS.
- 4 CMU WALL, REFER TO WALL TYPES.
- 5 REFER TO ENLARGED UNISEX TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.6 FOR MORE INFORMATION.
- 6 STEEL COLUMN
- 7 EDGE OF MEZZANINE ABOVE.
- 8 REFER TO STRUCTURAL FOR CONTROL JOINTS IN SLAB (TYP.)
- 9 CEILING ABOVE
- 10 TILE FINISH, SELECTION TO BE DETERMINED. TYP
- 11 REFER TO SHEET A-8.2 FOR STAIR PLAN
- 12 ROOF DRAIN LEADER, BOXED OUT WITH G.W.R.
- 13 ELECTRICAL AND I.T EQUIPMENT, REF TO ELECTRICAL DRAWINGS.
- 14 EXTERIOR METAL STAIR.
- 15 1" RECESS, REFER TO DETAIL.
- 16 A/C SHAFT.
- 17 42" HIGH GLASS GUARDRAIL.
- 18 EXPOSED CONCRETE FINISH IN STORAGE
- 19 ELECTRICAL PANEL
- 20 TYPICAL CABINET BLOCKING DETAIL, REFER TO SHEET A3.6
- 21 REFER TO ENLARGED TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.7 FOR MORE INFORMATION.
- 22 NOT USED

NOTES:

1. GC IS RESPONSIBLE FOR COORDINATING ALL WIRING DATA WITH MILLWORK MANUFACTURER.
2. THESE PLANS REPRESENT AS-BUILT CONDITION FORMING THE BASIS FOR DESIGN & BIDDING.
3. NO SUBSTITUTIONS ALLOWED, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
4. ANY DISCOVERED FIELD CONDITIONS REQUIRING DEVIATIONS FROM THESE DOCUMENTS MUST BE SUBMITTED TO THE A/E BY RFI FROM THE G.C. FOR A/E RESOLUTION.
5. THE G.C. IS RESPONSIBLE FOR ALL DEVIATIONS & IS AT FURTHER RISK IF DEVIATIONS ARE DONE WITHOUT WRITTEN A/E ACCEPTANCE.
6. REFER TO MEP DRAWINGS FOR OUTLET AND SWITCH INFORMATION.

FLOOR PLAN NOTES:

1. BATHROOM DOORS SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
2. BATHROOM FLOORS AND BASE SHALL BE OF IMPERVIOUS MATERIAL.
3. ALL GLASS USED INSIDE PROJECT SHALL BE CAT.II SAFETY GLASS.
4. REFER TO WALL TYPES FOR BOARD TYPE INSTALLATION.
5. GENERAL CONTRACTOR SHALL FOLLOW THE TILE COUNCIL OF NORTH AMERICA INSTALLATION GUIDELINES FOR ALL TILE AND STONE INSTALLATION THROUGHOUT. COEFFICIENT OF FRICTION FOR WET INTERIOR TILES SHALL BE 0.42 PER THE TILE COUNCIL OF NORTH AMERICA.

NOTE:

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE REVIEWED THE ENTIRE SET OF DRAWINGS PROVIDE ALL REQUIRED BLOCKING INSIDE OF WALLS FOR WALL MOUNTED ITEMS.

CHANGE IN ELEVATION AT ALL DOORS ARE NOT TO EXCEED 1/2". G.C. SHALL VERIFY THAT THE MAXIMUM SLOPE IN FRONT OF DOORS DOES NOT EXCEED A SLOPE OF 1:48

GENERAL CONTRACTOR SHALL VERIFY FLOOR ELEVATION AND COORDINATE WITH PROPOSED DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION.

NOTE:

OCCUPANCY SHALL BE POSTED IN ALL ASSEMBLY / CONFERENCE / LUNCH ROOMS.

NOTE:

THERE IS NO COOKING EQUIPMENT IN THE PREMISES.

WALL LEGEND:

- | | |
|--|-------------------------------------|
| | TILT-UP PANEL WITH TEX-COTE FINISH. |
| | MTL. STUD NON RATED PARTITION |
| | CONCRETE BLOCK WALL 1HR. RATED |

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
1 BLDG. DEPT. REV 2: 2.27.23
2 BLDG. DEPT. REV 3: 5.12.23
3 OWNER REVISION 7: 02.14.24
4 COORDINATION: 05.14.24

JOSE A. VIDAL/ARJ4593
MANUEL D. FERNANDEZ
ARJ55651
SEAL

ENLARGED
FLOOR PLAN

A2.5
CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. neither the project for which they were prepared is donated or not. They are not to be used in any manner or other project or otherwise in the project except by agreement in writing and with the prior written consent of V3 Architectural Group, Inc. Reproduction of these drawings without the written consent of V3 Architectural Group, Inc. is prohibited.



U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JIM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
COORDINATION: 05.14.24

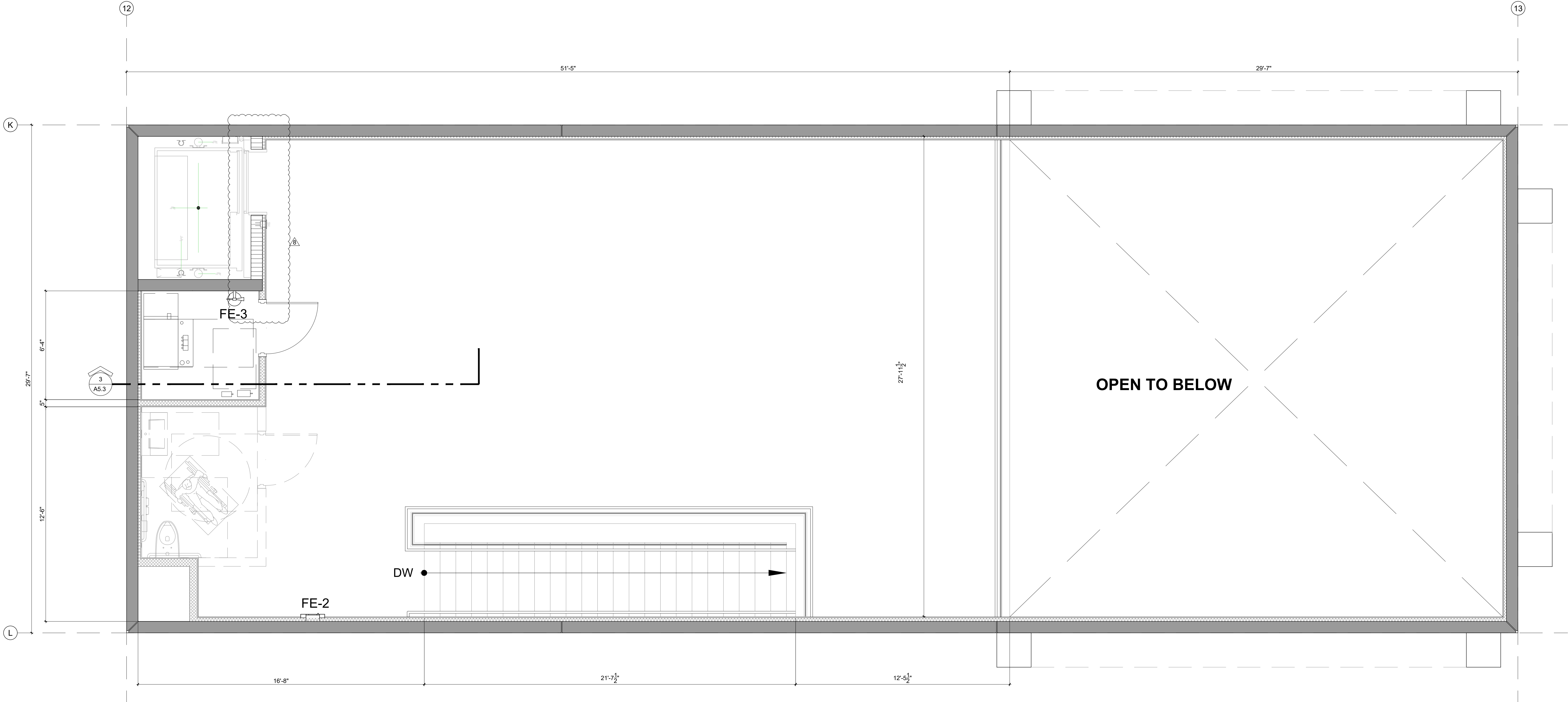
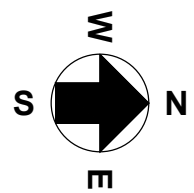
JOSE A. VIDAL, AIA 4535
MANUEL D. FERNANDEZ, AIA 35651
SEAL

ENLARGED FLOOR PLAN

A2.6A

CONSTRUCTION DOCUMENTS

1 PROPOSED MEZZANINE FLOOR - ENLARGED SHOWROOM FLOOR PLAN
SCALE: 3/8" = 1'-0"



FLOOR PLAN KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-CODE FINISH ON EXTERIOR FACE ONLY.
- 2 HOSE-BIB RECESSED IN WALL. MODEL NO. PRIER C-364 COMMERCIAL HYDRANT.
- 3 CONTINUOUS LINEAR DRAIN IN FRONT OF ROLL-UP DOOR. REFER TO DETAIL. SEE PLUMBING / CIVIL FOR CONNECTION. TYPICAL AT ALL ROLL-UP DOORS.
- 4 CMU WALL, REFER TO WALL TYPES.
- 5 REFER TO ENLARGED UNISEX TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.6 FOR MORE INFORMATION.
- 6 STEEL COLUMN
- 7 EDGE OF MEZZANINE ABOVE.
- 8 REFER TO STRUCTURAL FOR CONTROL JOINTS IN SLAB (TYP.)
- 9 CEILING ABOVE
- 10 TILE FINISH, SELECTION TO BE DETERMINED. TYP
- 11 REFER TO SHEET A-8.2 FOR STAIR PLAN
- 12 ROOF DRAIN LEADER, BOXED OUT WITH G.W.R.
- 13 ELECTRICAL AND I.T EQUIPMENT, REF TO ELECTRICAL DRAWINGS.
- 14 EXTERIOR METAL STAIR.
- 15 1" RECESS, REFER TO DETAIL.
- 16 A/C SHAFT.
- 17 42" HIGH GLASS GUARDRAIL.
- 18 EXPOSED CONCRETE FINISH IN STORAGE
- 19 ELECTRICAL PANEL
- 20 TYPICAL CABINET BLOCKING DETAIL., REFER TO SHEET A3.6
- 21 REFER TO ENLARGED TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.7 FOR MORE INFORMATION.
- 22 NOT USED

NOTES:

1. GC IS RESPONSIBLE FOR COORDINATING ALL WIRING/DATA WITH MILLWORK MANUFACTURER.
2. THESE PLANS REPRESENT AS-BUILT CONDITION FORMING THE BASIS FOR DESIGN & BIDDING.
3. NO SUBSTITUTIONS ALLOWED, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
4. ANY DISCOVERED FIELD CONDITIONS REQUIRING DEVIATIONS FROM THESE DOCUMENTS MUST BE SUBMITTED TO THE A/E BY RFI FROM THE G.C. FOR A/E RESOLUTION.
5. THE G.C. IS RESPONSIBLE FOR ALL DEVIATIONS & IS AT FURTHER RISK IF DEVIATIONS ARE DONE WITHOUT WRITTEN A/E ACCEPTANCE.
6. REFER TO MEP DRAWINGS FOR OUTLET AND SWITCH INFORMATION.

FLOOR PLAN NOTES:

1. BATHROOM DOORS SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
2. BATHROOM FLOORS AND BASE SHALL BE OF IMPERVIOUS MATERIAL.
3. ALL GLASS USED INSIDE PROJECT SHALL BE CAT. II SAFETY GLASS.
4. REFER TO WALL TYPES FOR BOARD TYPE INSTALLATION.
5. GENERAL CONTRACTOR SHALL FOLLOW THE TILE COUNCIL OF NORTH AMERICA INSTALLATION GUIDELINES FOR ALL TILE AND STONE INSTALLATION THROUGHOUT. COEFFICIENT OF FRICTION FOR WET INTERIOR TILES SHALL BE 0.42 PER THE TILE COUNCIL OF NORTH AMERICA.

NOTE:

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE REVIEWED THE ENTIRE SET OF DRAWINGS PROVIDE ALL REQUIRED BLOCKING INSIDE OF WALLS FOR WALL MOUNTED ITEMS.

CHANGE IN ELEVATION AT ALL DOORS ARE NOT TO EXCEED 1/2". G.C. SHALL VERIFY THAT THE MAXIMUM SLOPE IN FRONT OF DOORS DOES NOT EXCEED A SLOPE OF 1:48
GENERAL CONTRACTOR SHALL VERIFY FLOOR ELEVATION AND COORDINATE WITH PROPOSED DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

NOTE:

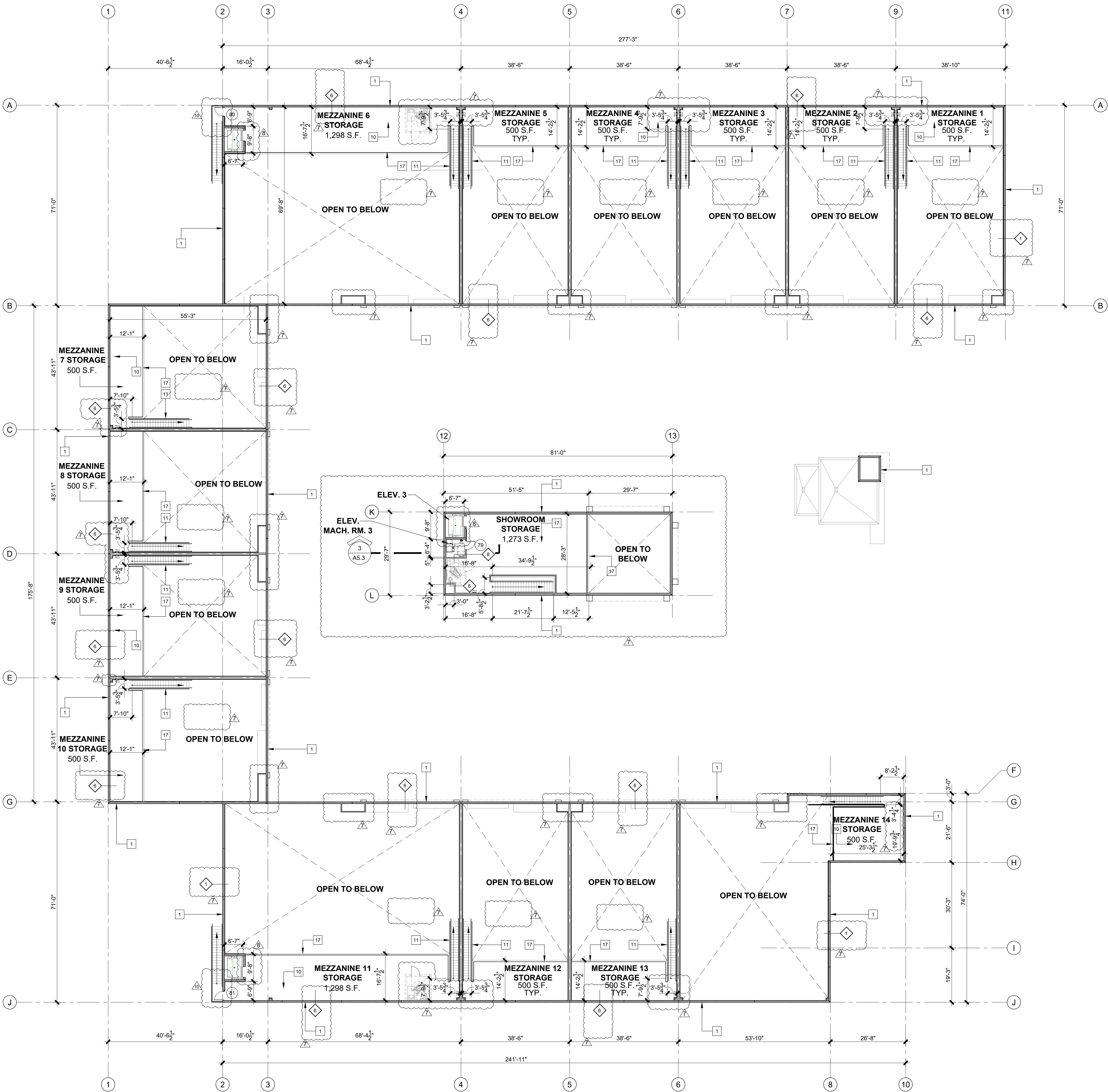
OCCUPANCY SHALL BE POSTED IN ALL ASSEMBLY / CONFERENCE / LUNCH ROOMS.

NOTE:

THERE IS NO COOKING EQUIPMENT IN THE PREMISES.

WALL LEGEND:

- TILT-UP PANEL WITH TEX-COTE FINISH.
- MTL. STUD NON RATED PARTITION
- CONCRETE BLOCK WALL 1HR. RATED



1 PROPOSED SECOND/ MEZZANINE LEVEL - OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"

FLOOR PLAN KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-CODE FINISH ON EXTERIOR FACE ONLY.
- 2 HOSE-BIB RECESSED IN WALL MODEL NO. PRIER C-364 COMMERCIAL HYDRANT .
- 3 CONTINUOUS LINEAR DRAIN IN FRONT OF ROLL UP DOOR. REFER TO DETAIL. SEE PLUMBING / CIVIL FOR CONNECTION. TYPICAL AT ALL ROLL-UP DOORS.
- 4 CMU WALL. REFER TO WALL TYPES.
- 5 REFER TO ENLARGED UNISEX TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.6 FOR MORE INFORMATION.
- 6 STEEL COLUMN
- 7 EDGE OF MEZZANINE ABOVE.
- 8 REFER TO STRUCTURAL FOR CONTROL JOINTS IN SLAB (TYP.)
- 9 CEILING ABOVE
- 10 TILE FINISH, SELECTION TO BE DETERMINED. TYP
- 11 REFER TO SHEET A-8.2 FOR STAIR PLAN
- 12 ROOF DRAIN LEADER, BOXED OUT WITH G.W.R.
- 13 ELECTRICAL AND I.T EQUIPMENT, REF TO ELECTRICAL DRAWINGS.
- 14 EXTERIOR METAL STAIR.
- 15 1" RECESS, REFER TO DETAIL.
- 16 A/C SHAFT.
- 17 42" HIGH GLASS GUARDRAIL.
- 18 EXPOSED CONCRETE FINISH IN STORAGE
- 19 ELECTRICAL PANEL
- 20 TYPICAL CABINET BLOCKING DETAIL. REFER TO SHEET A3.6
- 21 REFER TO ENLARGED TYP. RESTROOM PLAN AND ELEVATIONS ON SHEET A3.7 FOR MORE INFORMATION.
- 22 NOT USED

NOTES:

1. GC IS RESPONSIBLE FOR COORDINATING ALL WRINGSDATA WITH MILLWORK MANUFACTURER.
2. THESE PLANS REPRESENT AS-BUILT CONDITION FORMING THE BASIS FOR DESIGN & BIDDING.
3. NO SUBSTITUTIONS ALLOWED, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
4. ANY DISCOVERED FIELD CONDITIONS REQUIRING DEVIATIONS FROM THESE DOCUMENTS MUST BE SUBMITTED TO THE A/E BY RFI FROM THE G.C. FOR A/E RESOLUTION.
5. THE G.C. IS RESPONSIBLE FOR ALL DEVIATIONS & IS AT FURTHER RISK IF DEVIATIONS ARE DONE WITHOUT WRITTEN A/E ACCEPTANCE.
6. REFER TO MEP DRAWINGS FOR OUTLET AND SWITCH INFORMATION.

FLOOR PLAN NOTES:

1. BATHROOM DOORS SHALL BE DESIGNED TO PERMIT THE OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY.
2. BATHROOM FLOORS AND BASE SHALL BE OF IMPERVIOUS MATERIAL.
3. ALL GLASS USED INSIDE PROJECT SHALL BE CAT.II SAFETY GLASS.
4. REFER TO WALL TYPES FOR BOARD TYPE INSTALLATION.
5. GENERAL CONTRACTOR SHALL FOLLOW THE TILE COUNCIL OF NORTH AMERICA INSTALLATION GUIDELINES FOR ALL TILE AND STONE INSTALLATION THROUGHOUT. COEFFICIENT OF FRICTION FOR WET INTERIOR TILES SHALL BE 0.42 PER THE TILE COUNCIL OF NORTH AMERICA.

NOTE:

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO HAVE REVIEWED THE ENTIRE SET OF DRAWINGS PROVIDE ALL REQUIRED BLOCKING INSIDE OF WALLS FOR WALL MOUNTED ITEMS.

CHANGE IN ELEVATION AT ALL DOORS ARE NOT TO EXCEED 1/2". G.C. SHALL VERIFY THAT THE MAXIMUM SLOPE IN FRONT OF DOORS DOES NOT EXCEED A SLOPE OF 1:48

GENERAL CONTRACTOR SHALL VERIFY FLOOR ELEVATION AND COORDINATE WITH PROPOSED DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

NOTE:

OCCUPANCY SHALL BE POSTED IN ALL ASSEMBLY / CONFERENCE / LUNCH ROOMS.

NOTE:

THERE IS NO COOKING EQUIPMENT IN THE PREMISES.

WALL LEGEND:

- TILT-UP PANEL WITH TEX-COTE FINISH.
- MTL. STUD NON RATED PARTITION
- CONCRETE BLOCK WALL 1HR. RATED

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

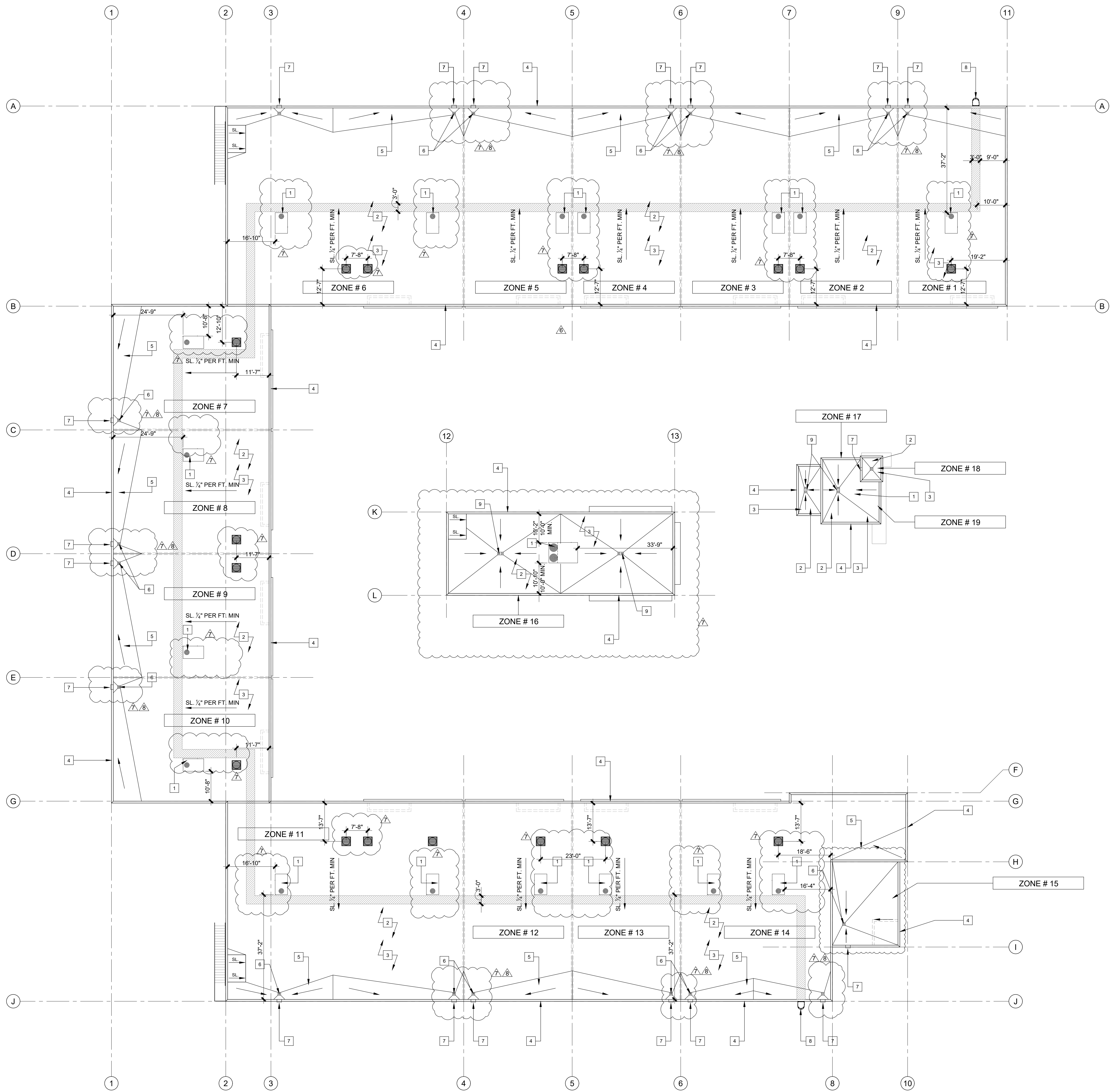
DATE: 11.15.22
DRAWN BY: JLM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
BLDG. DEPT. REV 2: 2.27.23
OWNER REVISION 7: 02.14.24
COORDINATION: 05.14.24
COORDINATION: 06.25.24

JOSE A. VIDAL (AR) 4535
MANUEL D. FERNANDEZ (AR) 3561
SEAL

OVERALL
FLOOR PLAN

A2.6
CONSTRUCTION
DOCUMENTS



1 PROPOSED OVERALL ROOF PLAN
SCALE: 1/16" = 1'-0"

ROOF PLAN KEY NOTES:

- 1 RTU, REFER TO MECHANICAL.
- 2 MIAMI DADE COUNTY APPROVED G.A.F. SINGLE-PLY (80 MILLS) ROOFING SYSTEM N.O.A.-16-0615.05.
- 3 PROVIDE SUFFICIENT INSULATION THICKNESS TO COUNTER THE CAMBER OF THE TWIN-TEES.
- 4 METAL PARAPET, REFER TO DETAIL.
- 5 PROVIDE CRICKET AS SHOW 1/2" SLOPE MINIMUM (TYP.).
- 6 ROOF DRAIN, REFER TO PLUMBING FOR SIZE (TYP.)
- 7 EMERGENCY OVERFLOW METAL SCUPPER / REFER TO PLUMBING FOR SIZE
- 8 GALVANIZED STEEL CAGED LADDER WITH PLATFORM REFER TO DETAIL.
- 9 ROOF DRAIN AND EMERGENCY DRAIN COMBO REFER TO DETAIL AND PLUMBING FOR SIZE.

NOTES:

ROOFING SYSTEM INSTALLED PER N.O.D. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURERS INSTALLATION GUIDELINES FOR ARCHITECTS REVIEW

NOTES:

ROOFING INSTALLATION SHALL BE UNDER A SEPARATE PERMIT

NOTES:

REFER TO PLUMBING DRAWINGS FOR ROOF DRAINAGE CALCULATIONS

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	JM
DESIGNED BY:	JAV
REVIEWED BY:	MDF
PROJECT NO.	21-0033

REVISIONS	
1	BLDG. DEPT. REV 2: 2.27.23
2	OWNER REVISION 7: 02.14.24
3	COORDINATION: 05.14.24

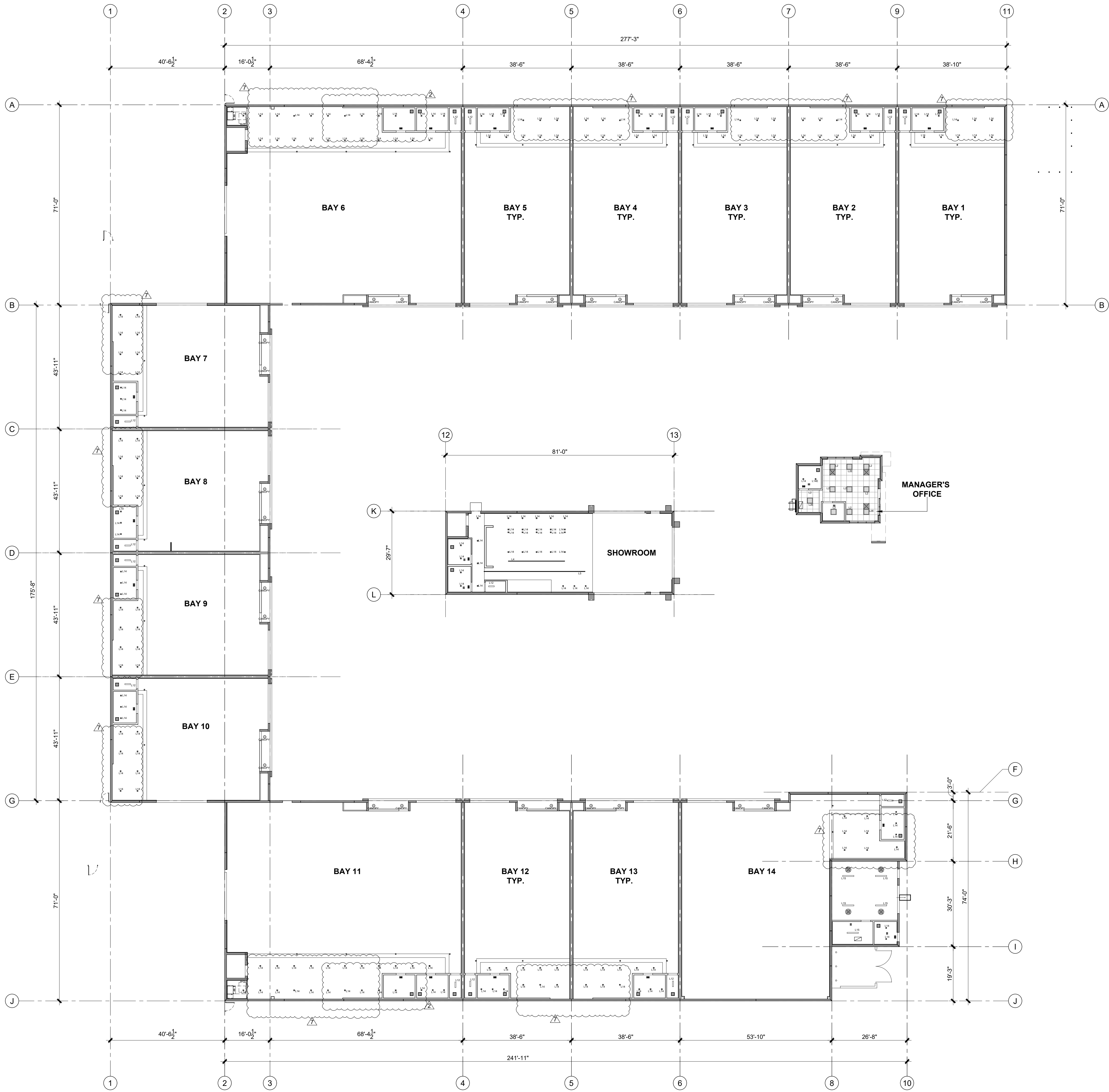
JOSE A. VIDAL/AR04593	SEAL
MANUEL D. FERNANDEZ	
AR035651	

PROPOSED
ROOF PLAN

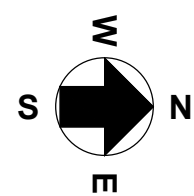
A2.7
CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. neither the project nor any portion thereof may be reproduced or used in any manner without the prior written consent of V3 Architectural Group, Inc. Reproduction or use without the written consent of V3 Architectural Group, Inc. is prohibited.





1 PROPOSED GROUND LEVEL - OVERALL REFLECTED FLOOR PLAN
SCALE: 1/16" = 1'-0"



R.C.P. KEY NOTES

1	1/2" G.W.B. OVER 7/8" GALV. METAL FURRING AT 16" O.C. ATTACHED TO UNDERSIDE OF JOINT SMOOTH (LEVEL 4) FIN. ON G.W.B.
2	1/2" M.R. OVER 1-5/8" (20 GA) MTL FRAME AT 16" O.C. SMOOTH (LEVEL 4) FIN. ON G.W.B.
3	G.W.B. SOFFIT, REFER TO SECTIONS AND DETAILS
4	NO CEILING IN THIS SPACE
5	NOT USED
6	SMOOTH TEX COTE FINISH TO UNDERSIDE OF SLAB
7	NOT USED
8	NOT USED
9	NOT USED
10	2" X 2" X 5/8" USG OLYMPIA™ PANELS 50 NRC®, EDGE SLT WITH GRID PROFILE "D" USG DX® (DXL™) WITHE FINISH.
11	TWIN-TEES TO BE PAINTED BLACK
12	14" X 14" NEW DIFFUSER
13	SPRINKLERS

NOTE:

1. REFER TO MEP DRAWINGS FOR LIGHTING FIXTURE SCHEDULE AND LOCATION OF EMERGENCY LIGHTS.

NOTE:

TWIN-TEES TO BE PAINTED BLACK (TYP.)

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JLM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
BLDG. DEPT. REV 2: 2.27.23
OWNER REVISION 7: 02.14.24

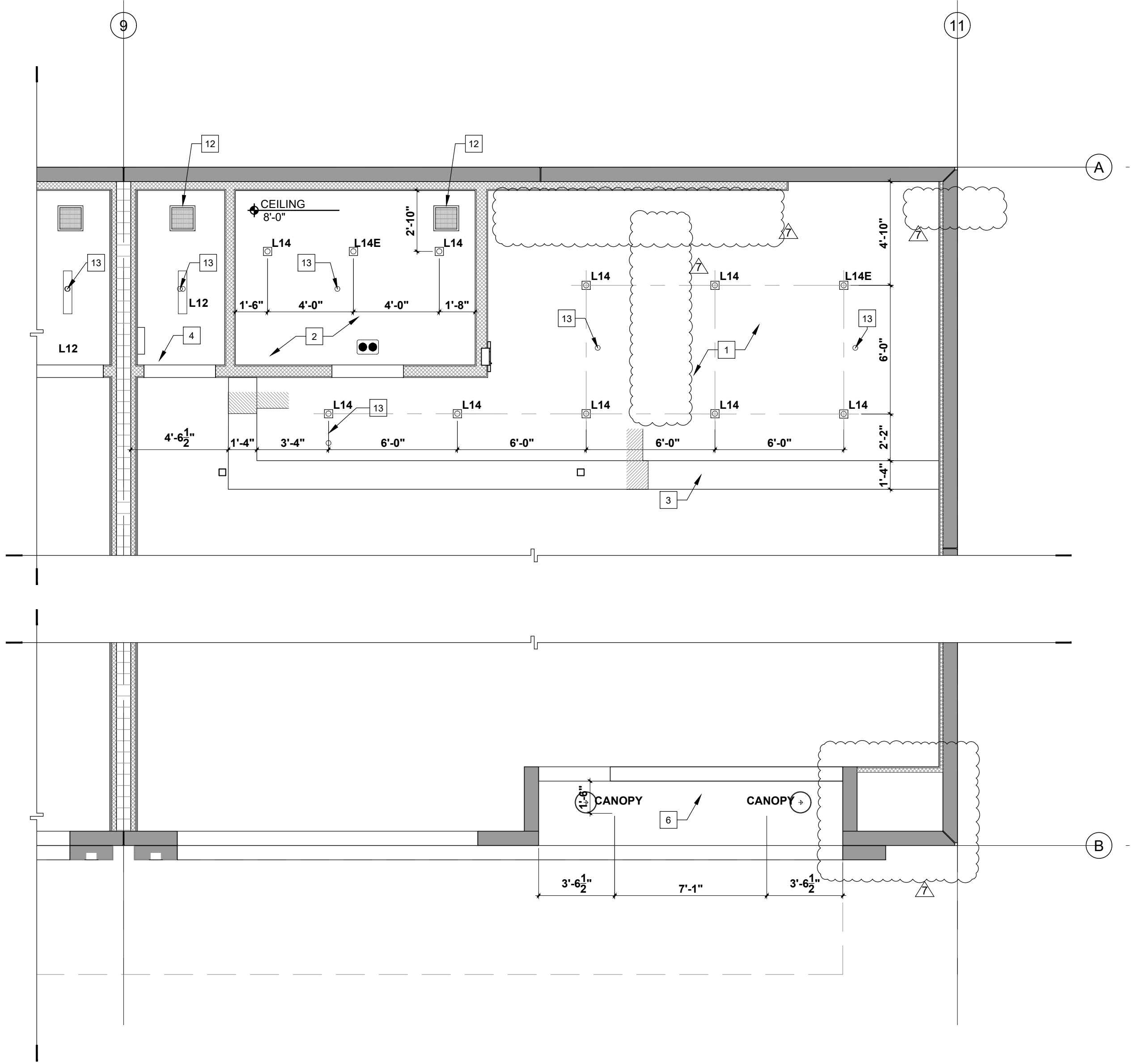
JOSE A. VIDAL/AR4593
MANUEL D. FERNANDEZ/AR35651
SEAL

REFLECTED
CEILING PLAN

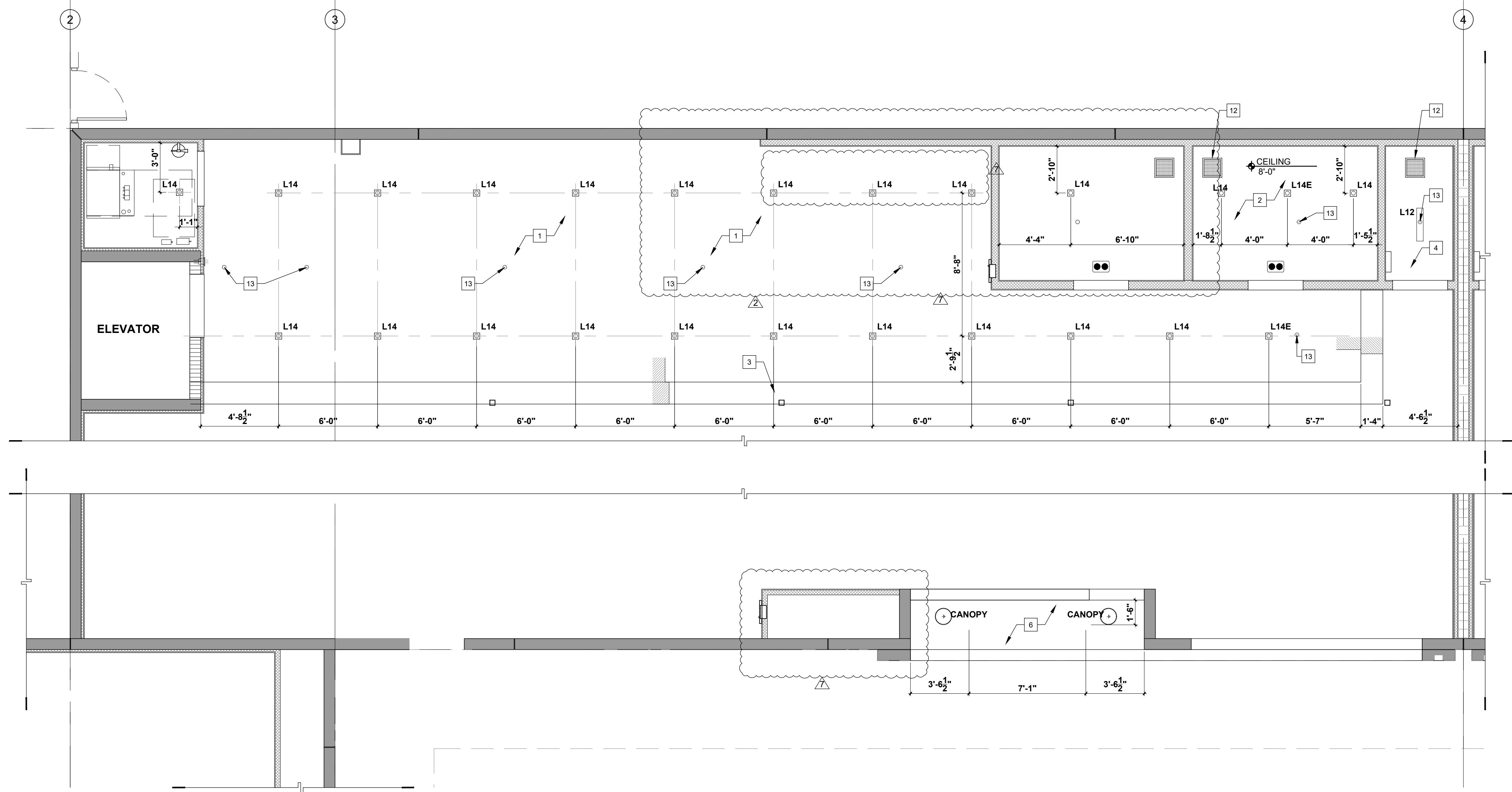
A3.0
CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. neither the project for which they were prepared is donated or not. They are not to be used or any portion or other project or otherwise in the project except by agreement in writing and with the written consent of V3 Architectural Group, Inc. Reproduction of these drawings without the written consent of V3 Architectural Group, Inc. is prohibited.

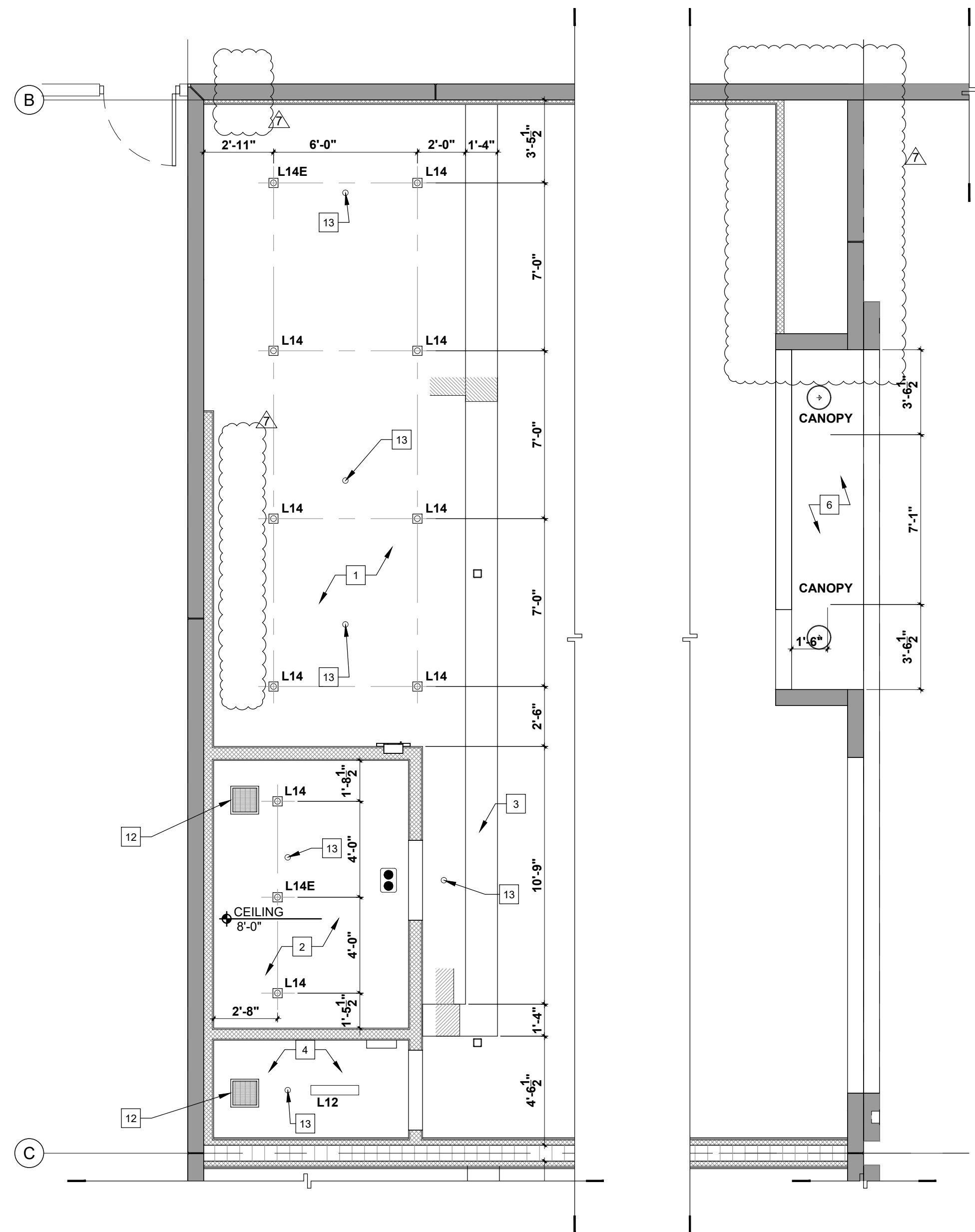




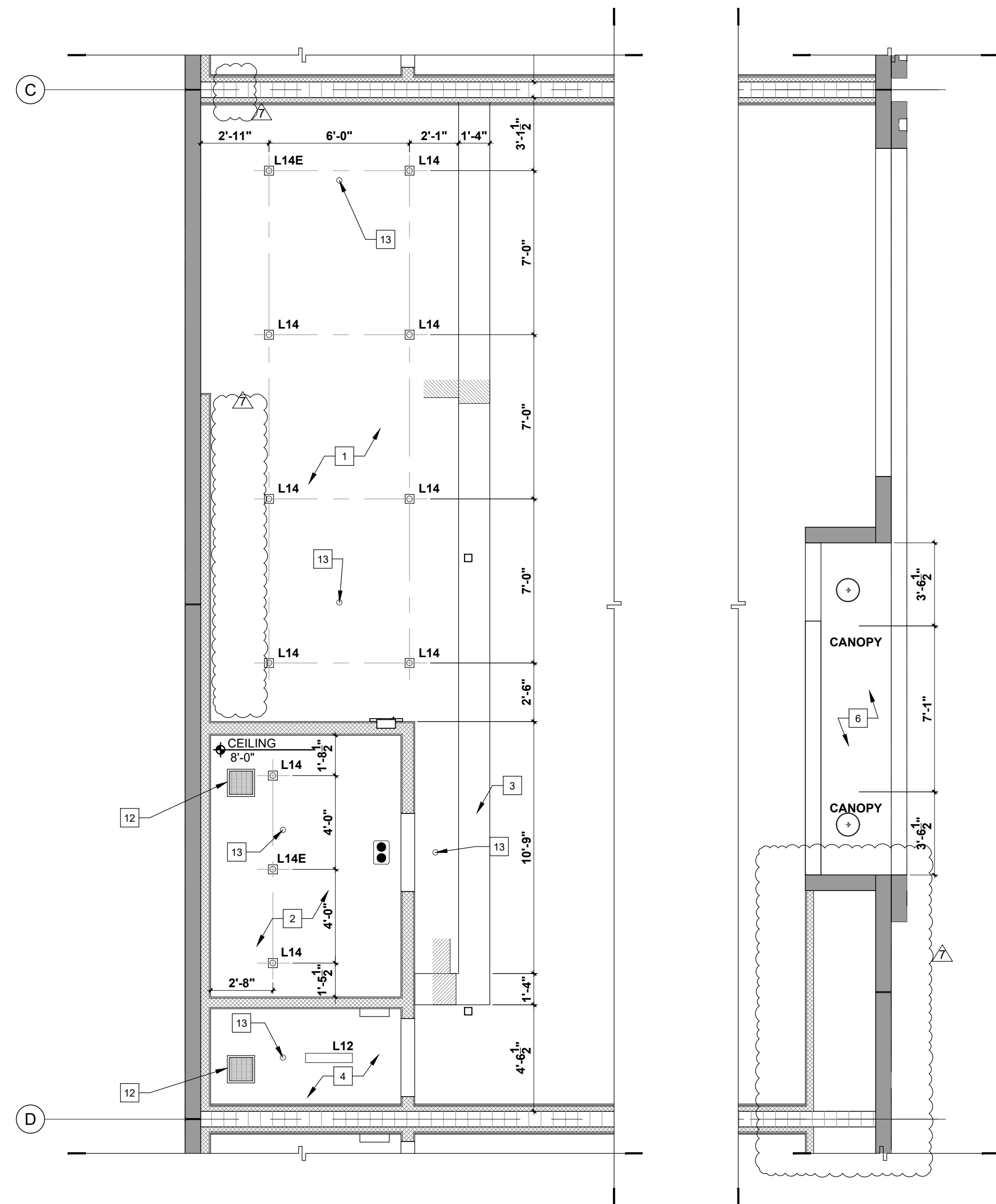
**1 PROPOSED GROUND LEVEL
ENLARGED REFLECTED CEILING PLAN TYPICAL BAY FLOOR PLAN** 
SCALE: 1/4" = 1'-0"



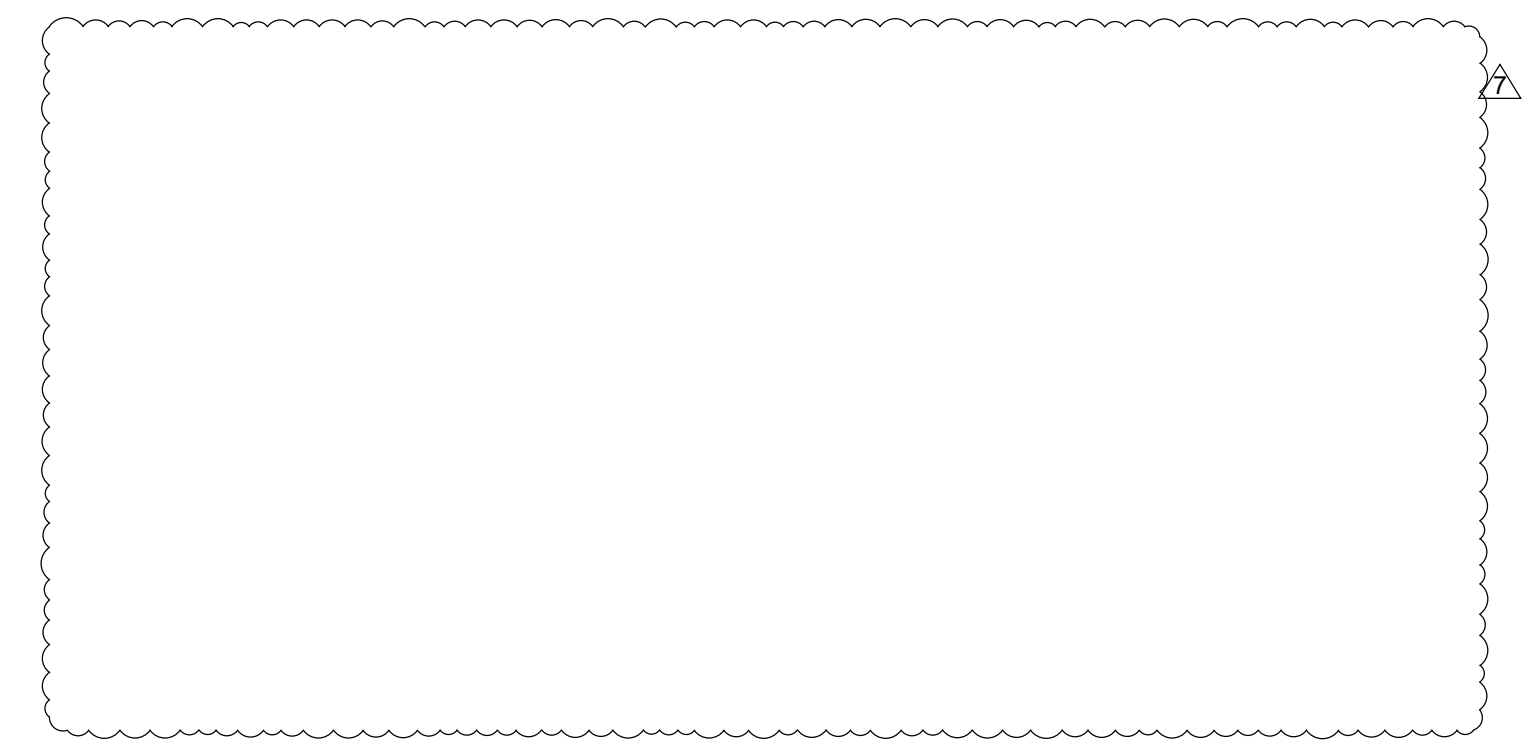
**2 PROPOSED GROUND LEVEL
ENLARGED REFLECTED CEILING PLAN BAY 6 & 11 (MIRROR) FLOOR PLAN** 
SCALE: 1/4" = 1'-0"



**3 PROPOSED GROUND LEVEL
ENLARGED REFLECTED CEILING PLAN BAY 7 & 10 (MIRROR) FLOOR PLAN** 
SCALE: 1/4" = 1'-0"



**4 PROPOSED GROUND LEVEL
ENLARGED REFLECTED CEILING PLAN BAY 8 & 9 (MIRROR) FLOOR PLAN** 
SCALE: 1/4" = 1'-0"



R.C.P. KEY NOTES	
1	1/2" G.W.B. OVER 7/8" GALV. METAL FURRING AT 16" O.C. ATTACHED TO UNDERSIDE OF JOIST SMOOTH (LEVEL 4) FIN. ON G.W.B.
2	1/2" M.R. OVER 1-5/8" (20 GA) MTL FRAME AT 16" O.C. SMOOTH (LEVEL 4) FIN. ON G.W.B.
3	G.W.B SOFFIT, REFER TO SECTIONS AND DETAILS
4	NO CEILING IN THIS SPACE
5	NOT USED
6	SMOOTH TEX COTE FINISH TO UNDERSIDE OF SLAB
7	NOT USED
8	NOT USED
9	NOT USED
10	2' X 2' X 5/8" USG OLYMPIA™ PANELS 50 NRC ⁰ , EDGE SLT WITH GRID PROFILE "D" USG DX ⁰ /DXL™ WITHIE FINISH.
11	TWIN-TEES TO BE PAINTED BLACK
12	14" X 14" NEW DIFFUSER
13	SPRINKLERS

NOTE:	
1.	REFER TO MEP DRAWINGS FOR LIGHTING FIXTURE SCHEDULE AND LOCATION OF EMERGENCY LIGHTS.
NOTE:	
TWIN-TEES TO BE PAINTED BLACK (TYP.)	

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JLM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

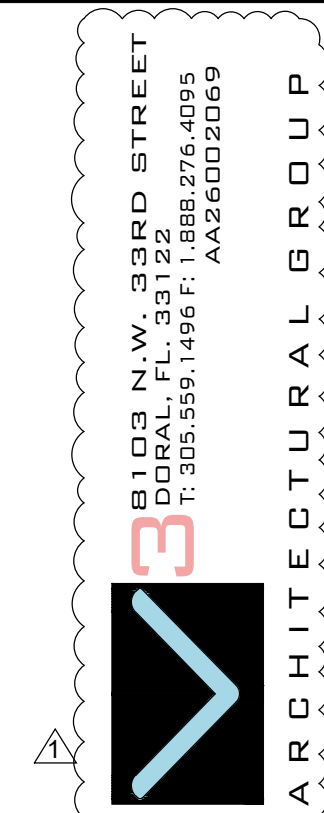
REVISIONS
BLDG. DEPT. REV 2: 2.27.23
OWNER REVISION 7: 02.14.24

JOSE A. VIDAL AR45393
MANUEL D. FERNANDEZ
AR335651
SEAL

REFLECTED
CEILING PLAN

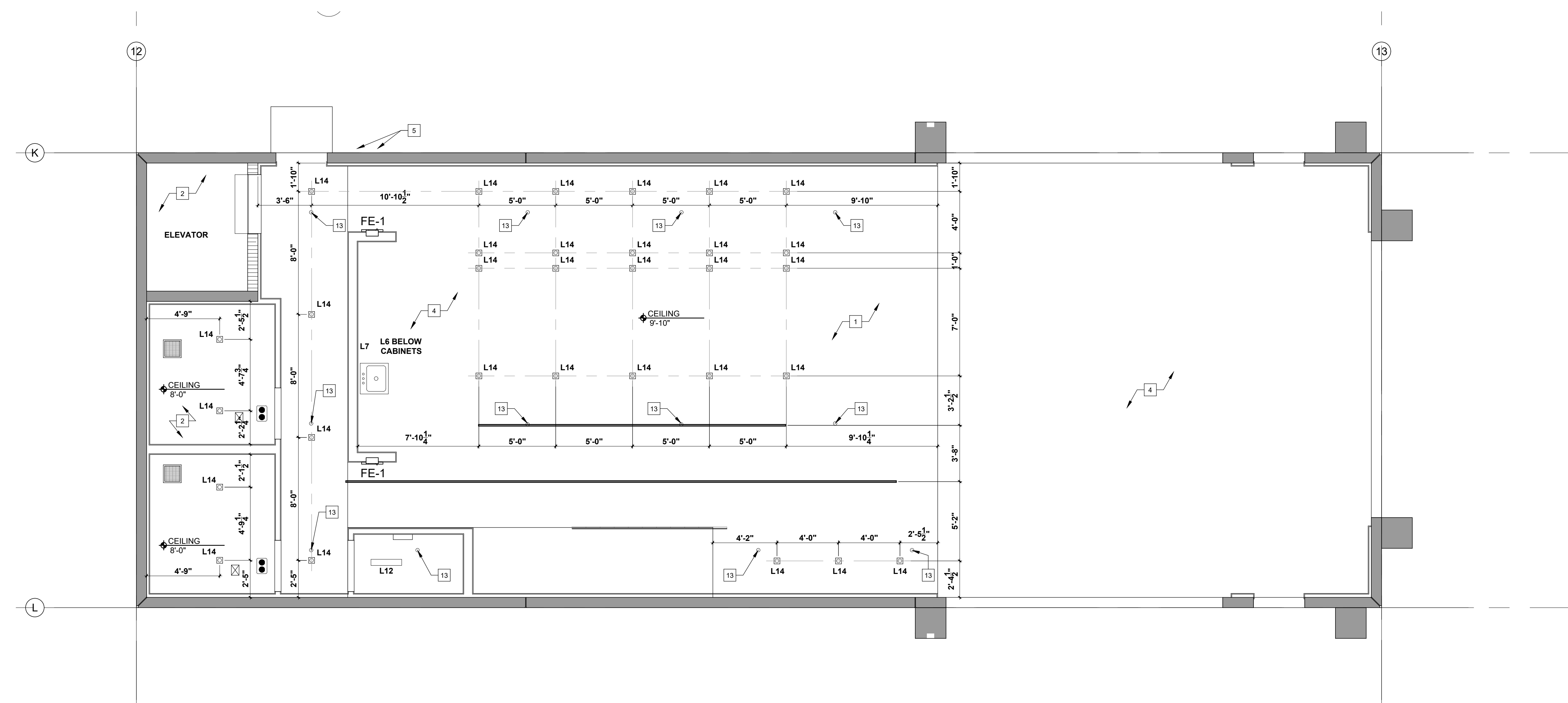
A3.1
CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. neither the project for which they were prepared is donated or not. They are not to be used or any transfer or other application or adaptation to the project except by agreement in writing and with the written consent of V3 Architectural Group, Inc. Reproduction or distribution of these drawings without the written consent of V3 Architectural Group, Inc. is prohibited.



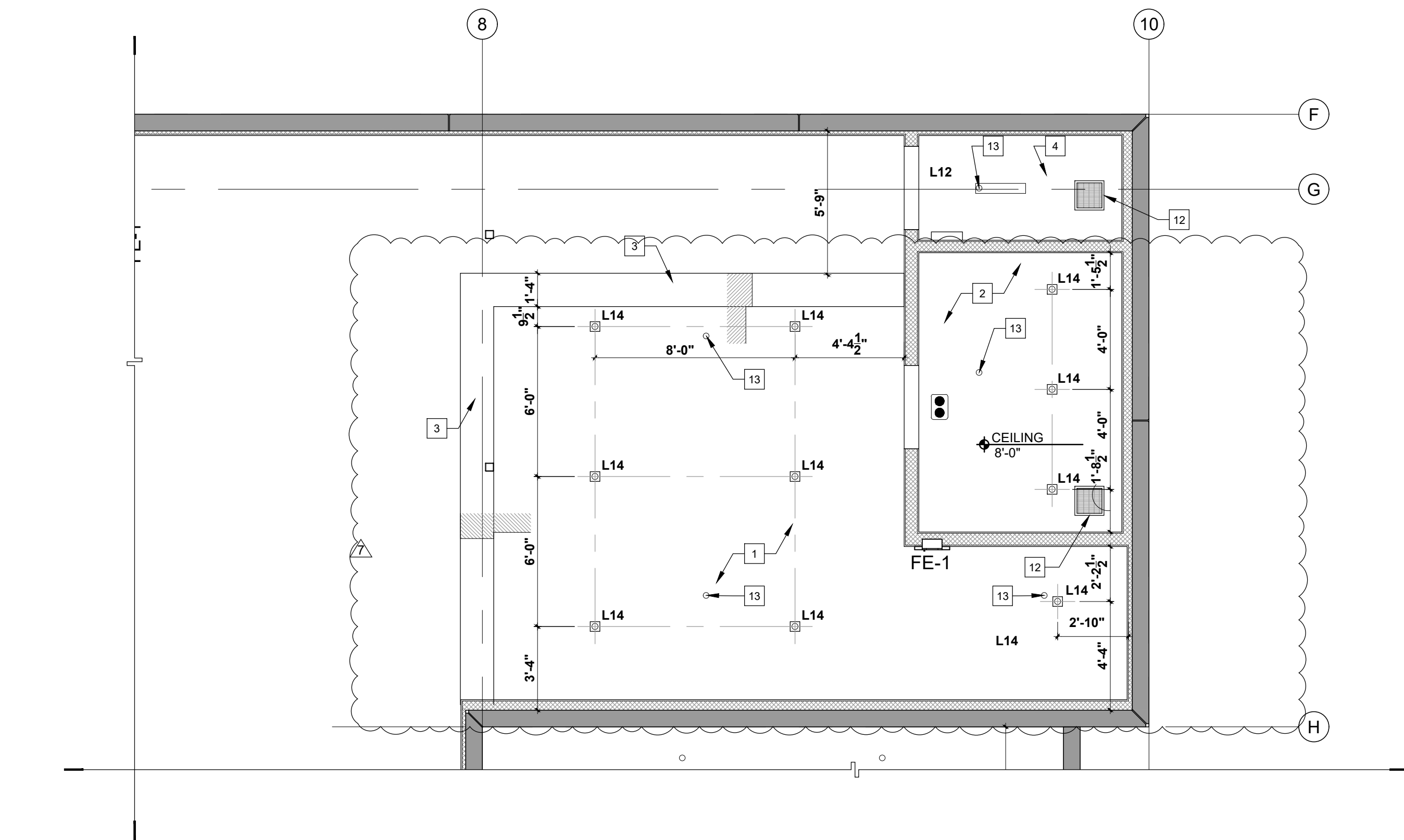
**1 PROPOSED GROUND LEVEL
ENLARGED REFLECTED BAY 14 FLOOR PLAN** 

SCALE: 1/4" = 1'-0"



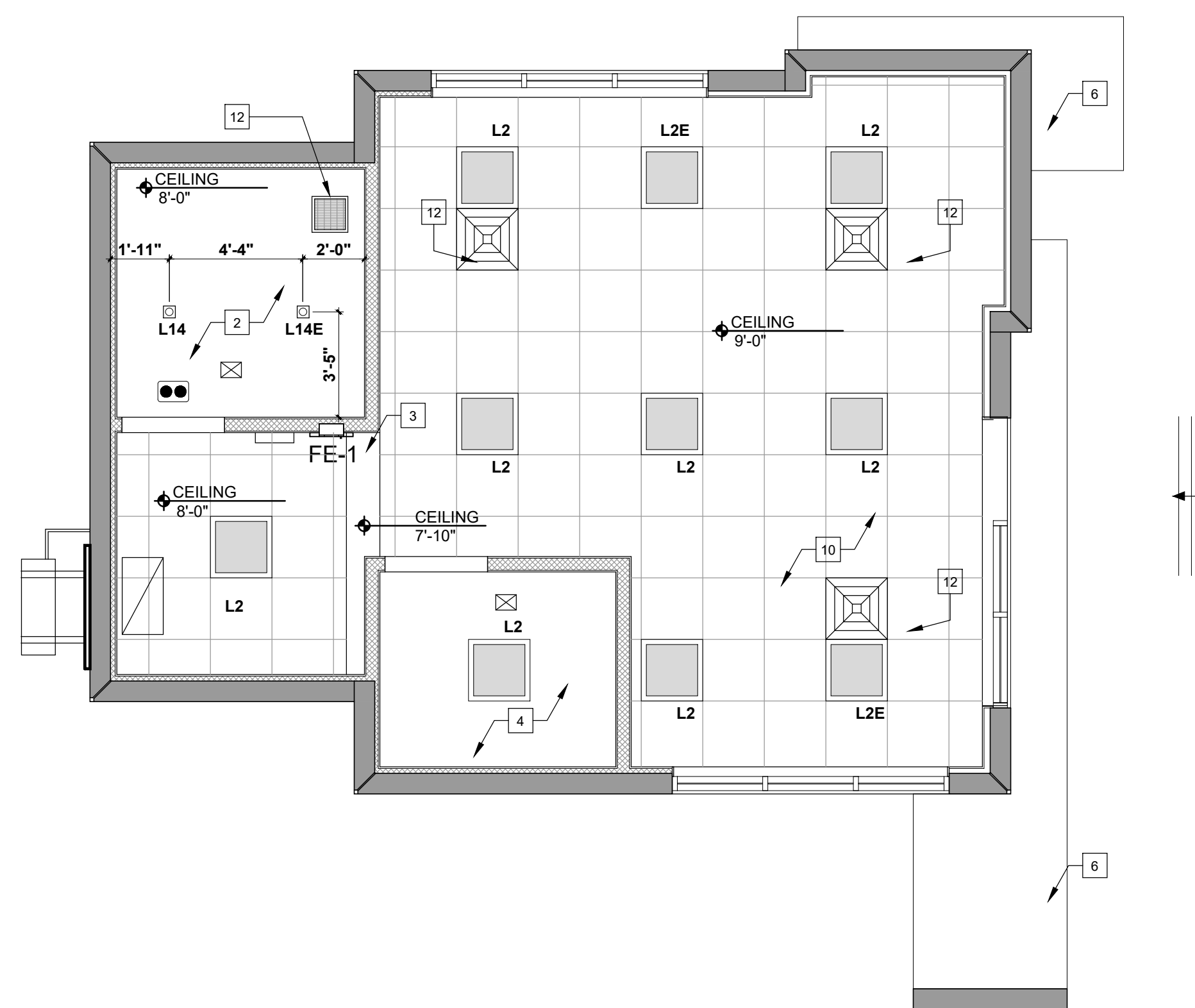
**2 PROPOSED GROUND LEVEL
ENLARGED REFLECTED SHOWROOM FLOOR PLAN** 

SCALE: 1/4" = 1'-0"



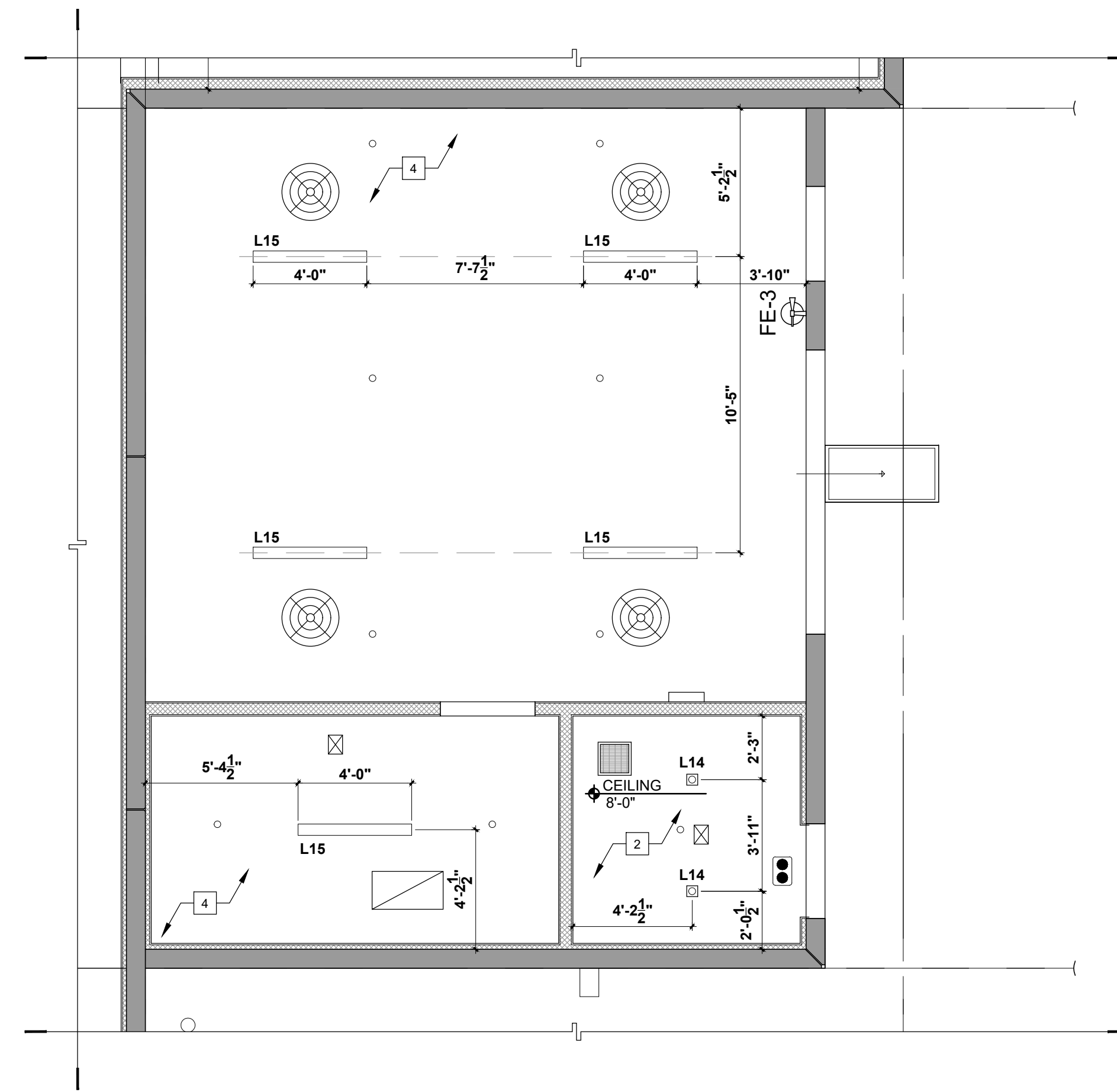
**3 PROPOSED GROUND LEVEL
ENLARGED REFLECTED MANAGER'S OFFICE FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**4 PROPOSED GROUND LEVEL
ENLARGED REFLECTED STORAGE FLOOR PLAN** 

SCALE: 1/4" = 1'-0"



R.C.P. KEY NOTES

1	1/2" G.W.B. OVER 7/8" GALV. METAL FURRING AT 16" O.C. ATTACHED TO UNDERSIDE OF JOIST SMOOTH (LEVEL 4) FIN. ON G.W.B.
2	1/2" M.R. OVER 1-5/8" (20 GA) MTL FRAME AT 16" O.C. SMOOTH (LEVEL 4) FIN. ON G.W.B.
3	G.W.B SOFFIT, REFER TO SECTIONS AND DETAILS
4	NO CEILING IN THIS SPACE
5	NOT USED
6	SMOOTH TEX COTE FINISH TO UNDERSIDE OF SLAB
7	NOT USED
8	NOT USED
9	NOT USED
10	2" X 2" X 5/8" USG OLYMPIA™ PANELS 50 NRC®, EDGE SLT WITH GRID PROFILE "D" USG DX™/DXL™ WITHE FINISH.
11	TWIN-TEES TO BE PAINTED BLACK
12	14" X 14" NEW DIFFUSER
13	SPRINKLERS

NOTE:

1. REFER TO MEP DRAWINGS FOR LIGHTING FIXTURE SCHEDULE AND LOCATION OF EMERGENCY LIGHTS.

NOTE:

TWIN-TEES TO BE PAINTED BLACK (TYP.)

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JIM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
BLDG. DEPT. REV 2: 2.27.23
OWNER REVISION 7: 02.14.24

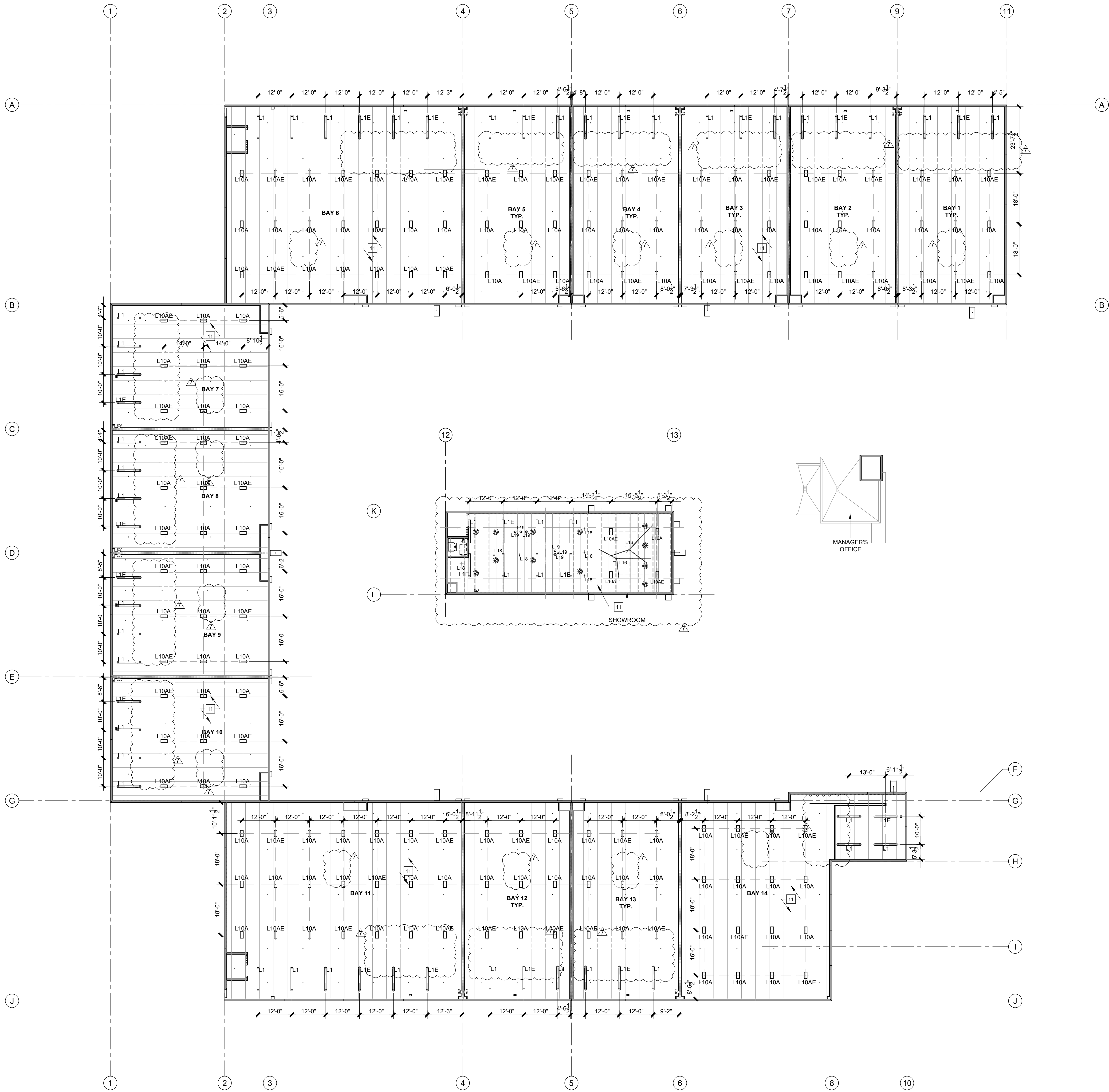
JOSE A. VIDAL/AR4593
MANUEL D. FERNANDEZ
AR35651
SEAL

REFLECTED
CEILING PLAN

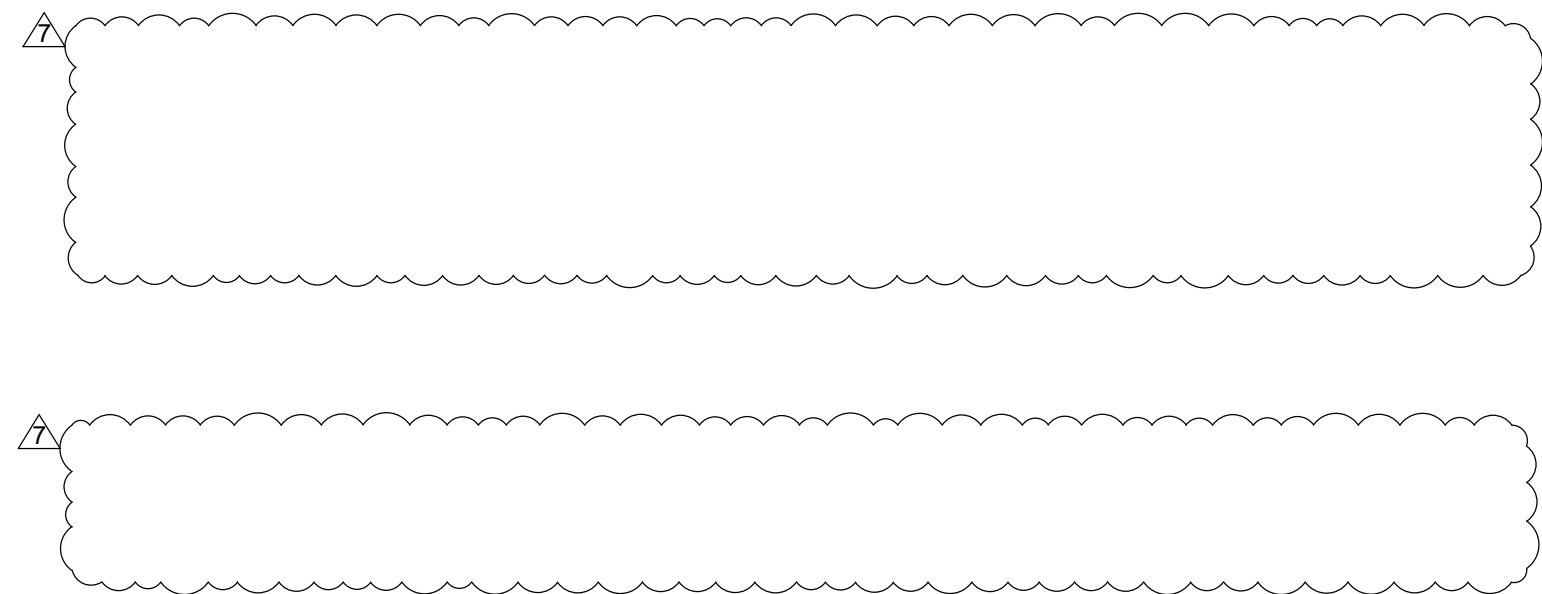
A3.2

CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. Neither the project for which they were prepared is donated or sold. They are not to be used in any manner or other project or otherwise in the project except by agreement in writing with V3 Architectural Group, Inc. Reproduction or other use without the written consent of V3 Architectural Group, Inc. is prohibited.



1 PROPOSED MEZZANINE LEVEL - OVERALL REFLECTED FLOOR PLAN
SCALE: 1/16" = 1'-0"



R.C.P. KEY NOTES

1	1/2" G.W.B. OVER 7/8" GALV. METAL FURRING AT 16" O.C. ATTACHED TO UNDERSIDE OF JOINTS SMOOTH (LEVEL 4) FIN. ON G.W.B.
2	1/2" M.R. OVER 1-5/8" (20 GA) MTL FRAME AT 16" O.C. SMOOTH (LEVEL 4) FIN. ON G.W.B.
3	G.W.B. SOFFIT, REFER TO SECTIONS AND DETAILS
4	NO CEILING IN THIS SPACE
5	NOT USED
6	SMOOTH TEX COTE FINISH TO UNDERSIDE OF SLAB
7	NOT USED
8	NOT USED
9	NOT USED
10	2' X 2' X 5/8" USG OLYMPIA™ PANELS 50 NRC®, EDGE SLT WITH GRID PROFILE "D" USG DX®/DXL™ WITH E FINISH.
11	TWIN-TEES TO BE PAINTED BLACK
12	14" X 14" NEW DIFFUSER
13	SPRINKLERS

NOTE:

1. REFER TO MEP DRAWINGS FOR LIGHTING FIXTURE SCHEDULE AND LOCATION OF EMERGENCY LIGHTS.

NOTE:

TWIN-TEES TO BE PAINTED BLACK (TYP.)

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	JM
DESIGNED BY:	JAV
REVIEWED BY:	MDF
PROJECT NO.	21-0033

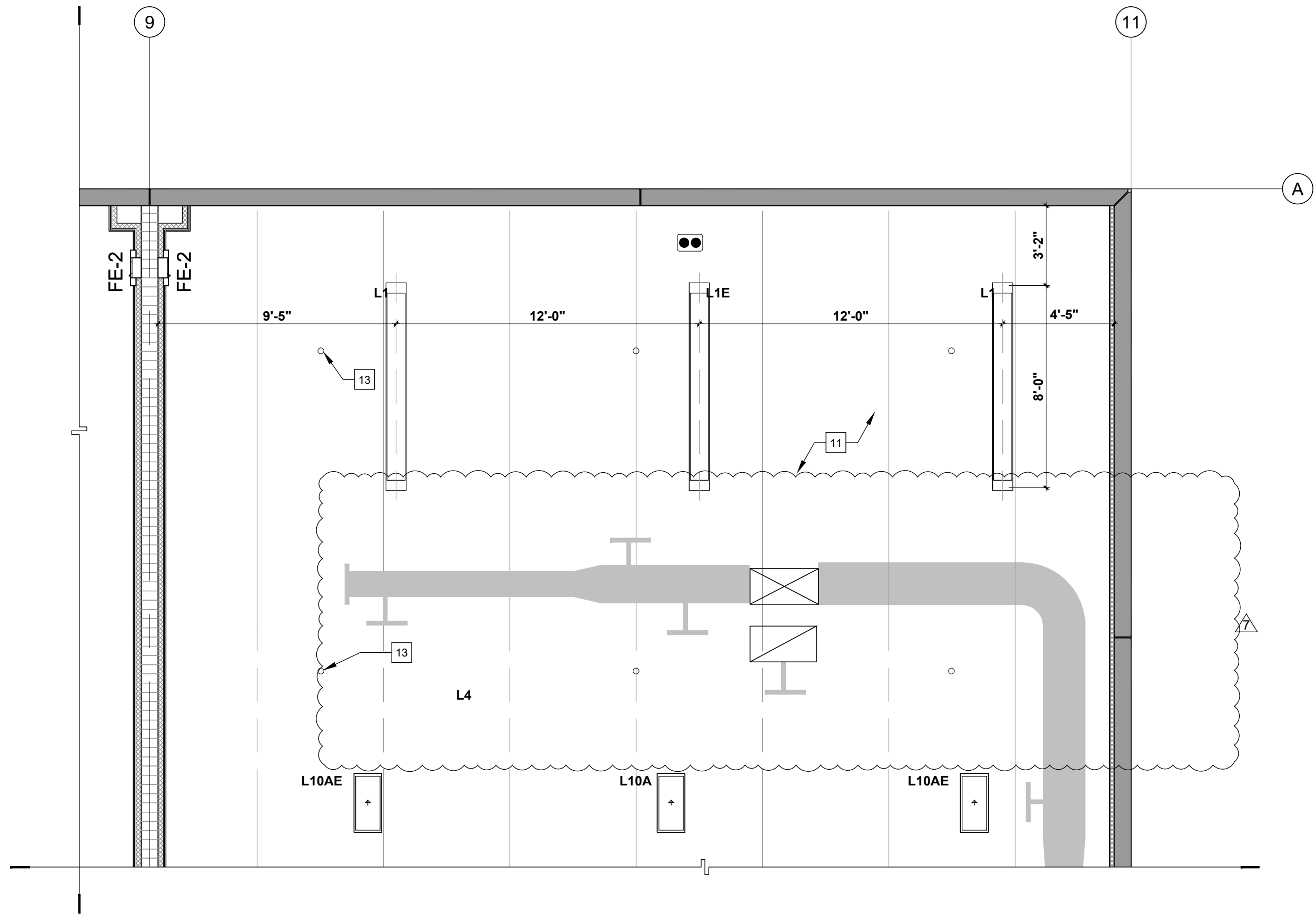
REVISIONS	
1	BLDG. DEPT. REV 2: 2.27.23
2	OWNER REVISION 7: 02.14.24

JOSE A. VIDAL/AR4593	SEAL
MANUEL D. FERNANDEZ	
AR35651	

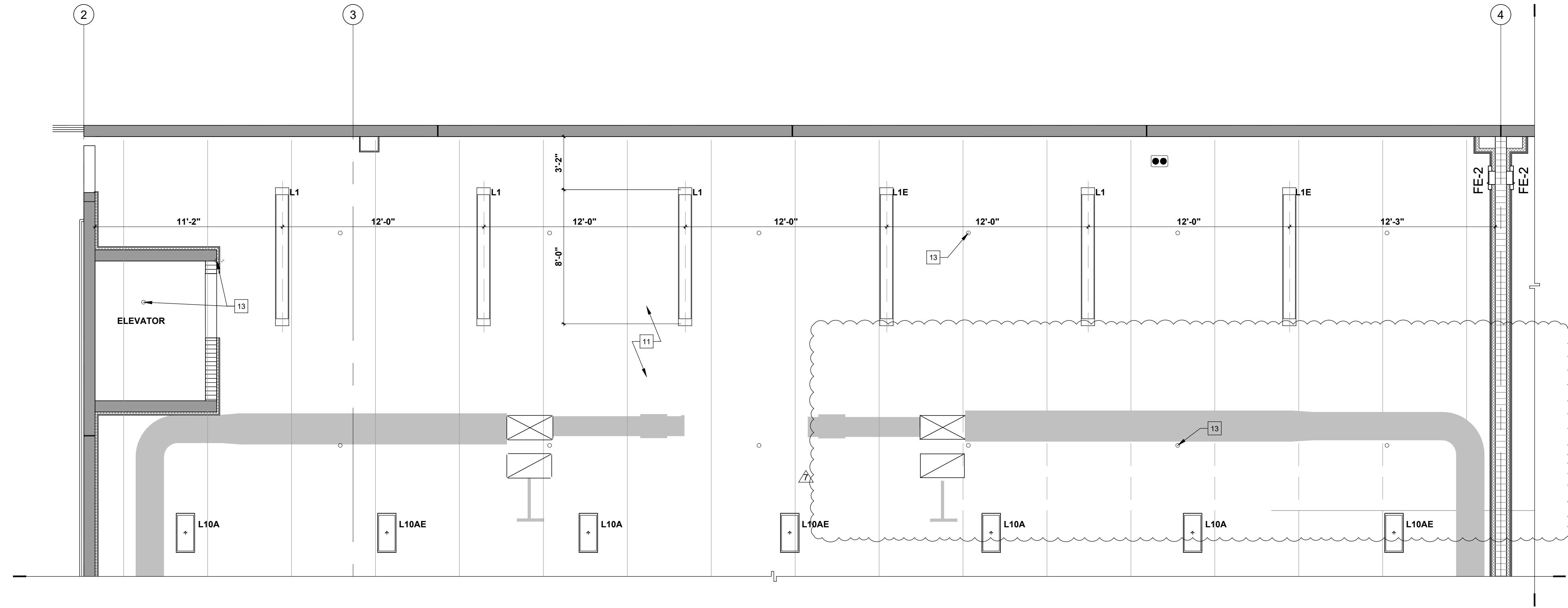
REFLECTED
CEILING PLAN

A3.3
CONSTRUCTION
DOCUMENTS

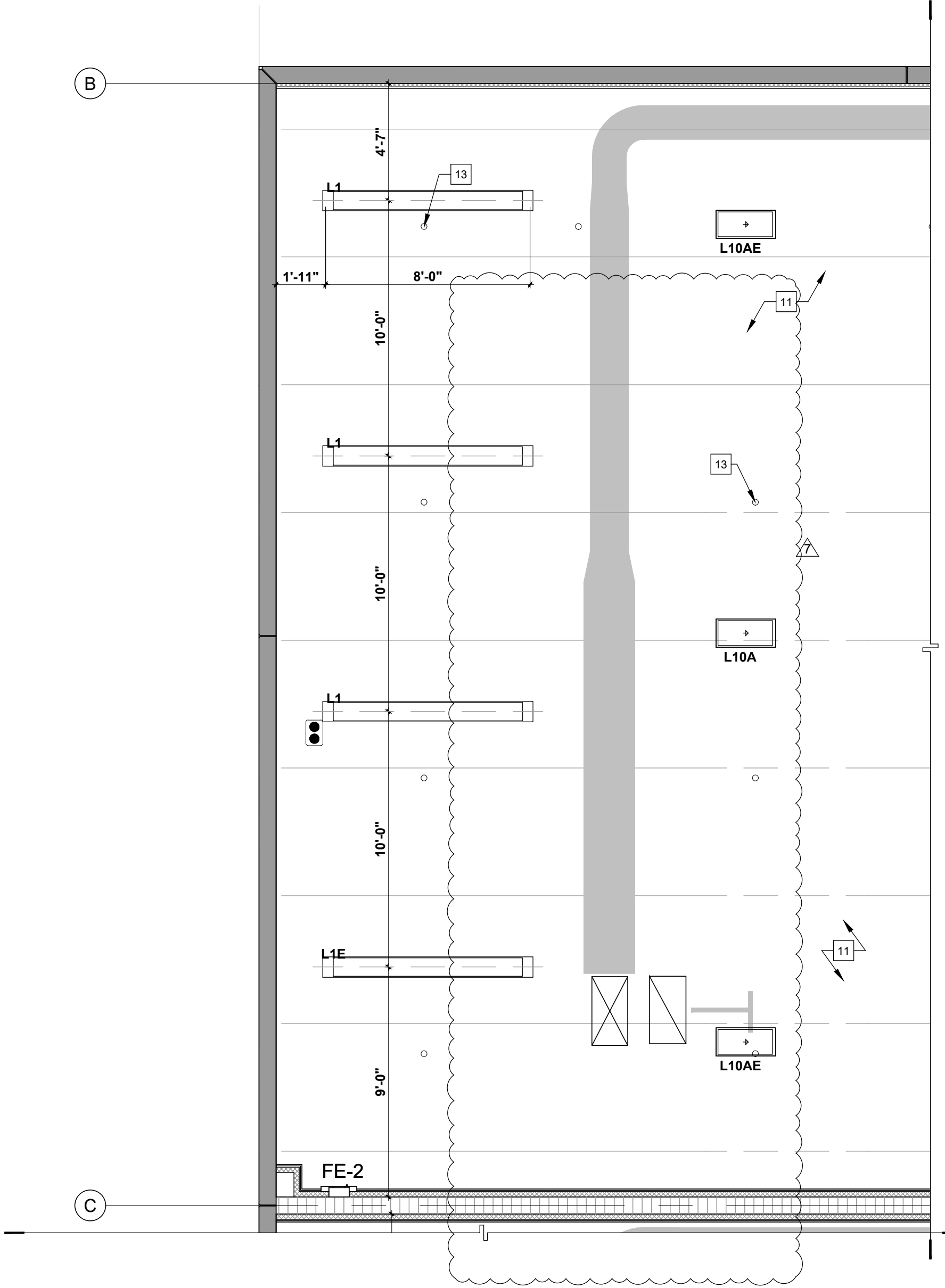
copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. No portion of this project for which they were prepared is to be used or reproduced in any form or by any means without the prior written consent of V3 Architectural Group, Inc. Reproduction of these drawings or specifications in any form or by any means without the prior written consent of V3 Architectural Group, Inc. is prohibited.



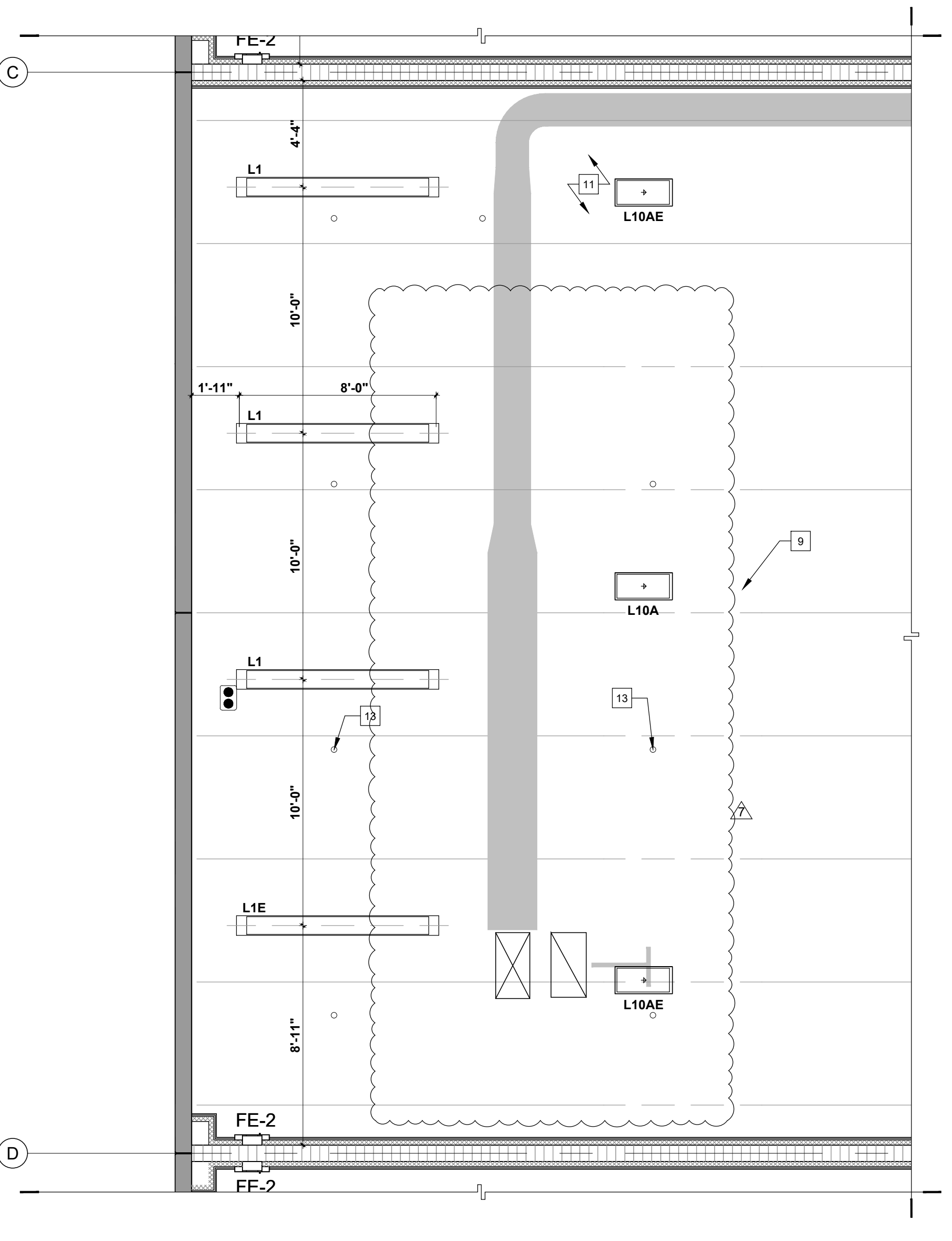
1 PROPOSED MEZZANINE LEVEL - TYPICAL BAY REFLECTED FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED MEZZANINE LEVEL - BAY 6 & 11 (MIRROR) REFLECTED FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED MEZZANINE LEVEL - BAY 7 & 10 (MIRROR) REFLECTED FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 PROPOSED MEZZANINE LEVEL - BAY 8 & 9 (MIRROR) REFLECTED FLOOR PLAN
SCALE: 1/4" = 1'-0"

R.C.P. KEY NOTES	
1	1/2" G.W.B. OVER 7/8" GALV. METAL FURRING AT 16" O.C. ATTACHED TO UNDERSIDE OF JOINT SMOOTH (LEVEL 4) FIN. ON G.W.B.
2	1/2" M.R. OVER 1-5/8" (20 GA) MTL FRAME AT 16" O.C. SMOOTH (LEVEL 4) FIN. ON G.W.B.
3	G.W.B SOFFIT, REFER TO SECTIONS AND DETAILS
4	NO CEILING IN THIS SPACE
5	NOT USED
6	SMOOTH TEX COTE FINISH TO UNDERSIDE OF SLAB
7	NOT USED
8	NOT USED
9	NOT USED
10	2" X 2" X 5/8" USG OLYMPIA™ PANELS 50 NRC®, EDGE SLT WITH GRID PROFILE "D" USG DX®/DXL™ WITHE FINISH.
11	TWIN-TEES TO BE PAINTED BLACK
12	14" X 14" NEW DIFFUSER
13	SPRINKLERS

NOTE:
1. REFER TO MEP DRAWINGS FOR LIGHTING FIXTURE SCHEDULE AND LOCATION OF EMERGENCY LIGHTS.

NOTE:
TWIN-TEES TO BE PAINTED BLACK (TYP.)

3

BLDG N.W. 33RD STREET
DORAL, FL 33122
P: 305.357.1495 F: 305.357.0069

ARCHITECTURAL GROUP

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. neither the project for which they were prepared is donated or not. They are not to be used or any transfer or other project or otherwise in the project except by agreement in writing per the applicable terms and conditions of V3 Architectural Group, Inc. Reproduction or other use without the written consent of V3 Architectural Group, Inc. is prohibited.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
BLDG. DEPT. REV 2: 2.27.23
OWNER REVISION 7: 02.14.24

JOSE A. VIDAL/AR4533
MANUEL D. FERNANDEZ/AR33551

SEAL

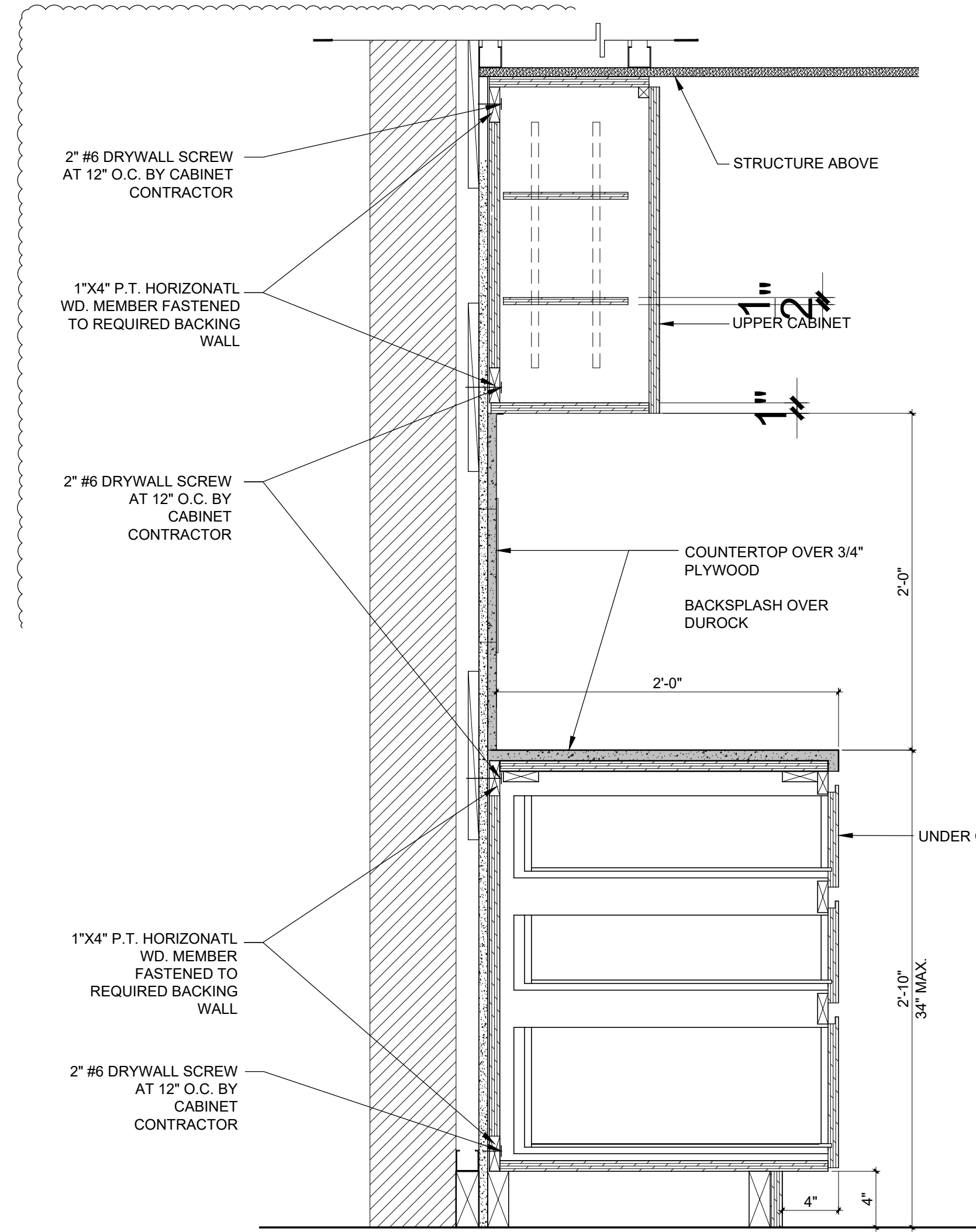
REFLECTED CEILING PLAN

A3.4

CONSTRUCTION DOCUMENTS

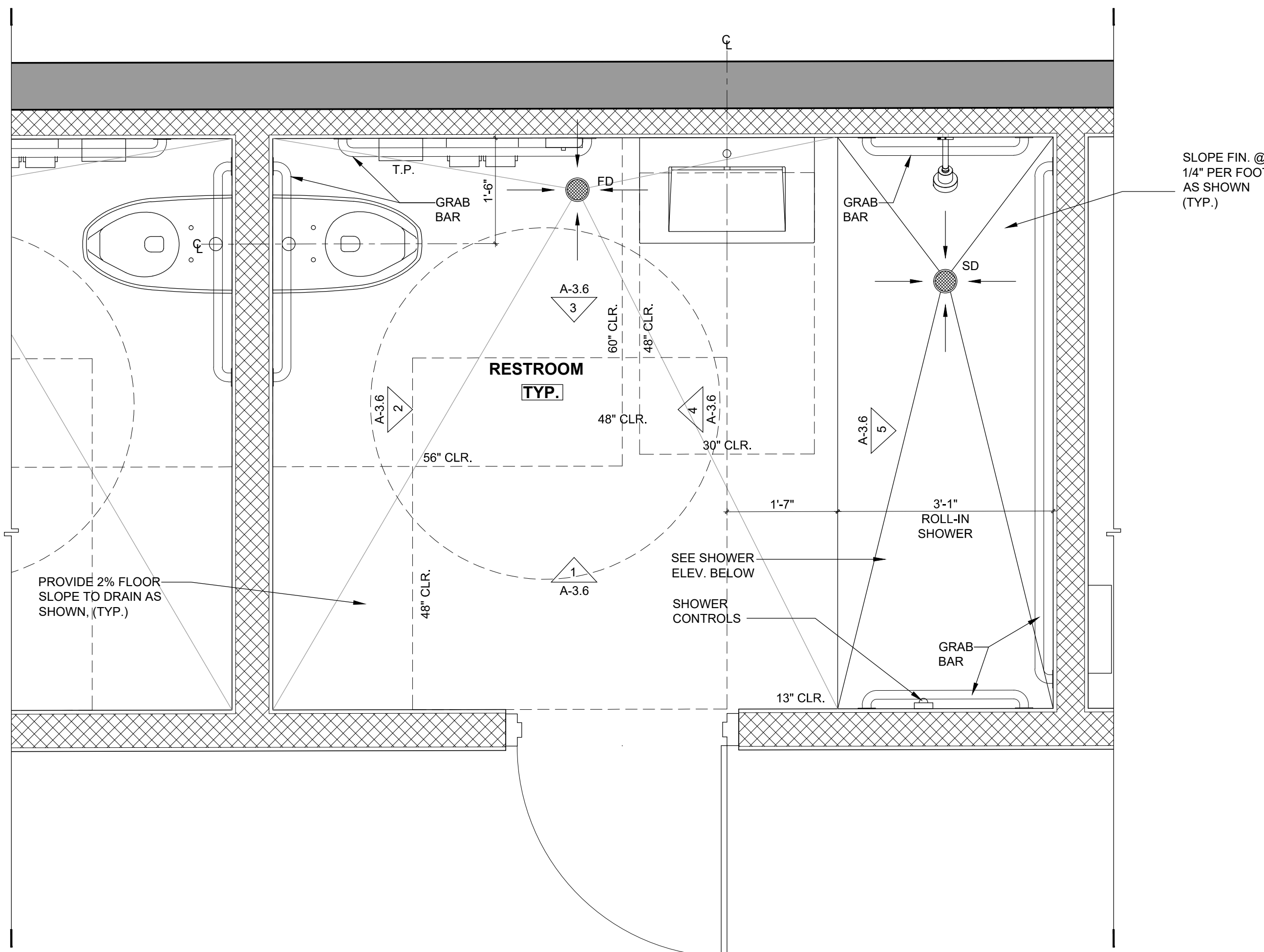


NOTE:
1. REFER TO MEP DRAWINGS FOR LIGHTING FIXTURE SCHEDULE AND LOCATION OF EMERGENCY LIGHTS .
NOTE:
TWIN-TEES TO BE PAINTED BLACK (TYP.)



6 CABINET TYPICAL DETAIL
SCALE: 3" = 1'-0"

**UNISEX TYP. RESTROOM
ENLARGED FLOOR PLAN (TYP. AT ALL BAYS)**
SCALE: 3/4" = 1'-0"



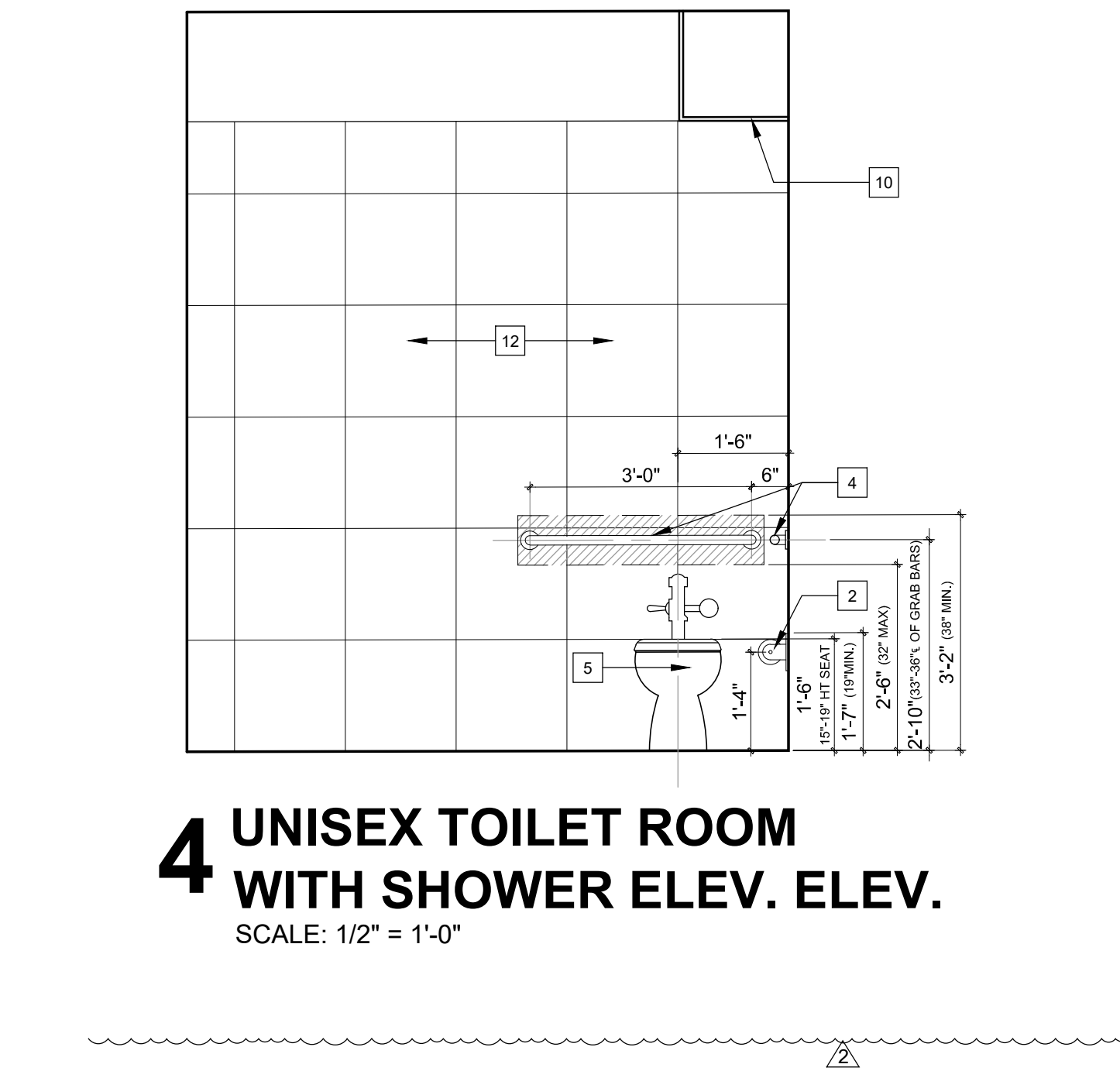
**1 UNISEX TOILET ROOM
WITH SHOWER ELEV. ELEV.**
SCALE: 1/2" = 1'-0"



**2 UNISEX TOILET ROOM
WITH SHOWER ELEV. ELEV.**
SCALE: 1/2" = 1'-0"



**3 UNISEX TOILET ROOM
WITH SHOWER ELEV. ELEV.**
SCALE: 1/2" = 1'-0"



**4 UNISEX TOILET ROOM
WITH SHOWER ELEV. ELEV.**
SCALE: 1/2" = 1'-0"

BACKING NOTES

BACKING FOR TOILET PARTITIONS, AND ACCESSORIES:

PROVIDE 2X6 BLOCKING INSIDE PARTITIONS AS REQUIRED FOR ATTACHMENT OF ALL WALL HUNG ITEMS, INCLUDING ROOF ACCESS LADDER (SEE ELEVATIONS FOR HEIGHTS).

SUPPORT FOR PLUMBING FIXTURES & CABINETS:

STUD WALL SUPPORTING PLUMBING FIXTURES & CABINETS SHALL BE CONSTRUCTED USING STEEL STUDS OF NOT LESS THAN 20 GA W/ A MIN. EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.864 IN4 OR WOOD SUDS. SHALL BE CONNECTED TOP & BOTTOM TO PREVENT END ROTATION OR DISPLACEMENT. A HORIZONTAL MEMBER SHALL BE SECURELY FASTENED TO NOT LESS THAN 2 STUDS FOR THE ATTACHMENT OF WALL HUNG FIXTURES.

NOTES:

ALL TOILETS ACCESSORIES PROVIDE BY OWNER & INSTALLED BY G.C.

GUIDELINES FOR ACCESSIBILITY TO PHYSICALLY DISABLED PERSONS

1. FOR THE CONVENIENCE OF THE PHYSICALLY DISABLED, WASHROOM ACCESSORIES SHOULD BE MOUNTED SO THAT OPERATING AREAS SUCH AS COIN SLOTS, PUSHBUTTONS, OPENING FOR TOWELS & WASTE ARE NO MORE THAN 48" ABOVE FIN. FLOOR.

2. FOR THE SAFETY OF THE BLIND, OBJECTS BELOW 6'-6" WHICH PROTRUDE MORE THAN 4" MUST CONTINUE TO THE FLOOR SO THAT THEY MAY BE DETECTED BY A PERSON USING A CANE OR SEEING EYE DOG.

3. LAVATORY AT EACH WASROOM SHOULD PROVIDE:

- A. A MAXIMUM HEIGHT OF 34" FROM FIN. FLOOR TO TOP OF VANITY.
- B. INSULATED HOT WATER & DRAINPIES.
- C. A SOAP DISPENSER WHICH CAN BE OPERATED WITH ONE HAND.
- D. SINGLE LEVER FAUCET CONTROL FOR HOT & COLD WATER.

4. NOT USED.

5. GRAB BARS SHOULD BE MOUNTED HORIZONTALLY AT A HEIGHT OF 33" (MINIMUM) AND 36" (MAXIMUM) ABOVE THE FIN. FLOOR MEASURED TO THE TOP OF THE GRIPPING SURFACE & SHOULD BE 1-1/2" IN DIAMETER WITH 1-1/2" CLEARANCE BETWEEN GRAB BAR & WALL.

6. ACCESSORIES WITHIN A TOILET COMPARTMENT SHOULD BE LOCATED BELOW THE GRAB BAR.

7. DOOR HARDWARE- HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR. DOOR OPENING FORCE- REF. ITEM 14. BELOW.

8. HEIGHT OF WATER CLOSET SHALL BE 17" TO 19" MEASURED TO THE TOP OF THE TOILET SEAT.

9. FLUSH CONTROLS- FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC AND SHALL COMPLY WITH FBC, ACCESSIBILITY, 6TH EDITION (2017) SECTION 309 CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET

10. EXPOSED PIPE AND SURFACES- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT

11. FAUCETS- ACCESSIBLE LAVATORIES SHALL BE LEVER OPERATED FAUCETS.

12. MIRRORS SHALL BE MOUNTED WITH BOTTOM EDGE OF THE REFLECTING SURFACE NO HIGHER THAN 40 INCHES A.F.F.

13. FURNISH AND INSTALL H.C. ACCESSIBLE SIGN. USE THE INTERNATIONAL SIGN OF ACCESSIBILITY.

14. DOORS, DOOR CLOSERS, AND DOOR OPERATION SHALL COMPLY WITH THE REQUIREMENTS OF FBC, 6TH EDITION (2017) SECTION 1008

15. THE FLOORS AND WALLS OF PUBLIC TOILET ROOM SHALL BE TILE OR SIMILAR IMPERVIOUS MATERIAL.

16. PUBLIC TOILET SHALL HAVE ACCESSABLE PERMANENT SIGNAGE (SEE BELOW) PLAINLY INDICATING FOR WHICH SEX AND/OR GROUP SUCH ROOM IS INTENDED.

17. UNISEX TOILET ROOM SHALL HAVE A LOCKABLE DOOR TO INSURE PRIVACY.

18. PROVIDE BLOCKING IN BETWEEN PARTITIONS FOR H.C. GRAB BARS TO COMPLY WITH F.B.C., CURRENT EDITION.

19. GRAB BARS AS PER FBC CURRENT EDITION. FBC ACCESSIBILITY, 6TH EDITION, SECTION 609.8

19a. GRAB BARS STRUCTURAL STRENGTH- AS PER FBC CURRENT EDITION. FBC ACCESSIBILITY, 6TH EDITION, SECTION 609.8

20. ALL SIGNS SHALL COMPLY WITH THE REQUIREMENTS OF THE FBC ACCESSIBILITY, 6TH EDITION, SECTION 216, 703

NONABSORBENT WALLS & FLOOR SPECIFICATIONS WALLS

WALLS

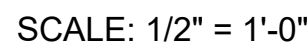
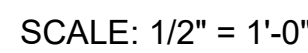
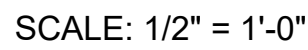
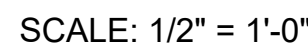
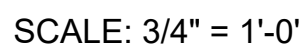
ALL WALLS OF RESTROOMS SHALL BE CONSTRUCTED OF STEEL STUDS OR P.T. WOOD STUDS W/ MOISTURE RESISTANT GYPSUM BOARD ATTACHED TO STUDS W/ NO. 6 SELF-DRILLING, CROSS SLOT COUNTERSUNK BUGLE HEAD, ZINC PLATED, 1 IN. LONG. (USE ZINC PLATED HARDENED STEEL STUB NAILS FOR RUNNER FASTENERS) ALL JOINTS SHALL BE TAPED AND COMPOUNDED IN ACCORDANCE WITH ASTM C475.

GYPSUM WALL BOARD SHALL BE FINISHED WITH NONABSORBENT EPOXY COATING AS FOLLOWS: PRIMER IN A MINIMUM FILM THICKNESS OF 2 MILS. BASE AND FINISH GLAZE COATS IN SEMI-GLOSS IN A MINIMUM FILM THICKNESS OF 8 MILS. COATING SHALL EXTEND FROM SLAB LEVEL TO CEILING LEVEL.

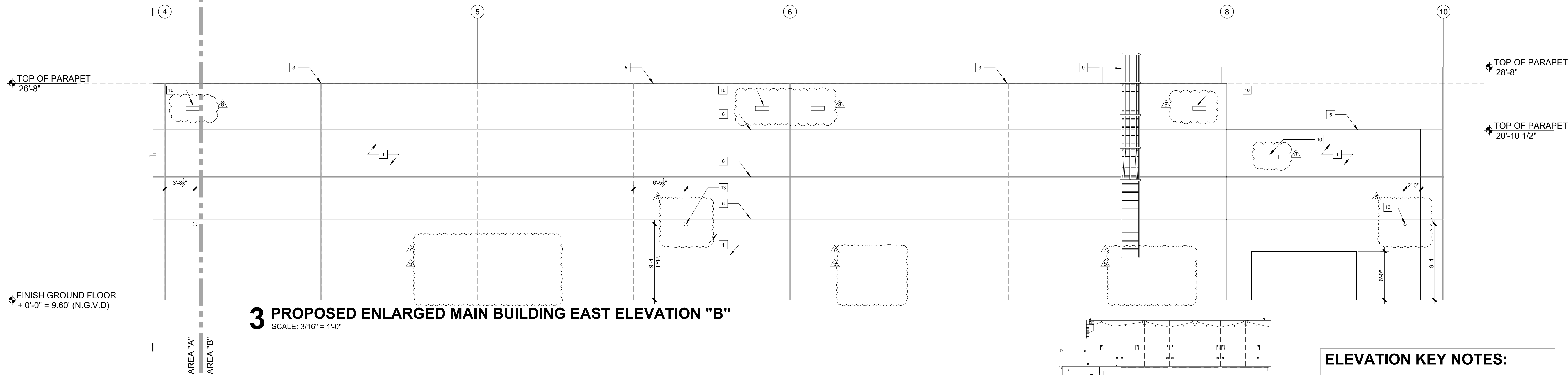
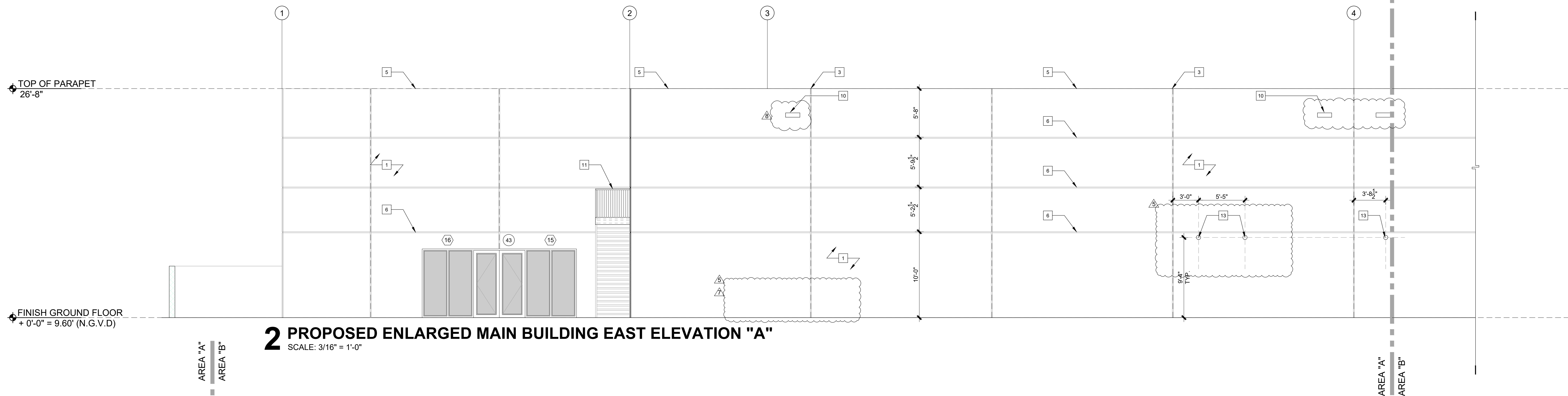
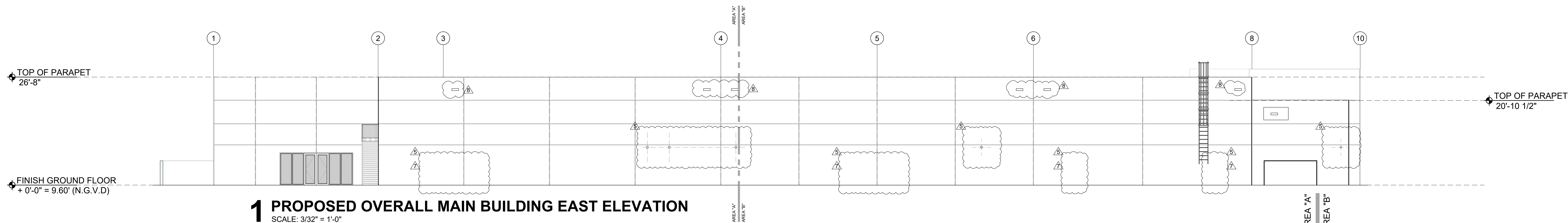
FLOORS

FLOORS IN RESTROOMS SHALL BE FINISHED WITH NONABSORBENT MATERIALS AS FOLLOWS: TOILET ROOMS SHALL RECEIVE PORCELAIN TILE ADHERED TO CONCRETE SLAB USING DRY SET PORTLAND CEMENT MORTAR PRE-SANDED PRODUCT IN ACCORDANCE WITH ANSI A118.1. COORDINATE INSTALLATION OF TILE AROUND PLUMBING FIXTURES OR OVER SUBSTRATES THAT IF IMPROPER WILL PREVENT SUFFICIENT MECHANICAL BOND. TILE SHALL BE STANDARD GRADE AND COMPLY WITH THE REQUIREMENTS OF TCA 137.1. GROUT SHALL BE DRY-SET TYPE - A MIXTURE OF PORTLAND CEMENT AND ADDITIVES PROVIDING WATER RETENTIVELY. PROVIDE THE JOINT SEALER (TILE-MATE SUPER SEAL BY THE UPCO CO., SILCREST BY CAMKOTE OR SEAL TILE FOR FLOORS).

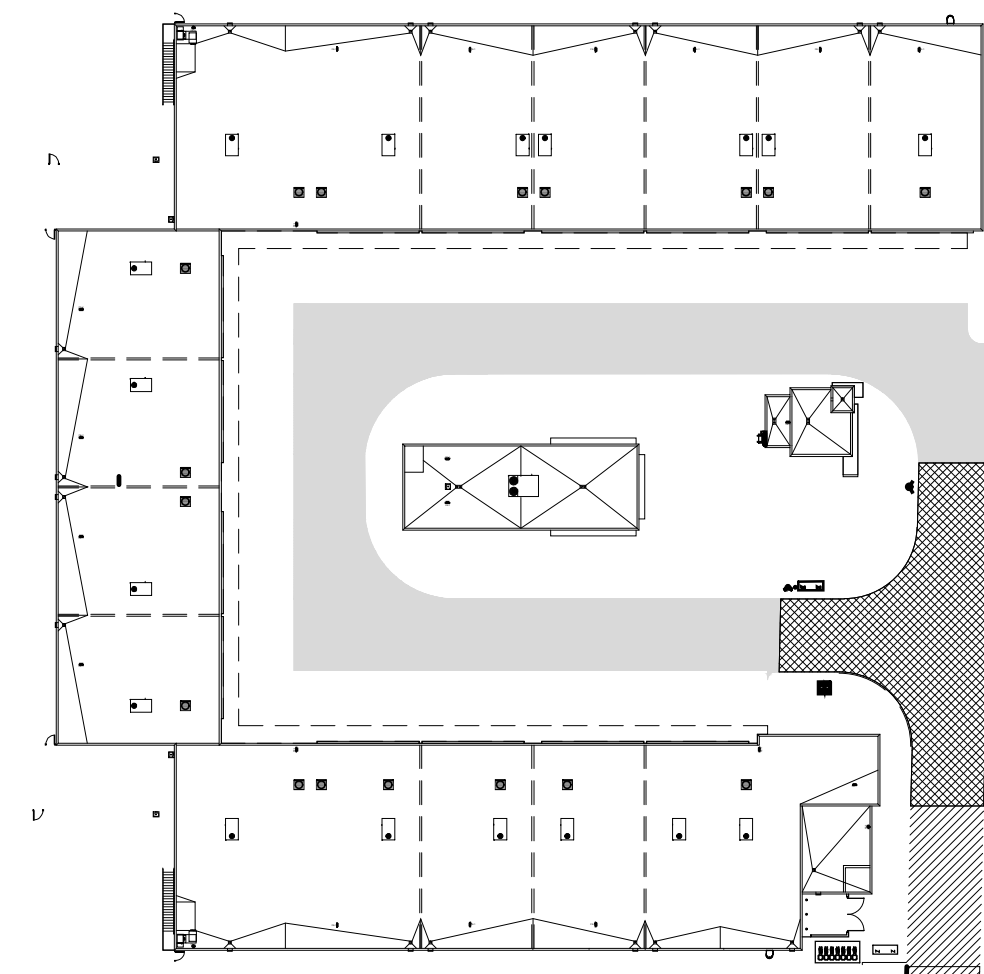
RESTROOM ACCESSORIES	
1.	SOAP DISPENSER
2.	TOILET PAPER DISPENSER:
3.	MIRROR
4.	GRAB BARS
5.	TOILET
6.	SINK
7.	FAUCET
8.	SANITARY NAPKIN DISPOSAL
9.	SHOWER CONTROL
10.	DROP CEILING
11.	SHOWER
12.	FULL HEIGHT TILE FINISH



CONSTRUCTION
DOCUMENTS



PAINT NOTE:
ALL WALLS EXTERIOR AND INTERIOR SHALL RECEIVE
(1) COAT OF PRIMER AND (2) COATS OF PAINT.



ELEVATION KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISHING.
- 2 IMPACT RATED STORE FRONT SYSTEM / DOORS.
- 3 PANEL JOINT, REFER TO FLOOR PLAN AND STRUCTURAL DRAWINGS.
- 4 EYEBROW, REFER TO SECTIONS AND STRUCTURAL.
- 5 METAL CAP OVER PARAPET, REFER TO DETAIL.
- 6 RECESS IN TILT PANEL, REFER TO DETAIL.
- 7 RECESSED HOSE-BIB. PLACE BOTTOM OF HOSE-BIB 12" FROM SLAB (TYP).
- 8 WALL LIGHT.
- 9 LADDER, SEE ROOF PLAN AND DETAIL.
- 10 EMERGENCY MTL. SCUPPER / REFER TO PLUMBING FOR SIZE.
- 11 METAL STAIRS, REFER TO DETAIL.
- 12 NOT USED
- 13 INTAKE AIR DUCT TO WALL, REFER TO MECHANICAL DRAWINGS.
- 14 PRECAST COLUMN.
- 15 PRECAST WALL FENCE.
- 16 PRECAST CAP.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JMV
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
BLDG. DEPT. REV 2: 2.27.23
RFI REV1: 7.25.23
OWNER REVISION 7: 02.14.24
COORDINATION: 05.10.24

JOSE A. VIDAL ARQ4535
MANUEL D. FERNANDEZ
ARQ3561

SEAL

EXTERIOR
ELEVATIONS

A4.0

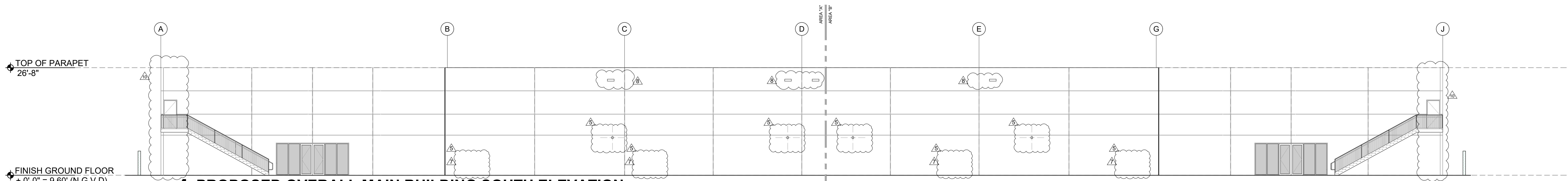
CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. Neither the project nor the work they were prepared is to be used in any manner or for other projects or jurisdictions in the project except as expressly agreed in writing and with appropriate compensation to V3 Architectural Group, Inc. Reproduction of specifications without the written consent of V3 Architectural Group, Inc. is prohibited.

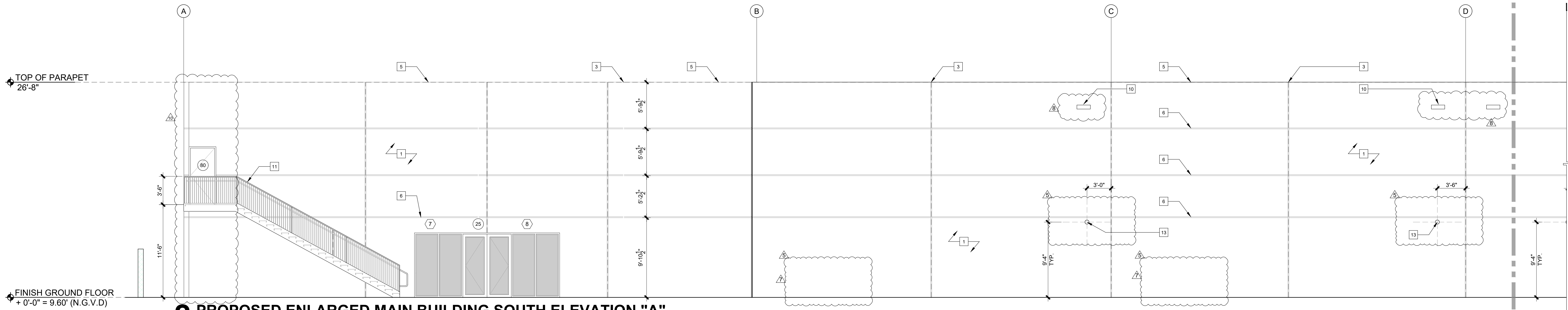
BLDG. DEPT. REV 2: 2.27.23
RFI REV1: 7.25.23
OWNER REVISION 7: 02.14.24
COORDINATION: 05.10.24



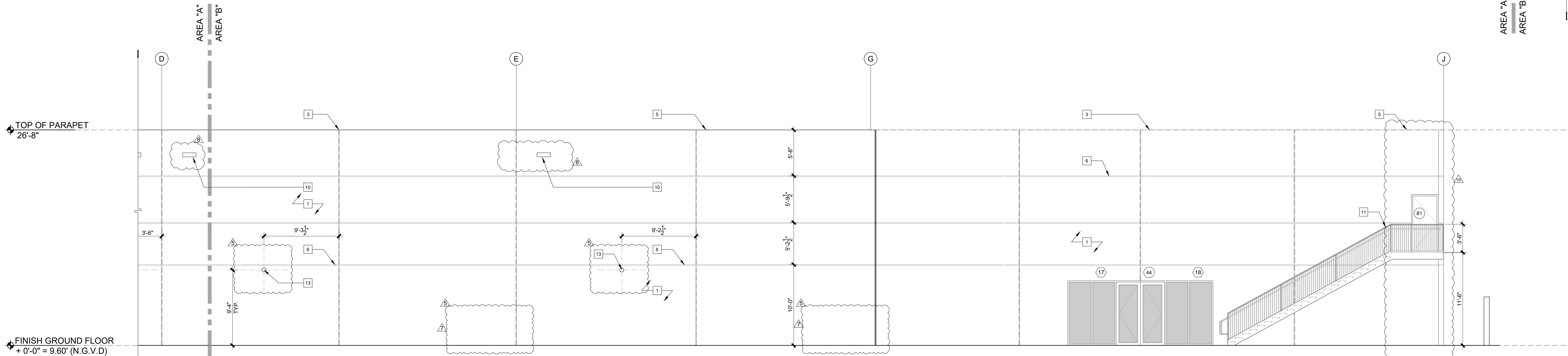
ARCHITECTURAL GROUP



1 PROPOSED OVERALL MAIN BUILDING SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

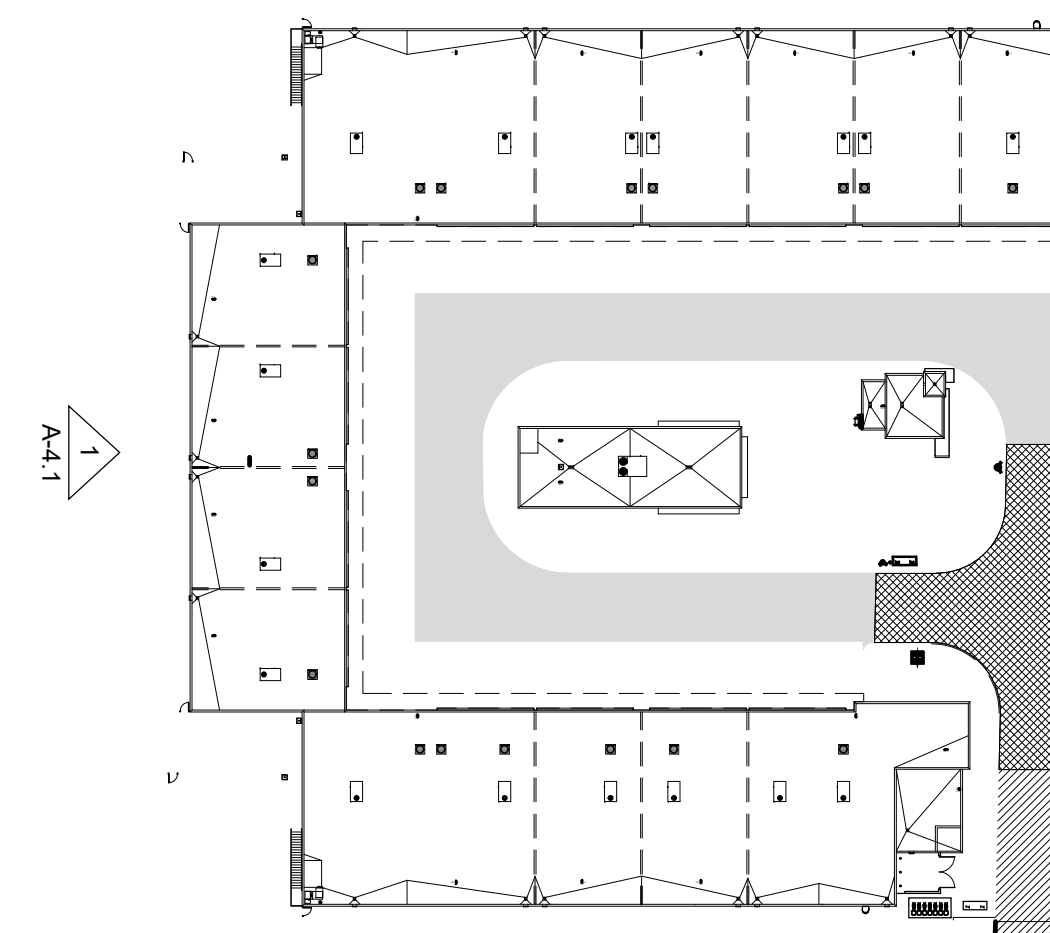


2 PROPOSED ENLARGED MAIN BUILDING SOUTH ELEVATION "A"
SCALE: 3/16" = 1'-0"



3 PROPOSED ENLARGED MAIN BUILDING SOUTH ELEVATION "B"
SCALE: 3/16" = 1'-0"

PAINT NOTE:
ALL WALLS EXTERIOR AND INTERIOR SHALL RECEIVE
(1) COAT OF PRIMER AND (2) COATS OF PAINT.



4 KEY PLAN
SCALE: N.T.S.

ELEVATION KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISHING.
- 2 IMPACT RATED STORE FRONT SYSTEM / DOORS.
- 3 PANEL JOINT, REFER TO FLOOR PLAN AND STRUCTURAL DRAWINGS.
- 4 EYEBROW, REFER TO SECTIONS AND STRUCTURAL.
- 5 METAL CAP OVER PARAPET, REFER TO DETAIL.
- 6 RECESS IN TILT PANEL. REFER TO DETAIL.
- 7 RECESSED HOSE-BIB. PLACE BOTTOM OF HOSE-BIB 12" FROM SLAB (TYP).
- 8 WALL LIGHT.
- 9 LADDER, SEE ROOF PLAN AND DETAIL.
- 10 EMERGENCY MTL. SCUPPER / REFER TO PLUMBING FOR SIZE
- 11 METAL STAIRS, REFER TO DETAIL.
- 12 NOT USED
- 13 INTAKE AIR DUCT TO WALL. REFER TO MECHANICAL DRAWINGS.
- 14 PRECAST COLUMN.
- 15 PRECAST WALL FENCE.
- 16 PRECAST CAP.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JIM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS	
2	BLDG. DEPT. REV 2: 2.27.23
5	RFI REV1: 7.25.23
7	OWNER REVISION 7: 02.14.24
8	COORDINATION: 05.10.24
10	COORDINATION: 06.25.24

JOSE A. VIDAL/AR45435
MANUEL D.FERNANDEZ
AR35561

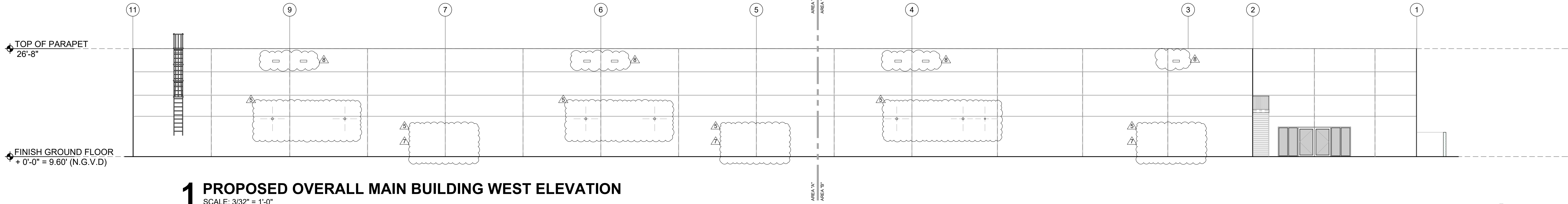
SEAL

EXTERIOR
ELEVATIONS

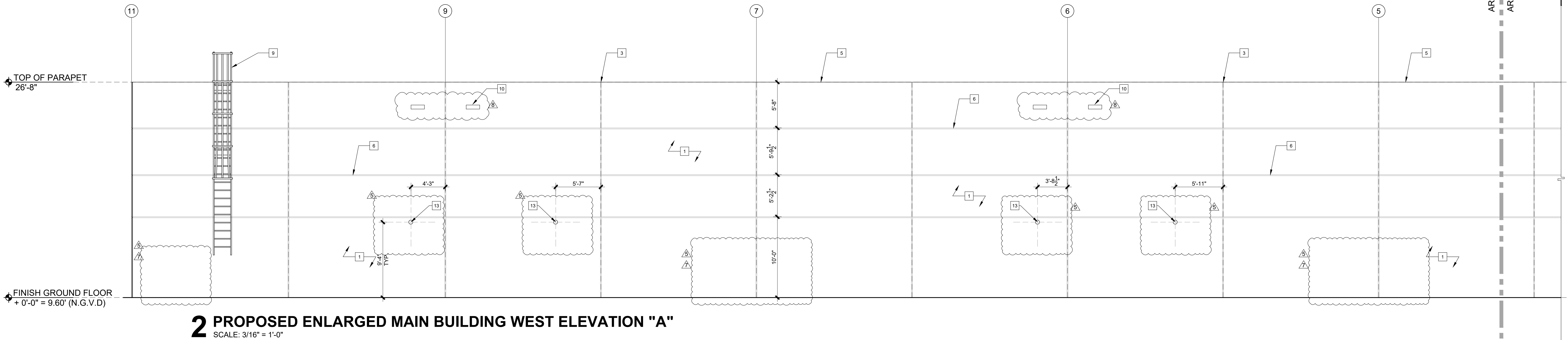
A4.1
CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. neither the project for which they were prepared is intended or not. They are not to be used in any manner or other project or otherwise in the project without the agreement in writing per V3 Architectural Group, Inc. Reproduction or use of these drawings or specifications without the written consent of V3 Architectural Group, Inc. is prohibited.

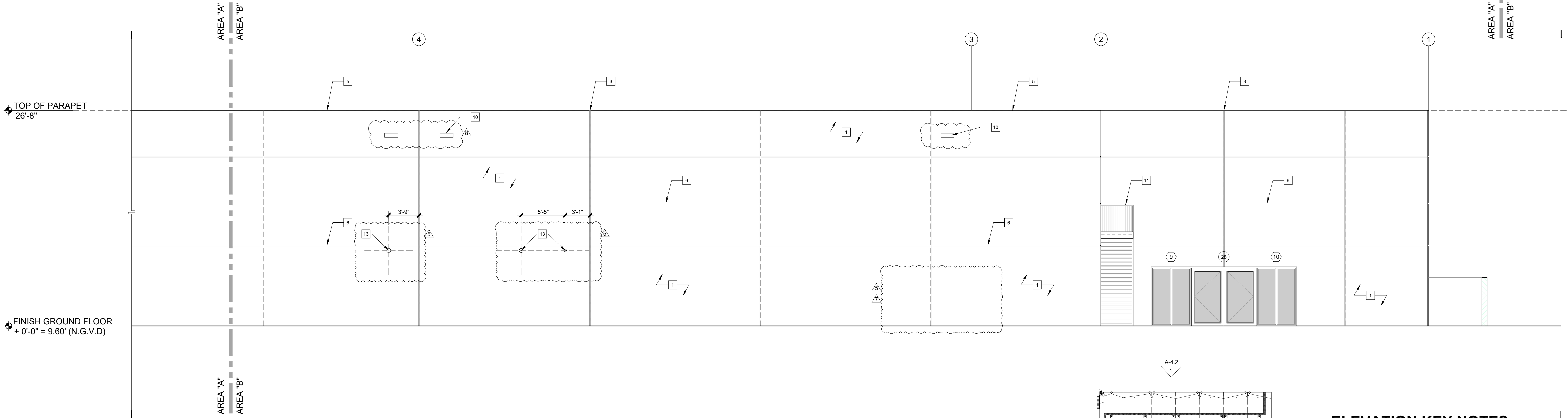
3 BLDG N.W. 33RD STREET
DORAL, FL. 33122
P: 305.359.1496 F: 305.359.0069
ARCHITECTURAL GROUP



1 PROPOSED OVERALL MAIN BUILDING WEST ELEVATION
SCALE: 3/32" = 1'-0"

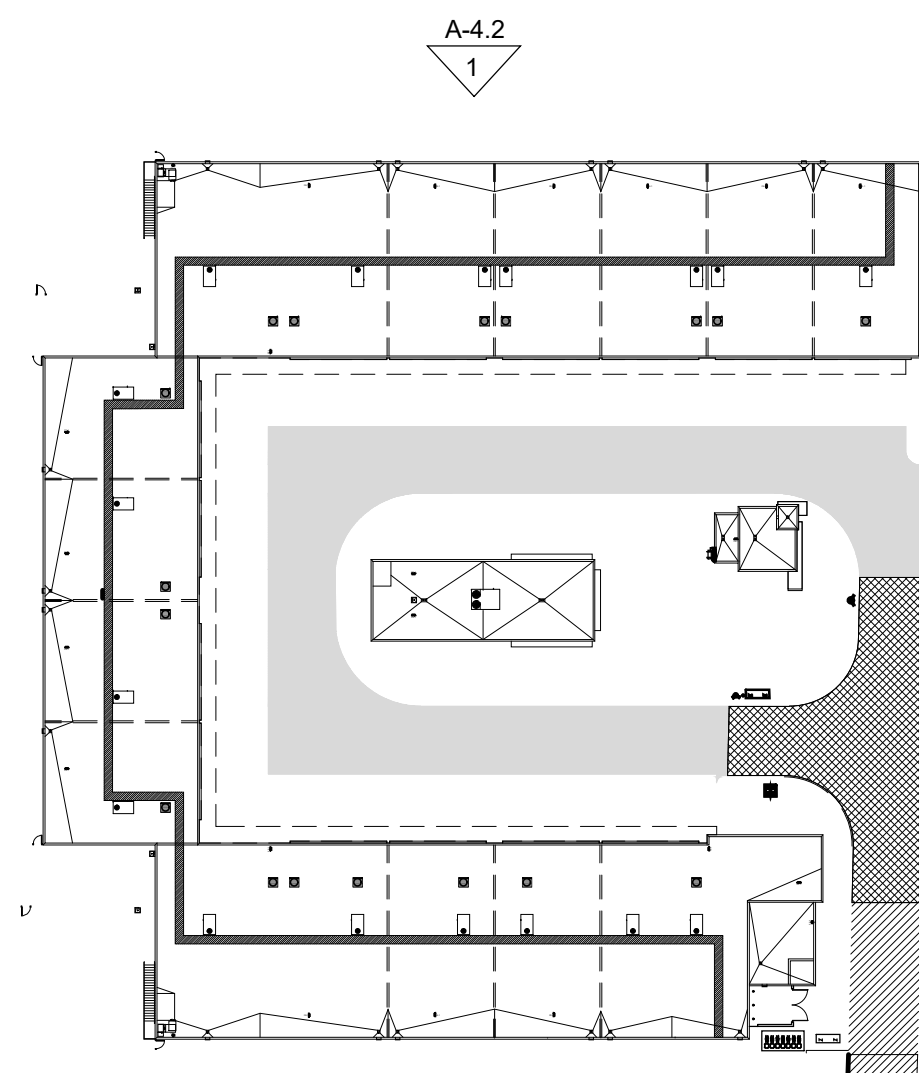


2 PROPOSED ENLARGED MAIN BUILDING WEST ELEVATION "A"
SCALE: 3/16" = 1'-0"



3 PROPOSED ENLARGED MAIN BUILDING WEST ELEVATION "B"
SCALE: 3/16" = 1'-0"

PAINT NOTE:
ALL WALLS EXTERIOR AND INTERIOR SHALL RECEIVE
(1) COAT OF PRIMER AND (2) COATS OF PAINT.



4 KEY PLAN
SCALE: N.T.S

ELEVATION KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISHING.
- 2 IMPACT RATED STORE FRONT SYSTEM / DOORS.
- 3 PANEL JOINT, REFER TO FLOOR PLAN AND STRUCTURAL DRAWINGS.
- 4 EYEBROW, REFER TO SECTIONS AND STRUCTURAL.
- 5 METAL CAP OVER PARAPET, REFER TO DETAIL.
- 6 RECESS IN TILT PANEL, REFER TO DETAIL.
- 7 RECESSED HOSE-BIB. PLACE BOTTOM OF HOSE-BIB 12" FROM SLAB (TYP).
- 8 WALL LIGHT.
- 9 LADDER, SEE ROOF PLAN AND DETAIL.
- 10 EMERGENCY MTL. SCUPPER / REFER TO PLUMBING FOR SIZE
- 11 METAL STAIRS, REFER TO DETAIL.
- 12 NOT USED
- 13 INTAKE AIR DUCT TO WALL. REFER TO MECHANICAL DRAWINGS.
- 14 PRECAST COLUMN.
- 15 PRECAST WALL FENCE.
- 16 PRECAST CAP.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS

1	BLDG. DEPT. REV 2: 2.27.23
2	RFI REV 1: 7.25.23
3	OWNER REVISION 7: 02.14.24
4	COORDINATION: 05.10.24

JOSE A. VIDAL (AR) 4535
MANUEL D. FERNANDEZ
AR 33551

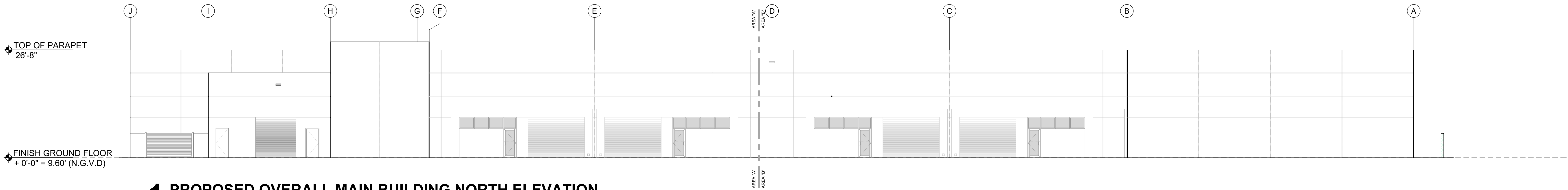
SEAL

EXTERIOR
ELEVATIONS

A4.2
CONSTRUCTION
DOCUMENTS

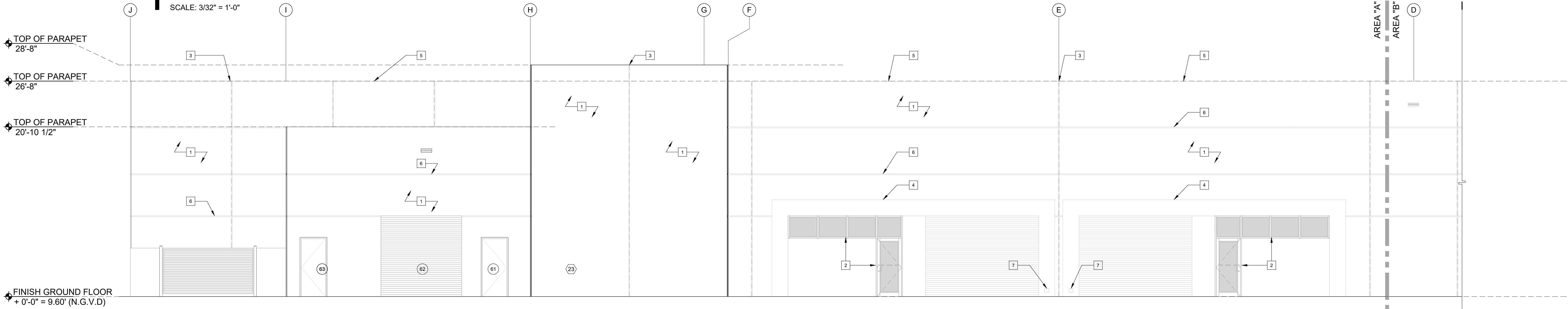
copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. No portion of this project for which they were prepared is to be used or reproduced in any form without the prior written consent of V3 Architectural Group, Inc. Reproduction or use of any portion of these drawings or specifications without the written consent of V3 Architectural Group, Inc. is prohibited.

3
BLDG. N.W. 33RD STREET
DORAL, FL. 33122
P: 305.359.1495 F: 305.359.0069
ARCHITECTURAL GROUP



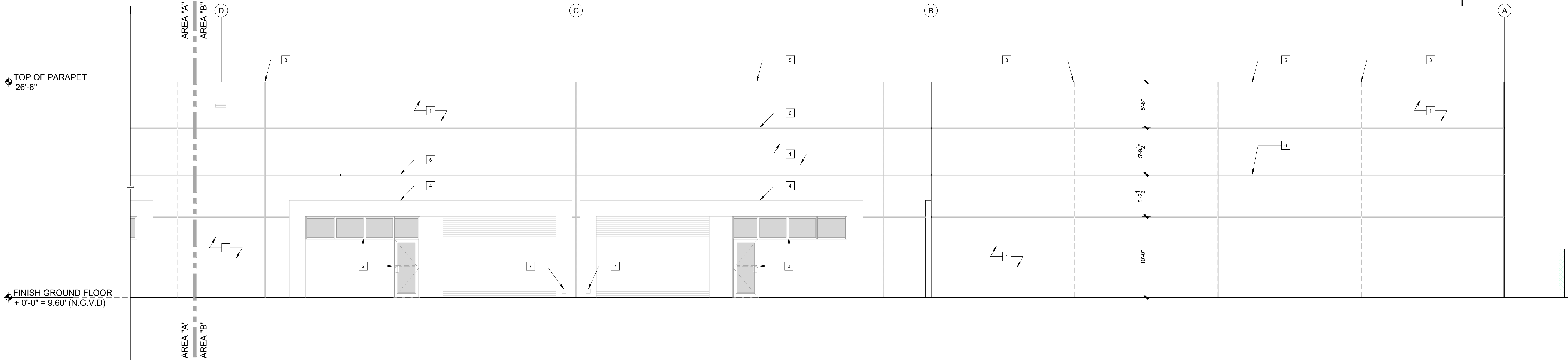
1 PROPOSED OVERALL MAIN BUILDING NORTH ELEVATION

SCALE: 3/32" = 1'-0"



2 PROPOSED ENLARGED MAIN BUILDING NORTH ELEVATION "A"

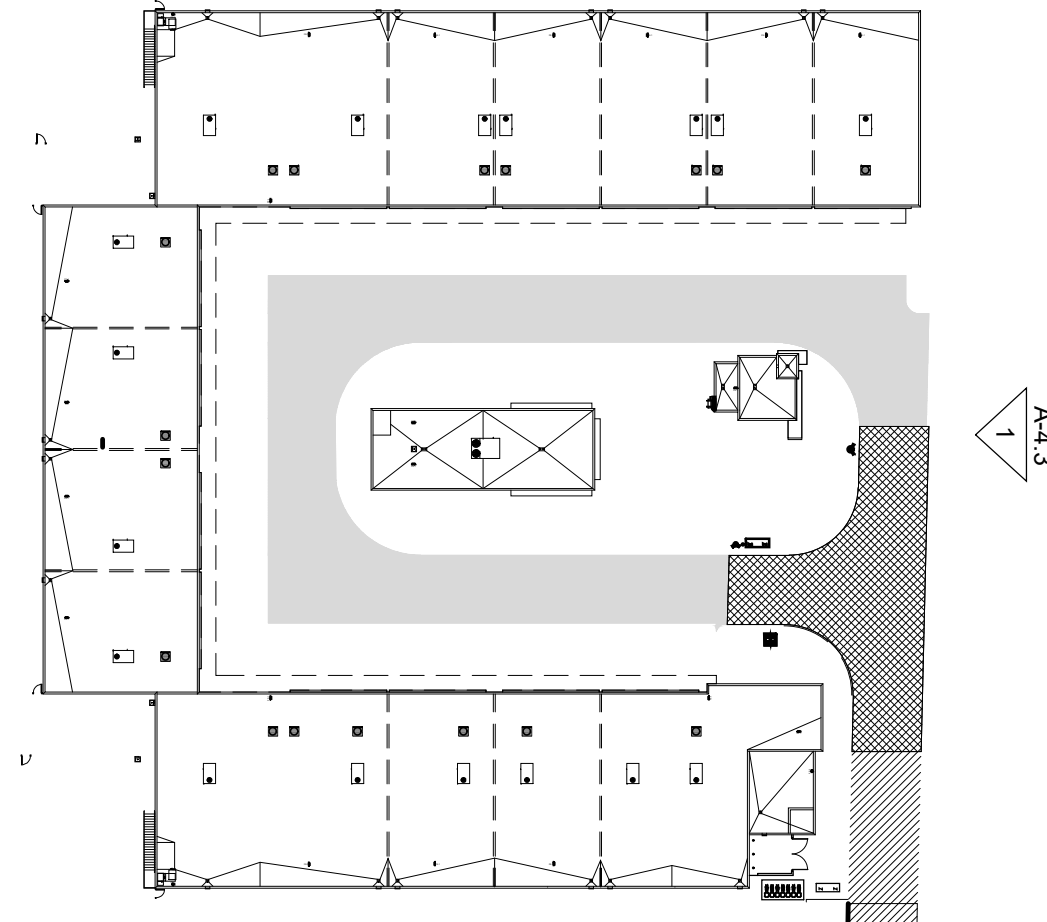
SCALE: 3/16" = 1'-0"



3 PROPOSED ENLARGED MAIN BUILDING NORTH ELEVATION "B"

SCALE: 3/16" = 1'-0"

PAINT NOTE:
ALL WALLS EXTERIOR AND INTERIOR SHALL RECEIVE
(1) COAT OF PRIMER AND (2) COATS OF PAINT.



4 KEY PLAN

SCALE: N.T.S

ELEVATION KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISHING.
- 2 IMPACT RATED STORE FRONT SYSTEM / DOORS.
- 3 PANEL JOINT, REFER TO FLOOR PLAN AND STRUCTURAL DRAWINGS.
- 4 EYEBROW, REFER TO SECTIONS AND STRUCTURAL.
- 5 METAL CAP OVER PARAPET, REFER TO DETAIL.
- 6 RECESS IN TILT PANEL, REFER TO DETAIL.
- 7 RECESSED HOSE-BIB. PLACE BOTTOM OF HOSE-BIB 12" FROM SLAB (TYP).
- 8 WALL LIGHT.
- 9 LADDER, SEE ROOF PLAN AND DETAIL.
- 10 EMERGENCY MTL. SCUPPER / REFER TO PLUMBING FOR SIZE
- 11 METAL STAIRS, REFER TO DETAIL.
- 12 NOT USED
- 13 INTAKE AIR DUCT TO WALL. REFER TO MECHANICAL DRAWINGS.
- 14 PRECAST COLUMN.
- 15 PRECAST WALL FENCE.
- 16 PRECAST CAP.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

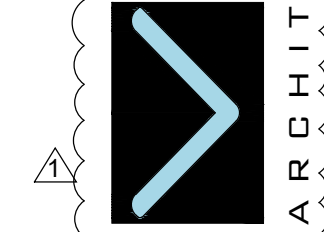
REVISIONS
1 BLDG. DEPT. REV 2: 2.27.23
2 OWNER REVISION 7: 02.14.24

JOSE A. VIDAL/AR45435
MANUEL D. FERNANDEZ
AR33561
SEAL

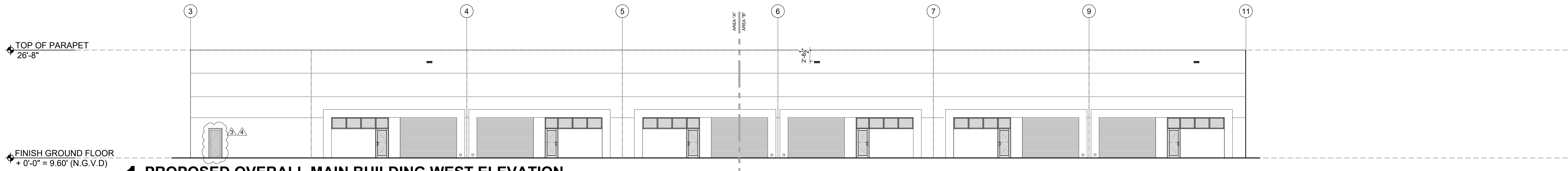
EXTERIOR
ELEVATIONS

A4.3
CONSTRUCTION
DOCUMENTS

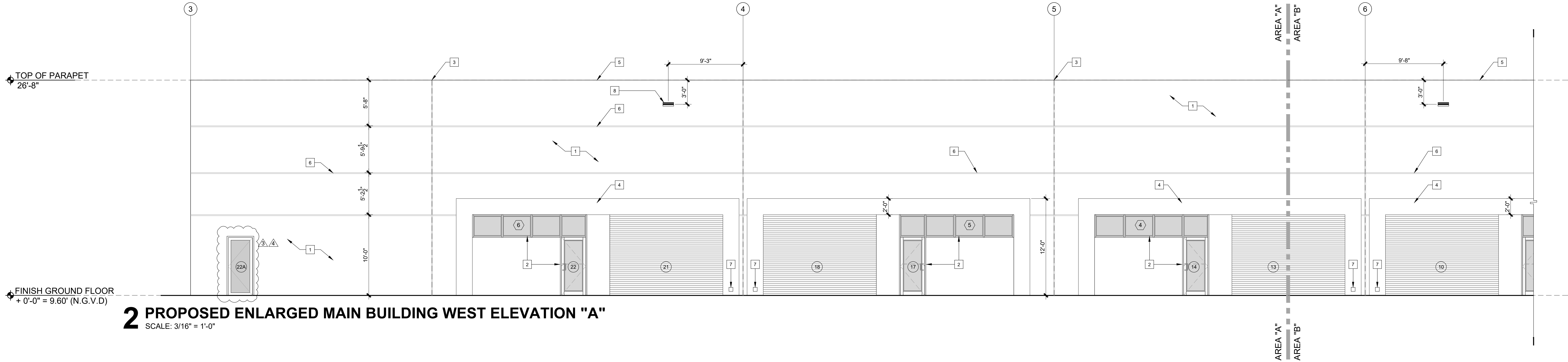
copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. No portion of this project for which they were prepared is to be used or any portion of it reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of V3 Architectural Group, Inc. Reproduction or use of these drawings or specifications without the written consent of V3 Architectural Group, Inc. is prohibited.



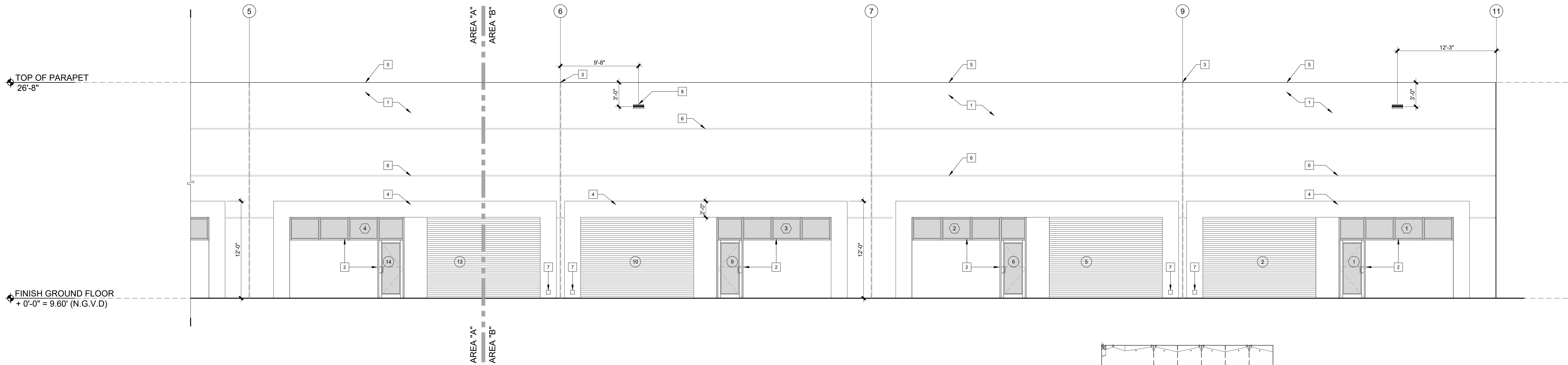
3 BLDG. N.W. 33RD STREET
DORAL, FL. 33122
P: 305.357.1495 F: 305.357.0069
V3 ARCHITECTURAL GROUP



1 PROPOSED OVERALL MAIN BUILDING WEST ELEVATION
SCALE: 3/32" = 1'-0"

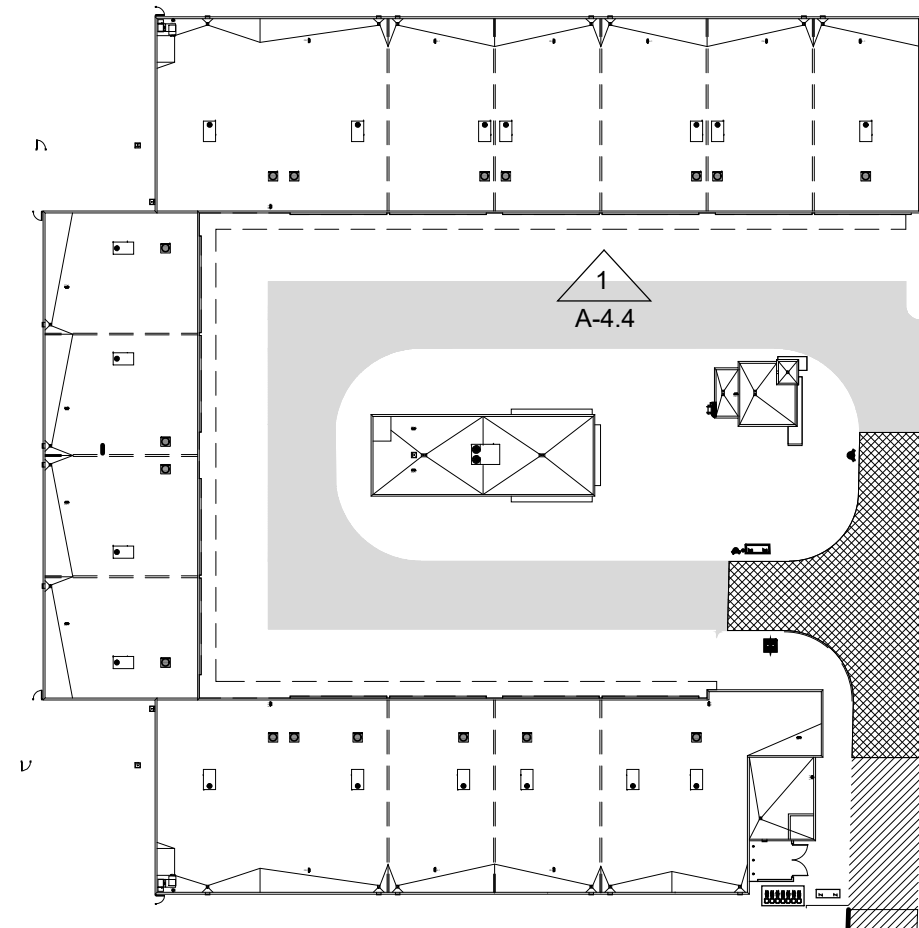


2 PROPOSED ENLARGED MAIN BUILDING WEST ELEVATION "A"
SCALE: 3/16" = 1'-0"



3 PROPOSED ENLARGED MAIN BUILDING WEST ELEVATION "B"
SCALE: 3/16" = 1'-0"

PAINT NOTE:
ALL WALLS EXTERIOR AND INTERIOR SHALL RECEIVE
(1) COAT OF PRIMER AND (2) COATS OF PAINT.



4 KEY PLAN
SCALE: N.T.S

ELEVATION KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISHING.
- 2 IMPACT RATED STORE FRONT SYSTEM / DOORS.
- 3 PANEL JOINT, REFER TO FLOOR PLAN AND STRUCTURAL DRAWINGS.
- 4 EYEBROW, REFER TO SECTIONS AND STRUCTURAL.
- 5 METAL CAP OVER PARAPET, REFER TO DETAIL.
- 6 RECESS IN TILT PANEL, REFER TO DETAIL.
- 7 RECESSED HOSE-BIB. PLACE BOTTOM OF HOSE-BIB 12" FROM SLAB (TYP).
- 8 WALL LIGHT.
- 9 LADDER, SEE ROOF PLAN AND DETAIL.
- 10 EMERGENCY MTL. SCUPPER / REFER TO PLUMBING FOR SIZE
- 11 METAL STAIRS, REFER TO DETAIL.
- 12 NOT USED
- 13 INTAKE AIR DUCT TO WALL. REFER TO MECHANICAL DRAWINGS.
- 14 PRECAST COLUMN.
- 15 PRECAST WALL FENCE.
- 16 PRECAST CAP.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

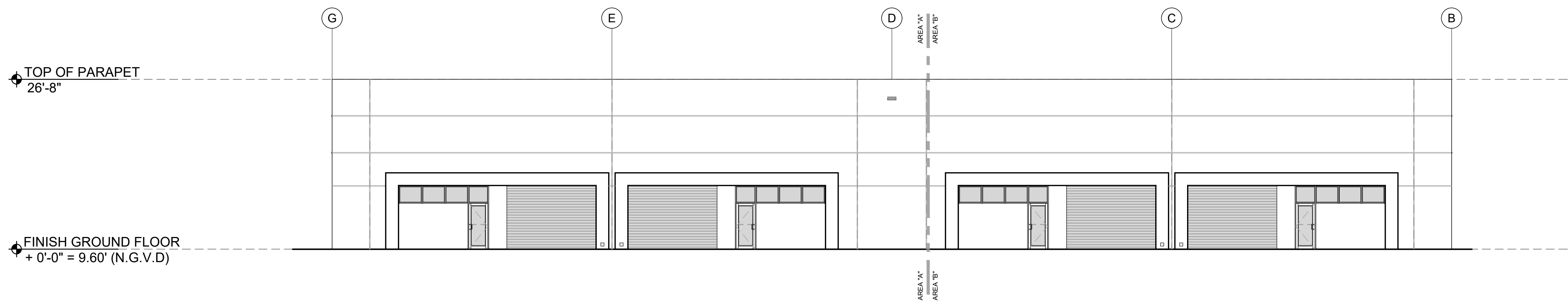
DATE:	11.15.22
DRAWN BY:	JM
DESIGNED BY:	JAV
REVIEWED BY:	MDF
PROJECT NO.	21-0033

REVISIONS	
2	BLDG. DEPT. REV 2: 2.27.23
3	BLDG. DEPT. REV 3: 5.12.23
4	BLDG. DEPT. REV 4: 6.29.23
7	OWNER REVISION 7: 02.14.24

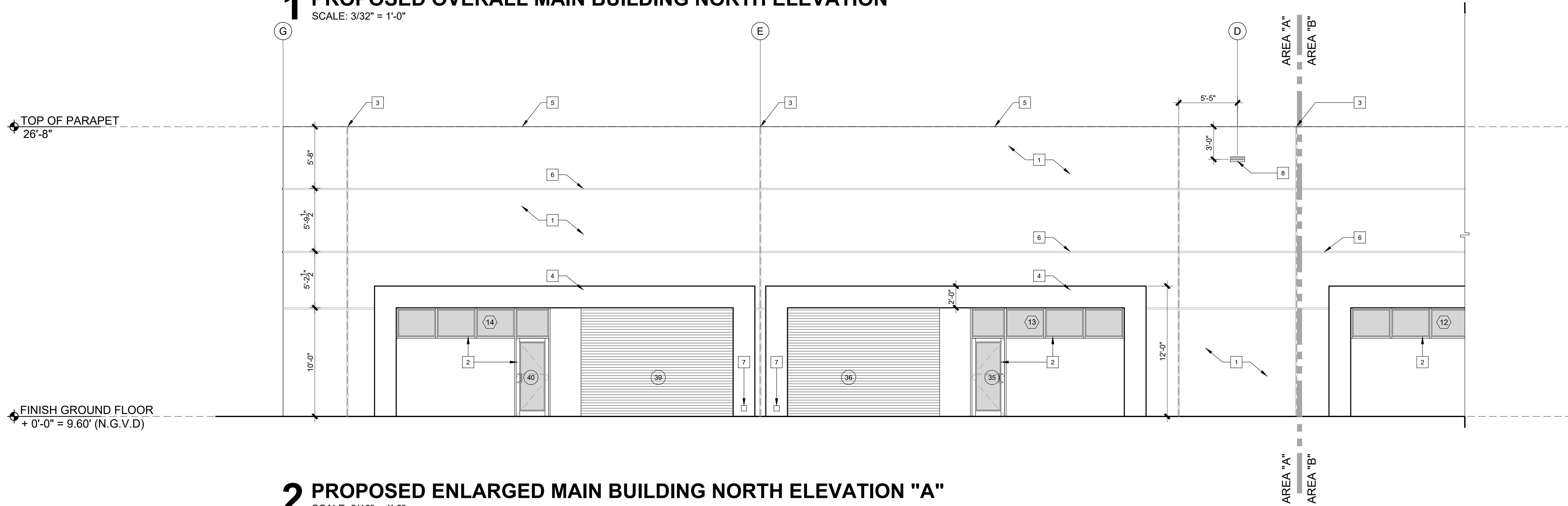
JOSE A. VIDAL, AIA 4535 MANUEL D. FERNANDEZ A435561	SEAL
---	------

EXTERIOR
ELEVATIONS

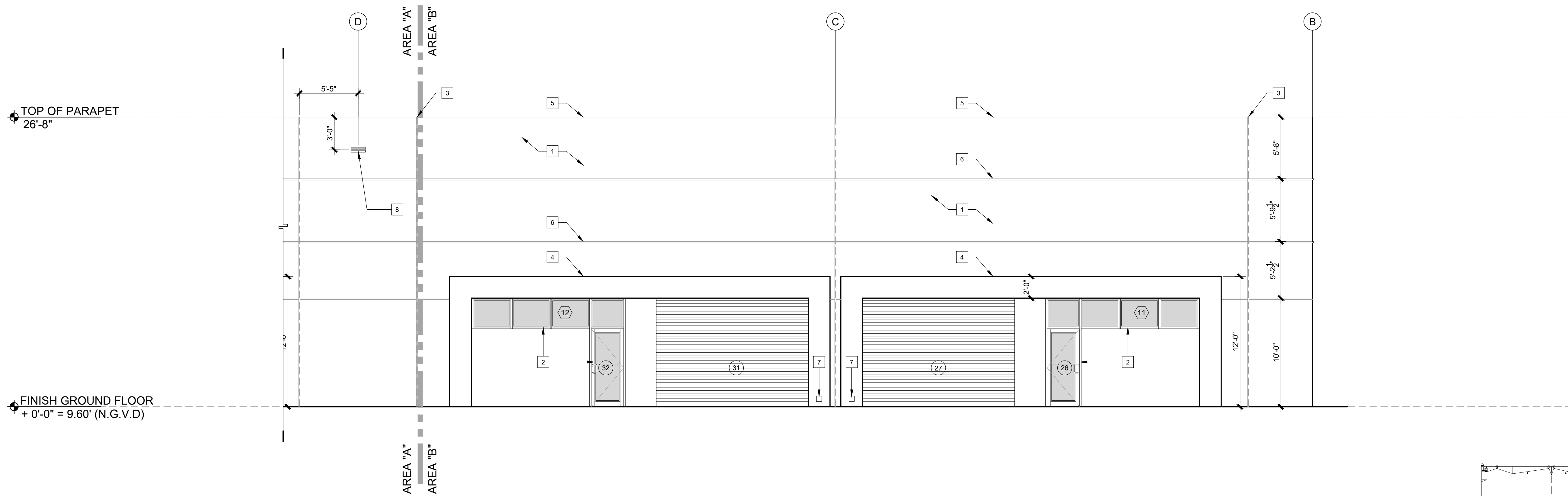
A4.4
CONSTRUCTION
DOCUMENTS



1 PROPOSED OVERALL MAIN BUILDING NORTH ELEVATION
SCALE: 3/32" = 1'-0"

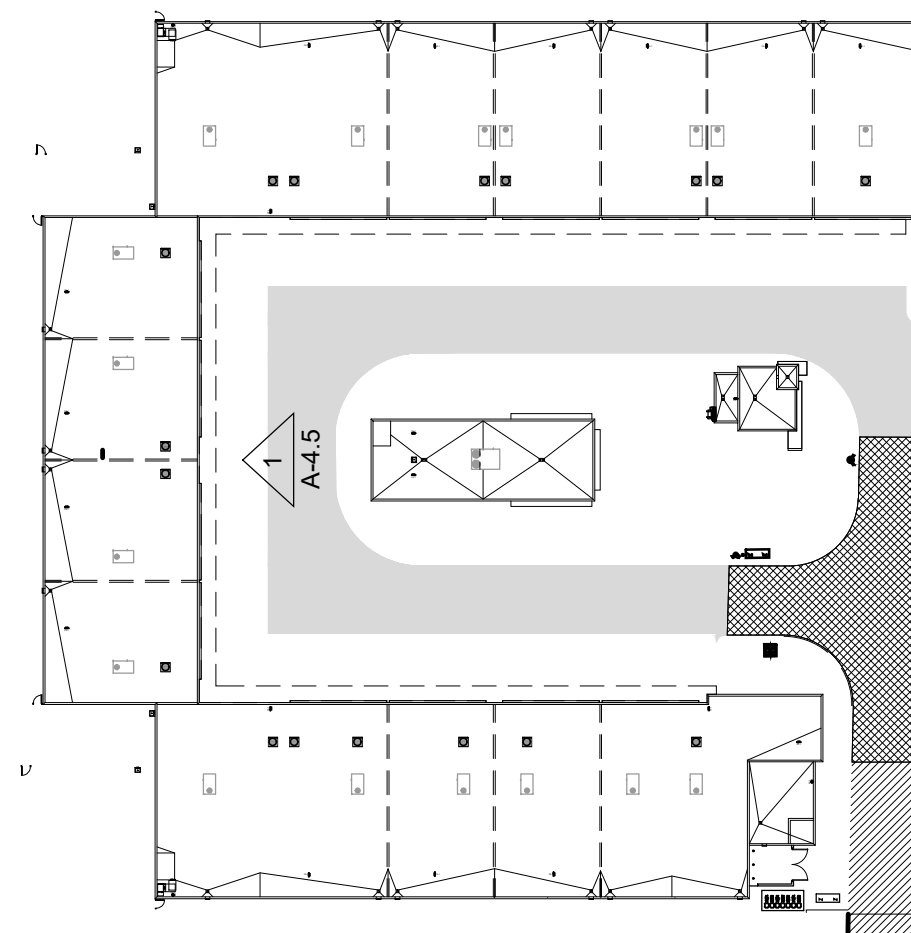


2 PROPOSED ENLARGED MAIN BUILDING NORTH ELEVATION "A"
SCALE: 3/16" = 1'-0"



3 PROPOSED ENLARGED MAIN BUILDING NORTH ELEVATION "B"
SCALE: 3/16" = 1'-0"

PAINT NOTE:
ALL WALLS EXTERIOR AND INTERIOR SHALL RECEIVE
(1) COAT OF PRIMER AND (2) COATS OF PAINT.



4 KEY PLAN
SCALE: N.T.S.

ELEVATION KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISHING.
- 2 IMPACT RATED STORE FRONT SYSTEM / DOORS.
- 3 PANEL JOINT, REFER TO FLOOR PLAN AND STRUCTURAL DRAWINGS.
- 4 EYEBROW, REFER TO SECTIONS AND STRUCTURAL.
- 5 METAL CAP OVER PARAPET, REFER TO DETAIL.
- 6 RECESS IN TILT PANEL, REFER TO DETAIL.
- 7 RECESSED HOSE-BIB. PLACE BOTTOM OF HOSE-BIB 12" FROM SLAB (TYP).
- 8 WALL LIGHT.
- 9 LADDER, SEE ROOF PLAN AND DETAIL.
- 10 EMERGENCY MTL. SCUPPER / REFER TO PLUMBING FOR SIZE
- 11 METAL STAIRS, REFER TO DETAIL.
- 12 NOT USED
- 13 INTAKE AIR DUCT TO WALL, REFER TO MECHANICAL DRAWINGS.
- 14 PRECAST COLUMN.
- 15 PRECAST WALL FENCE.
- 16 PRECAST CAP.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	JM
DESIGNED BY:	JAV
REVIEWED BY:	MDF
PROJECT NO.	21-0033

REVISIONS
1 BLDG. DEPT. REV 2: 2.27.23
2 OWNER REVISION 7: 02.14.24

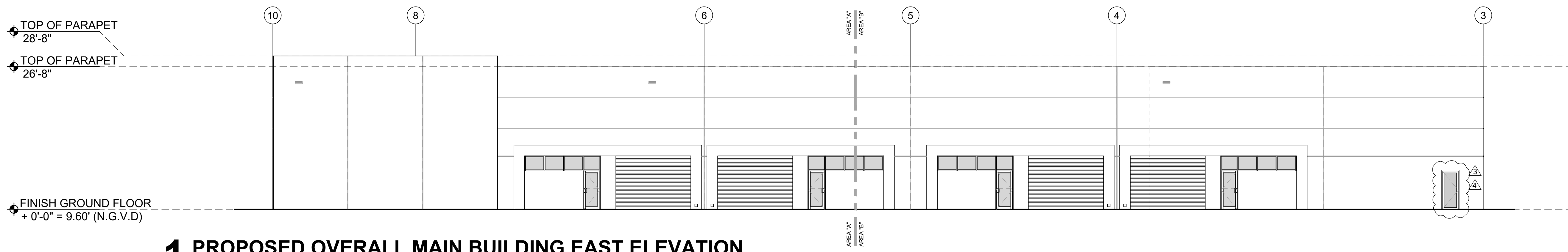
JOSE A. VIDAL, AIA 4539
MANUEL D. FERNANDEZ
A033551
SEAL

EXTERIOR
ELEVATIONS

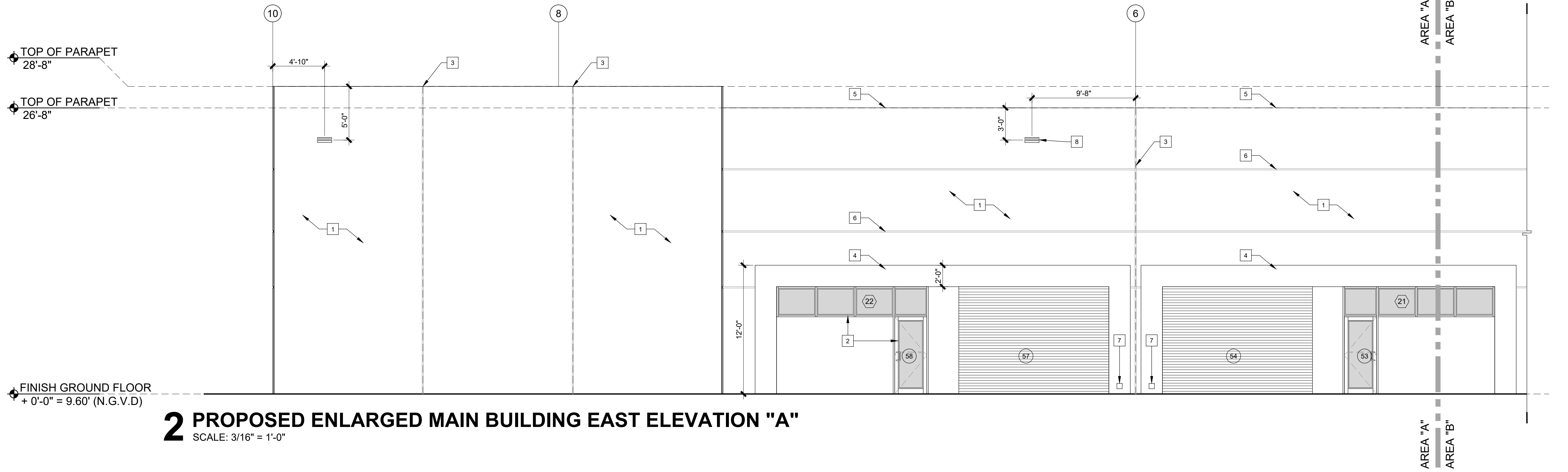
A4.5
CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. No portion of this project for which they were prepared is to be used or reproduced in any form without the written consent of V3 Architectural Group, Inc. Reproduction or transmission in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, is prohibited without the written consent of V3 Architectural Group, Inc.

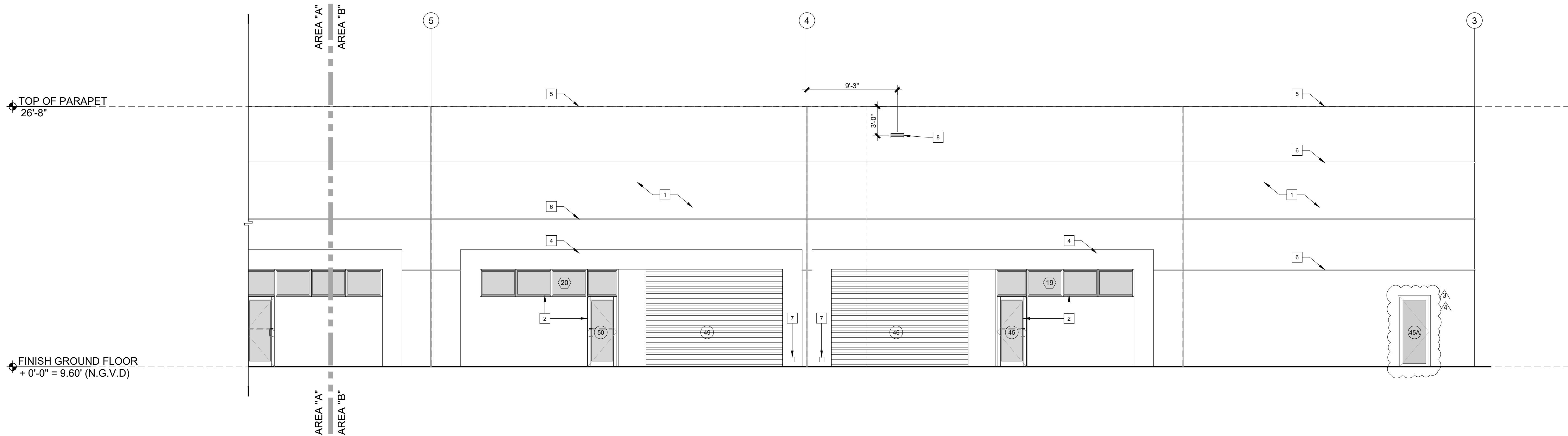




1 PROPOSED OVERALL MAIN BUILDING EAST ELEVATION
SCALE: 3/32" = 1'-0"

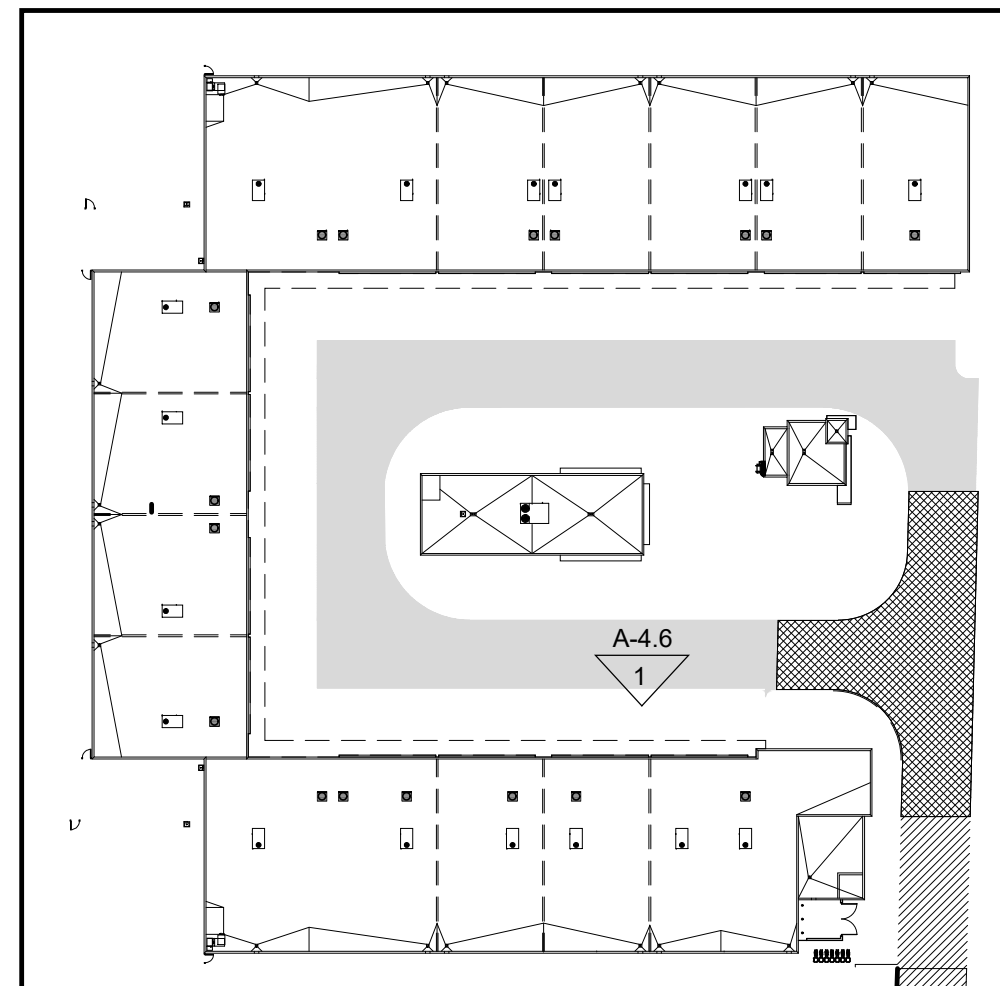


2 PROPOSED ENLARGED MAIN BUILDING EAST ELEVATION "A"
SCALE: 3/16" = 1'-0"



3 PROPOSED ENLARGED MAIN BUILDING EAST ELEVATION "B"
SCALE: 3/16" = 1'-0"

PAINT NOTE:
ALL WALLS EXTERIOR AND INTERIOR SHALL RECEIVE
(1) COAT OF PRIMER AND (2) COATS OF PAINT.



4 KEY PLAN
SCALE: N.T.S

ELEVATION KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISHING.
- 2 IMPACT RATED STORE FRONT SYSTEM / DOORS.
- 3 PANEL JOINT, REFER TO FLOOR PLAN AND STRUCTURAL DRAWINGS.
- 4 EYEBROW, REFER TO SECTIONS AND STRUCTURAL.
- 5 METAL CAP OVER PARAPET, REFER TO DETAIL.
- 6 RECESS IN TILT PANEL. REFER TO DETAIL.
- 7 RECESSED HOSE-BIB. PLACE BOTTOM OF HOSE-BIB 12" FROM SLAB (TYP).
- 8 WALL LIGHT.
- 9 LADDER, SEE ROOF PLAN AND DETAIL.
- 10 EMERGENCY MTL. SCUPPER / REFER TO PLUMBING FOR SIZE
- 11 METAL STAIRS, REFER TO DETAIL.
- 12 NOT USED
- 13 INTAKE AIR DUCT TO WALL. REFER TO MECHANICAL DRAWINGS.
- 14 PRECAST COLUMN.
- 15 PRECAST WALL FENCE.
- 16 PRECAST CAP.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	JM
DESIGNED BY:	JAV
REVIEWED BY:	MDF
PROJECT NO.	21-0033

REVISIONS	
1	BLDG. DEPT. REV 2: 2.27.23
2	BLDG. DEPT. REV 3: 5.12.23
3	BLDG. DEPT. REV 4: 6.29.23
4	OWNER REVISION 7: 02.14.24

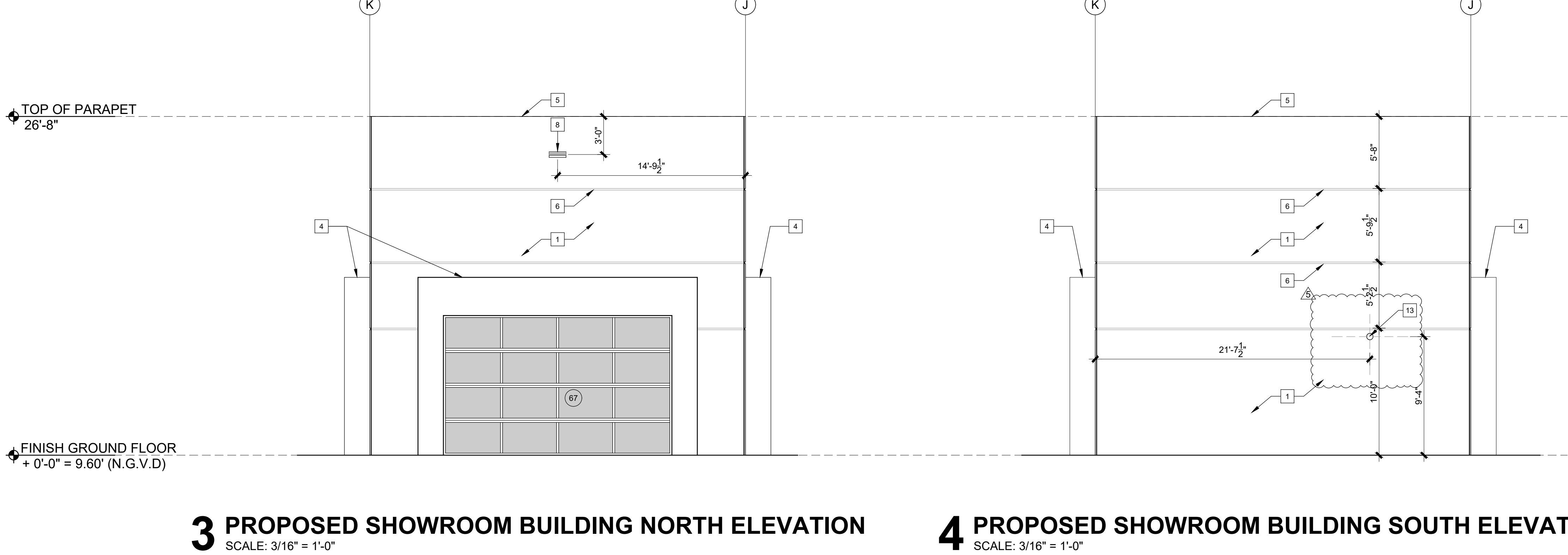
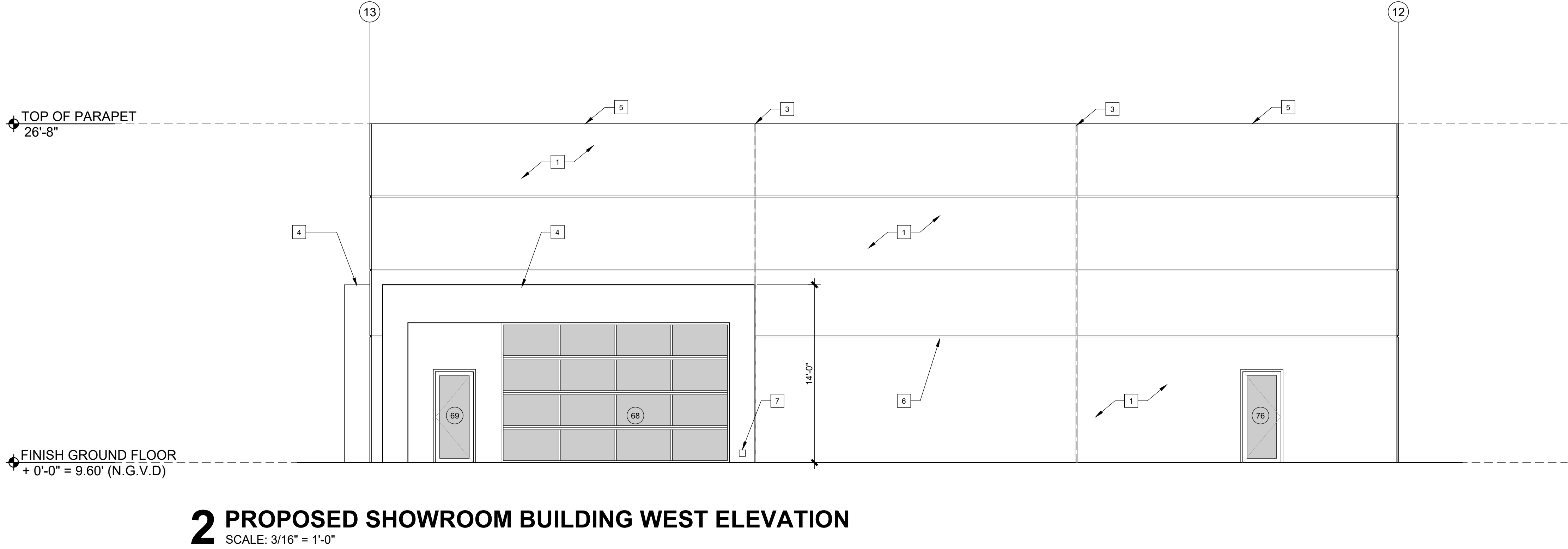
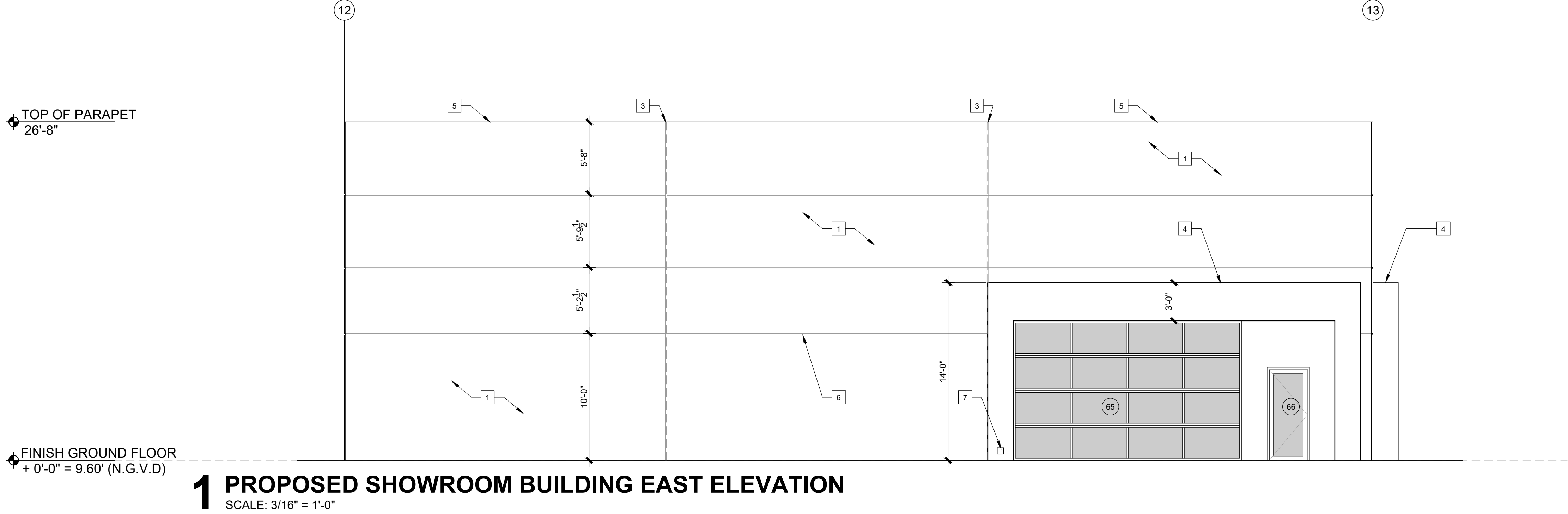
JOSE A. VIDAL, ARS4535 MANUEL D. FERNANDEZ ARS5551	SEAL
--	------

EXTERIOR
ELEVATIONS

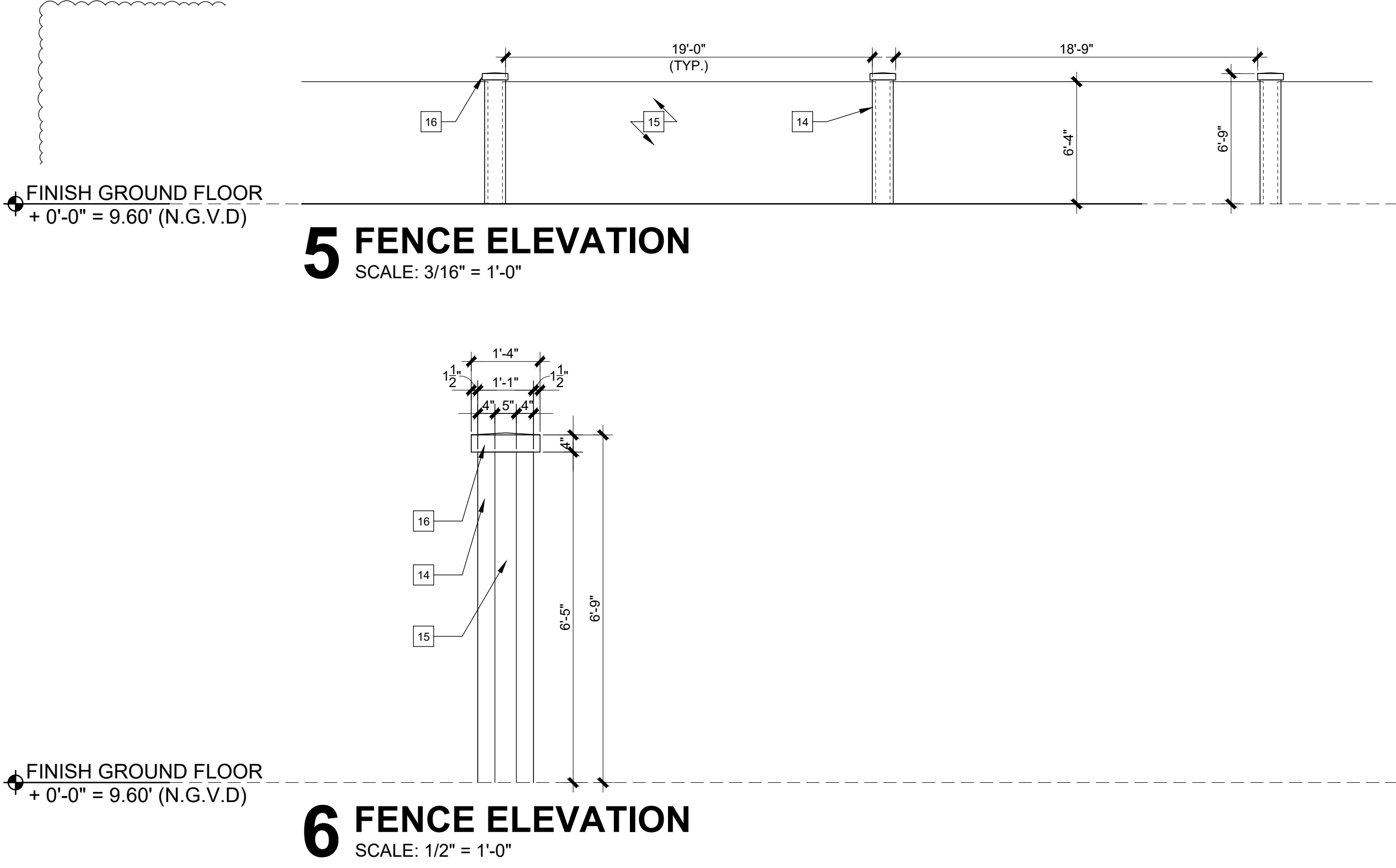
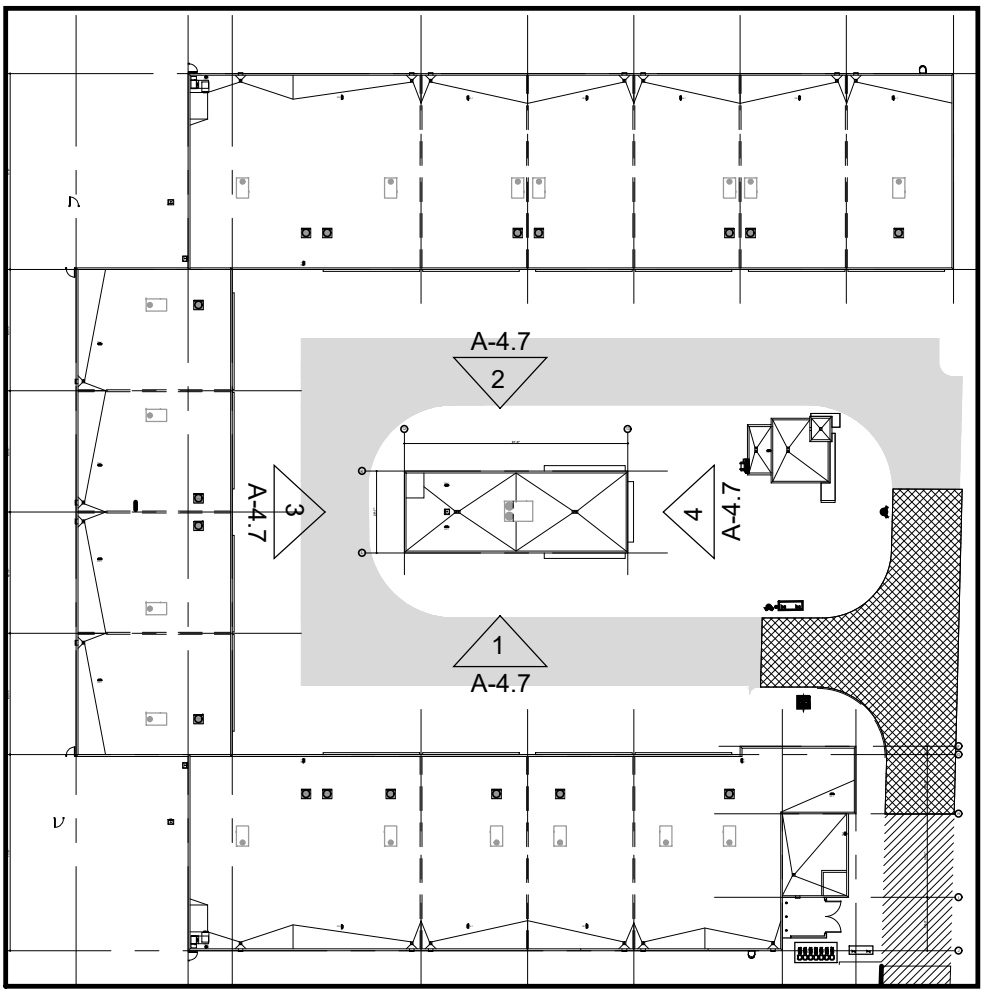
A4.6
CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. No portion of this project for which they were prepared is to be used or reproduced in any form without the prior written consent of V3 Architectural Group, Inc. Reproduction or transmission in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of V3 Architectural Group, Inc. is prohibited.





PAINT NOTE:
ALL WALLS EXTERIOR AND INTERIOR SHALL RECEIVE
(1) COAT OF PRIMER AND (2) COATS OF PAINT.



ELEVATION KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISHING.
- 2 IMPACT RATED STORE FRONT SYSTEM / DOORS.
- 3 PANEL JOINT, REFER TO FLOOR PLAN AND STRUCTURAL DRAWINGS.
- 4 EYEBROW, REFER TO SECTIONS AND STRUCTURAL.
- 5 METAL CAP OVER PARAPET, REFER TO DETAIL.
- 6 RECESS IN TILT PANEL, REFER TO DETAIL.
- 7 RECESSED HOSE-BIB. PLACE BOTTOM OF HOSE-BIB 12" FROM SLAB (TYP).
- 8 WALL LIGHT.
- 9 LADDER, SEE ROOF PLAN AND DETAIL.
- 10 EMERGENCY MTL. SCUPPER / REFER TO PLUMBING FOR SIZE
- 11 METAL STAIRS, REFER TO DETAIL.
- 12 NOT USED
- 13 INTAKE AIR DUCT TO WALL. REFER TO MECHANICAL DRAWINGS.
- 14 PRECAST COLUMN.
- 15 PRECAST WALL FENCE.
- 16 PRECAST CAP.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE: 11.15.22
DRAWN BY: JAM
DESIGNED BY: JAV
REVIEWED BY: MDF
PROJECT NO. 21-0033

REVISIONS
BLDG. DEPT. REV 2: 2.27.23
OWNER REVISION 7: 02.14.24

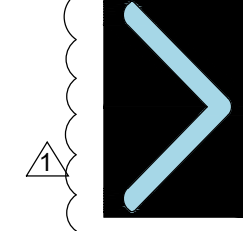
JOSE A. VIDAL/AR4535
MANUEL D. FERNANDEZ
AR35651

SEAL

EXTERIOR
ELEVATIONS

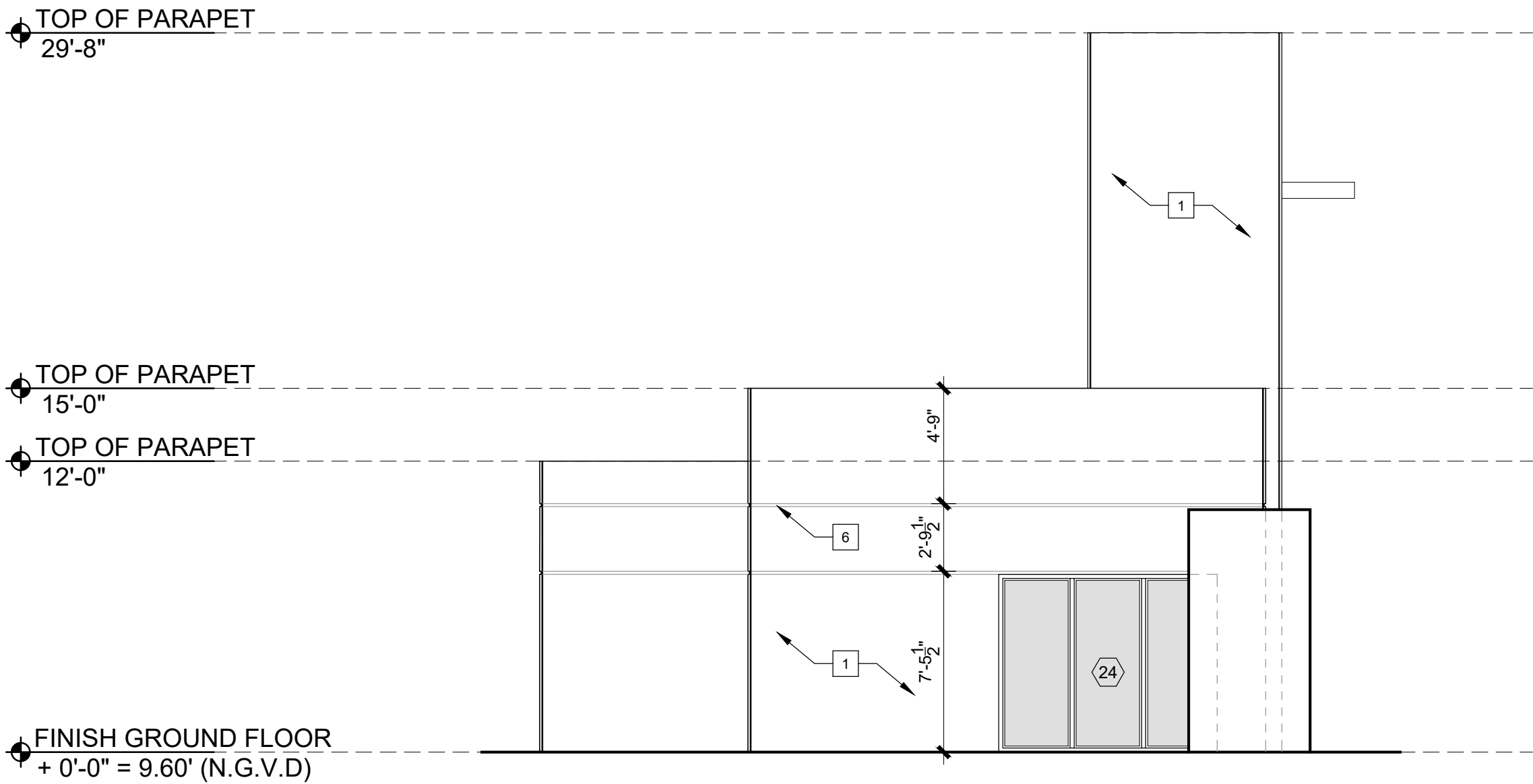
A4.7
CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. neither the project for which they were prepared is donated or not. They are not to be used in any manner or other project or otherwise in the project except by agreement in writing and with the written consent of V3 Architectural Group, Inc. Reproduction of these drawings or specifications without the written consent of V3 Architectural Group, Inc. is prohibited.

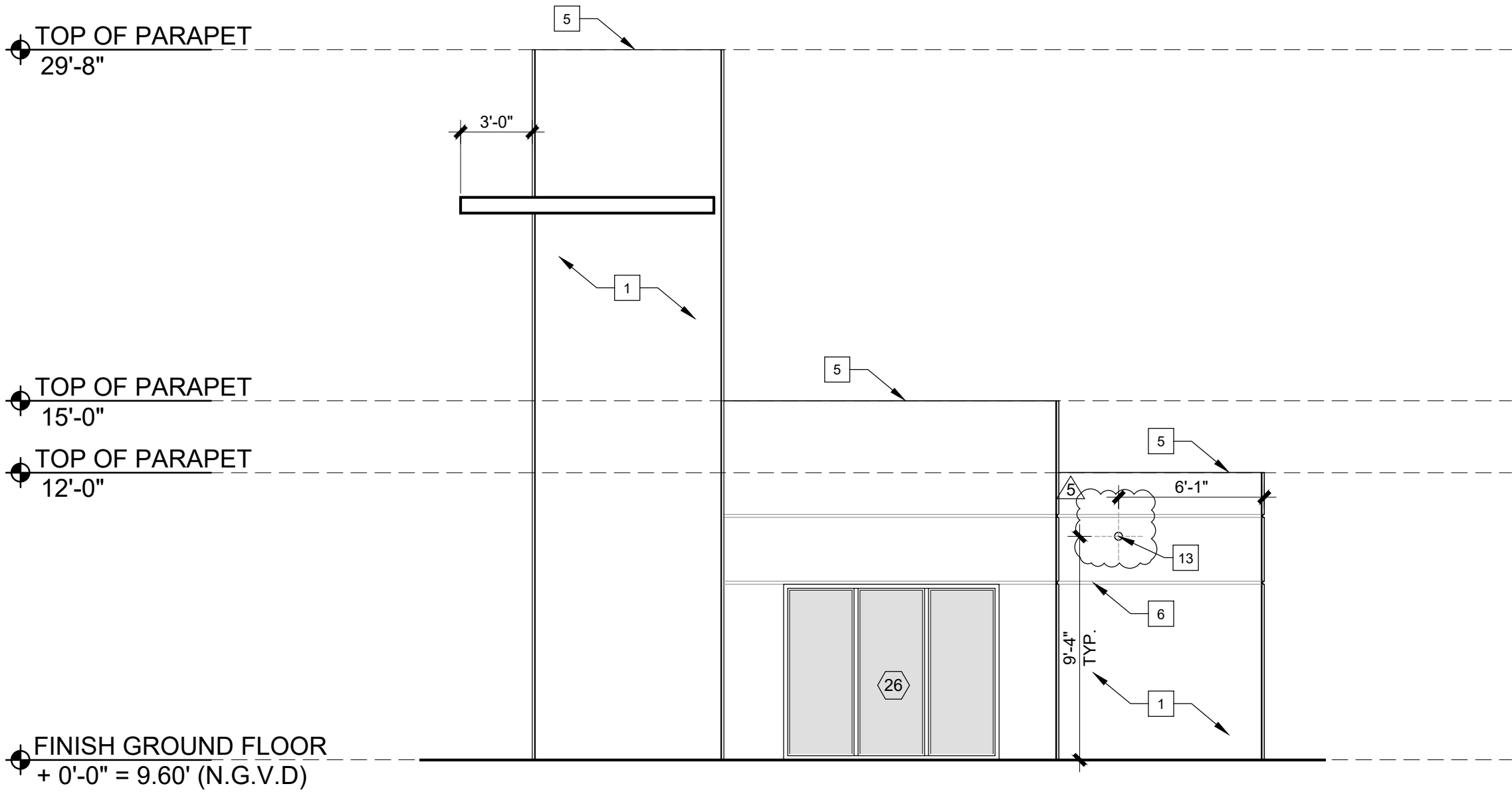


3
BLDG N.W. 33RD STREET
DORAL, FL 33122
P: 305.359.1496 F: 305.359.0069

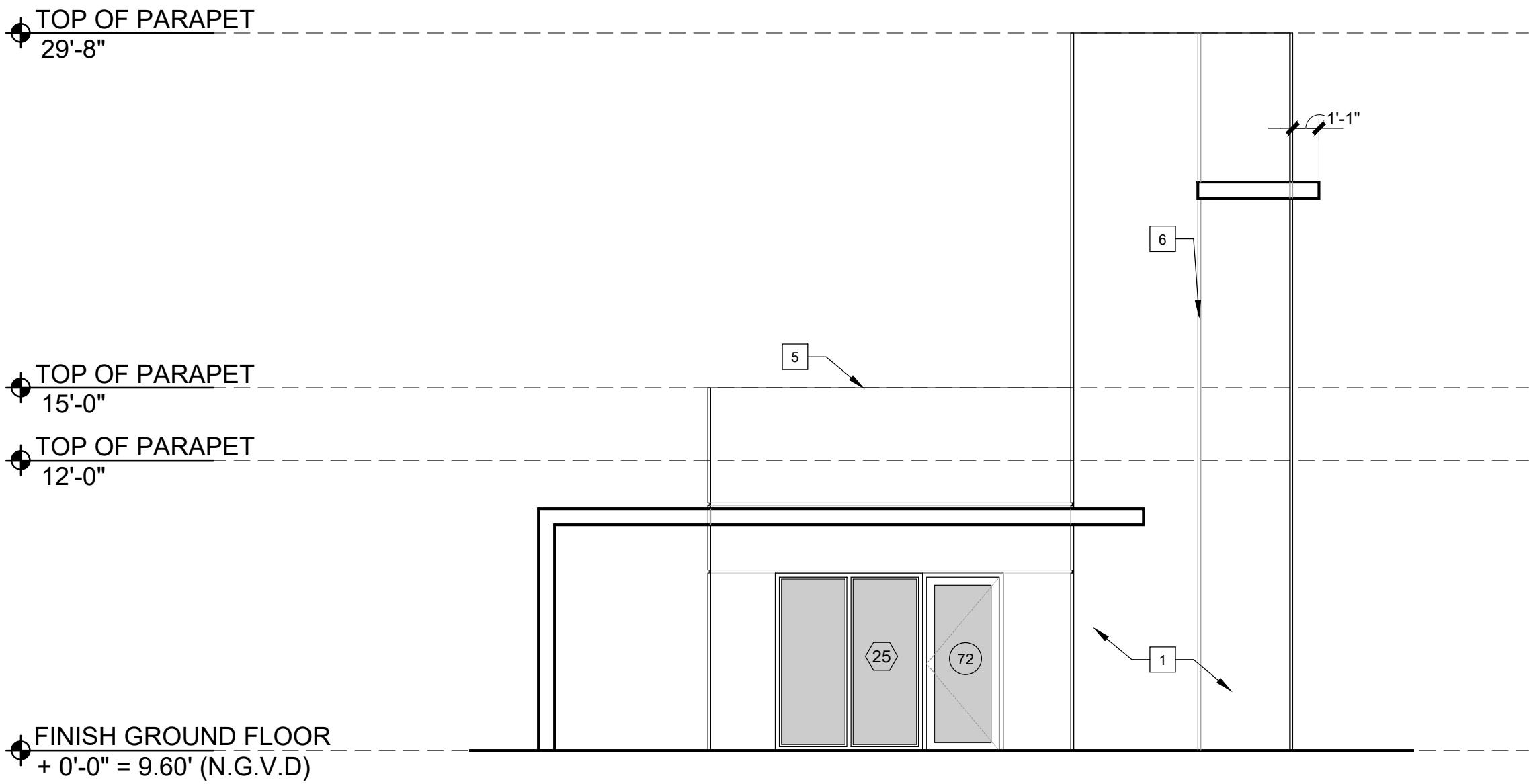
ARCHITECTURAL GROUP



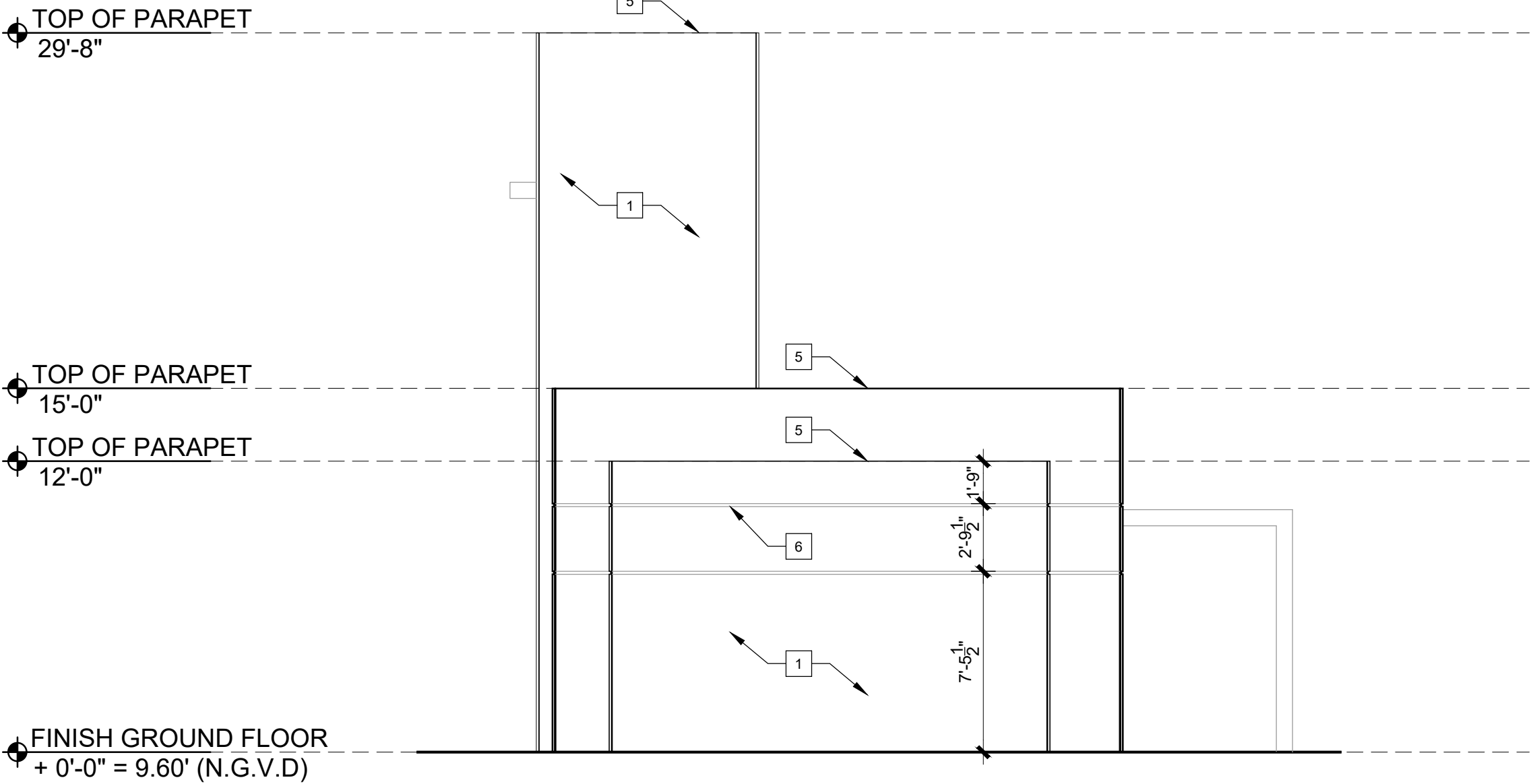
1 PROPOSED OVERALL MANAGER'S OFFICE EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 PROPOSED OVERALL MANAGER'S OFFICE BUILDING WEST ELEVATION
SCALE: 3/16" = 1'-0"

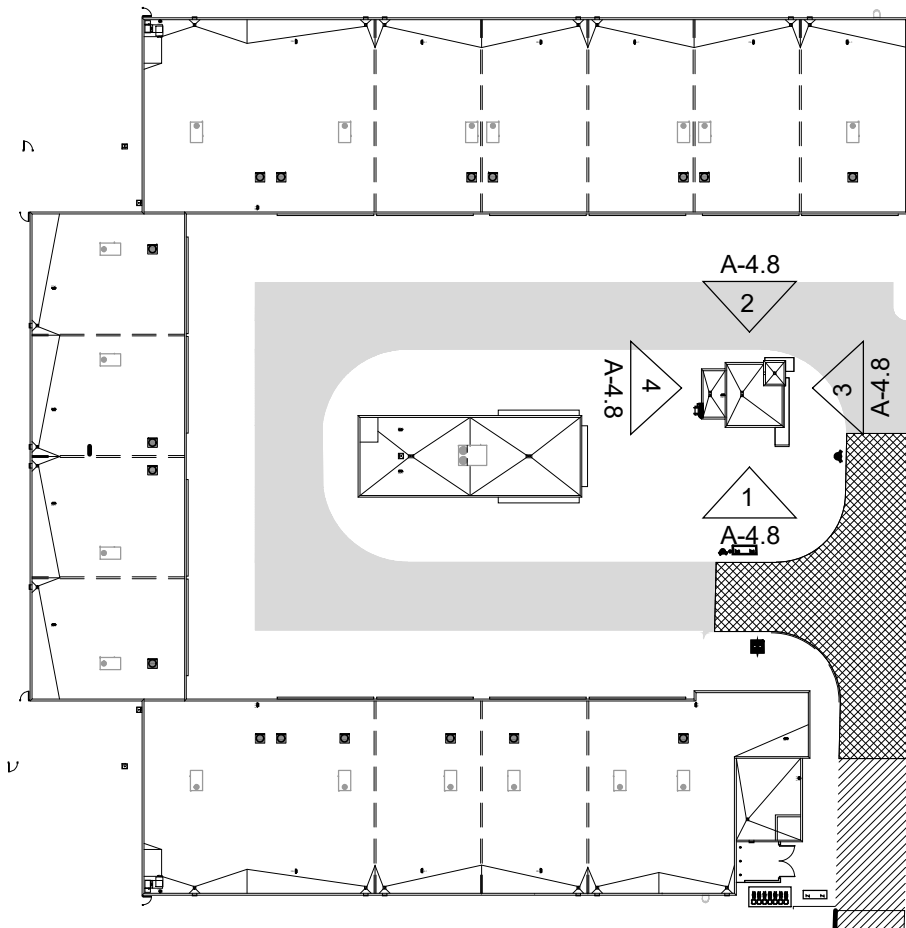


3 PROPOSED OVERALL MANAGER'S OFFICE BUILDING NORTH ELEVATION
SCALE: 3/16" = 1'-0"



4 PROPOSED OVERALL MANAGER'S OFFICE BUILDING SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

PAINT NOTE:
ALL WALLS EXTERIOR AND INTERIOR SHALL RECEIVE
(1) COAT OF PRIMER AND (2) COATS OF PAINT.



5 KEY PLAN
SCALE: N.T.S.

ELEVATION KEY NOTES:

- 1 TILT-UP PANEL WITH SMOOTH TEX-COTE FINISHING.
- 2 IMPACT RATED STORE FRONT SYSTEM / DOORS.
- 3 PANEL JOINT, REFER TO FLOOR PLAN AND STRUCTURAL DRAWINGS.
- 4 EYEBROW, REFER TO SECTIONS AND STRUCTURAL.
- 5 METAL CAP OVER PARAPET, REFER TO DETAIL.
- 6 RECESS IN TILT PANEL, REFER TO DETAIL.
- 7 RECESSED HOSE-BIB. PLACE BOTTOM OF HOSE-BIB 12" FROM SLAB (TYP).
- 8 WALL LIGHT.
- 9 LADDER, SEE ROOF PLAN AND DETAIL.
- 10 EMERGENCY MTL. SCUPPER / REFER TO PLUMBING FOR SIZE
- 11 METAL STAIRS, REFER TO DETAIL.
- 12 NOT USED
- 13 INTAKE AIR DUCT TO WALL, REFER TO MECHANICAL DRAWINGS.
- 14 PRECAST COLUMN.
- 15 PRECAST WALL FENCE.
- 16 PRECAST CAP.

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	JM
DESIGNED BY:	JAV
REVIEWED BY:	MDF
PROJECT NO.	21-0033

REVISIONS	
1	BLDG. DEPT. REV 2: 2.27.23
2	OWNER REVISION 7: 02.14.24

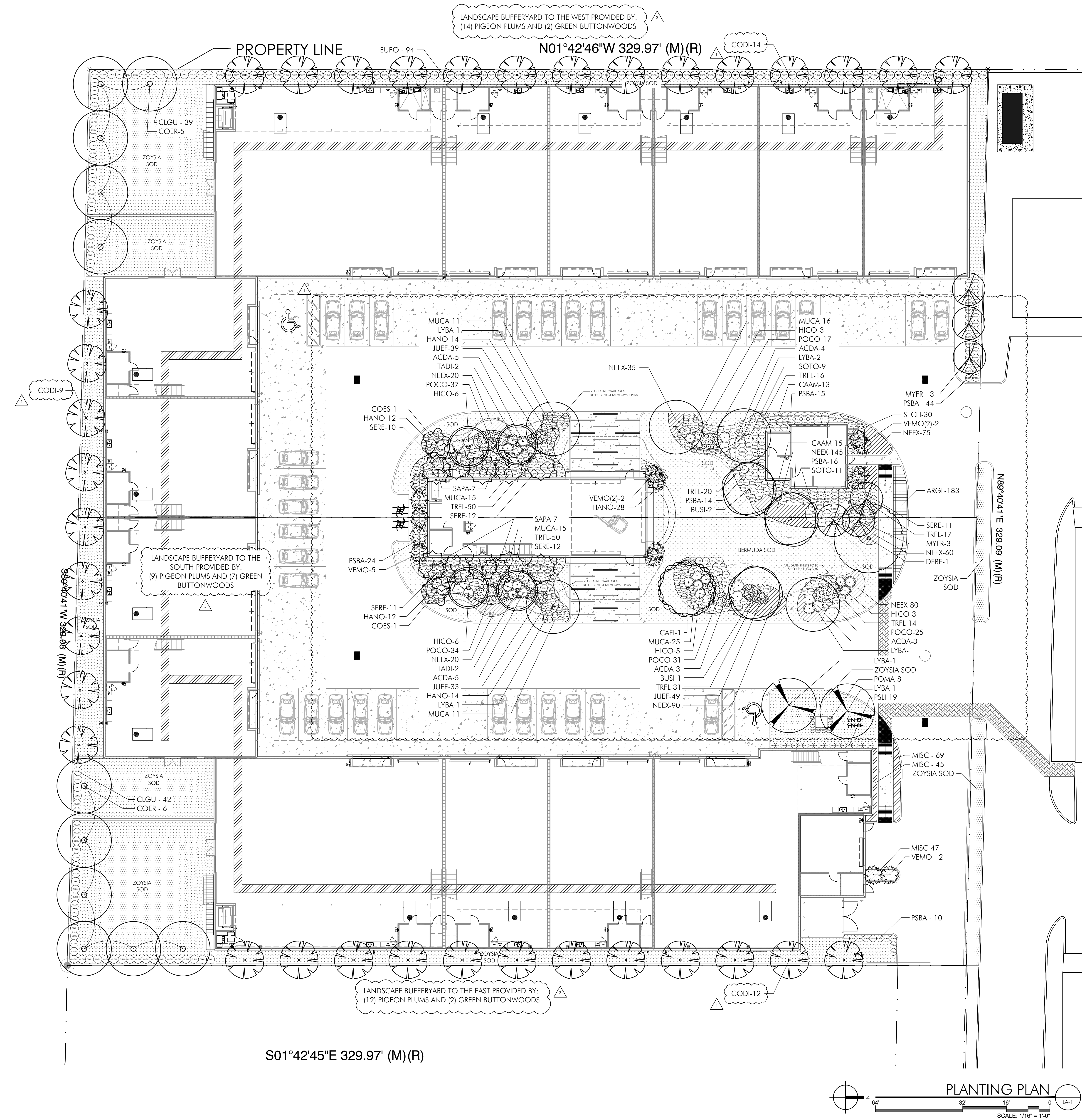
JOSE A. VIDAL (AR4533)	
MANUEL D. FERNANDEZ (AR35651)	
SEAL	

EXTERIOR
ELEVATIONS

A4.8
CONSTRUCTION
DOCUMENTS

copyright 2022 U3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of U3 Architectural Group, Inc. neither the project for which they were prepared is donated or not. They are not to be used in any manner or other project or enterprise in the project except by agreement in writing per U3. Reproduction or transmission in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the written consent of U3 Architectural Group, Inc. is prohibited.





PLANT LIST				
TREES				
KEY	PLANT NAME	QTY.	UT.	SIZE
BUSI	Bursera simaruba ...Gumbo Limbo	3	ea.	12' tall x 5' spread, 2.5" DBH (4" DBH as street trees), 4' CT min.
CAFI	Cassia Fistula ...Golden Shower Tree	1	ea.	12' tall x 5' spread, 2.5" DBH, 4' CT min.
CODI	Coccoloba diversifolia ...Pigeon Plum	35	ea.	12' Ht. x 5' Sp; 2.5" Cal.
COER	Conocarpus erectus ...Green Buttonwood	11	ea.	12' Ht. x 5' Sp; 2.5" Cal.
COES	Conocarpus erectus var. "Sericeus" ...Silver Buttonwood	2	ea.	12' tall x 5' spread, 2.5" DBH (4" DBH as street trees), 4' CT min.
DERE	Delonix Regia ...Royal Poinciana	1	ea.	14' Ht. x 6' sp; 4" Cal.
LYBA	Lysiloma bahamensis ...Wild Tamarind	7	ea.	14' Ht. x 6' sp; 4" Cal.
MYFR	Myrcianthes fragrans ...Simpson's Stopper	6	ea.	12' Ht. x 5' Sp; 2.5" Cal.
TADI	Taxodium distichum ...Bald Cypress	4	ea.	12' Ht. x 5' Sp; 2.5" Cal.

PALMS				
KEY	PLANT NAME	QTY.	UT.	SIZE
SAPA	Sabal palmetto ...Sabal Palm	14	ea.	18'-24' tall overall, smooth trunk, hurricane cut
VEMO	Veitchia montgomeryana ...Montgomery Palm	7	ea.	16'-18' tall overall
VEMO(2)	Veitchia montgomeryana "Double" ...Montgomery Palm	4	ea.	16'-18' tall overall - Double

SHRUBS AND GROUNDCOVERS				
KEY	PLANT NAME	QTY.	UT.	SIZE
ACDA	Acrostichum danaeifolium ...Leather Fern	21	ea.	3 Gal.
ARGL	Arachis glabrata ...Perennial Peanut	183	ea.	1 gal. cans
CAAM	Callicarpa americana ...American Beautyberry	28	ea.	24"x24"
CLGU	Clusia guttifera ...Small Leaf Clusia	81	ea.	36' x 36'
EUFO	Eugenia foetida ...Spanish Stopper	94	ea.	48" X 36"
HANO	Hamelia nodosa ...Dwarf Firebush	82	ea.	18"x18"
HICO	Hibiscus coccineus ...Swamp Hibiscus	22	ea.	24"x24"
JUEF	Juncus effusus ...Soft Rush	121	ea.	1 gal., install 12" o.c.
MISC	Microsorium scolopendria ...Wart Fern	161	ea.	12' x 12'
MUCA	Muhlenbergia capillaris ...Pink Muhly Grass	93	ea.	3 gal cans, full.c.
NEEX	Nephrolepis exaltata ...Boston Fern	561	ea.	1 gal cans, install 12" o.c.
POCO	Pontederia cordatas ...Pickerelweed	145	ea.	1 gal., install 18" o.c.
POMA	Podocarpus macrophyllus ...Podocarpus	8	ea.	30" x 18"
PSBA	Psychotria bahamensis ...Bahamas Wild Coffee	111	ea.	24" x 24"
PSLI	Psychotria ligustrifolia ...Dwarf Wild Coffee	19	ea.	18" x 18"
SECH	Senna mexicana var. chapmanii ...Bahama Senna	30	ea.	18" x 18"
SERE	Serenoo repens 'silver' ...Saw palmetto (Silver)	56	ea.	30" x 30", install 30" o.c.
SOTO	Sophora tomentosa ...Necklace Pod	20	ea.	24"x24"
TRFL	Tripsacum floridanum ...Florida Gamagrass	203	ea.	3 gallon, full

MISCELLANEOUS				
sod	Bermuda 'Celebration'	as req.	s.f.	solid sod
sod	Zoysia Empire	as req.	s.f.	solid sod
artificial turf		as req.	s.f.	solid sod
	Planting Soil 70% Silica Sand 20% Everglades Muck 10% Shredded Pinebark	as req.	c.y.	
	Shredded Melaleuca Mulch	as req.	c.y.	2" layer in all shrub beds

LANDSCAPE LEGEND (This information to be permanently affixed to the plan.)				
Zoning District:	IC	Net Lot Area:	2.42 (acres)	108,554 (square feet) (Site Adjusted)
OPEN SPACE REQUIREMENTS		REQUIRED	PROVIDED	
A.	Square feet of open space required, as indicated on site plan: Net Lot area = 108,554 square feet x 20 % = 21,711 square feet	21,711	21,730	
B.	Square feet of parking lot open space required, as indicated on site plan: The number of parking spaces 34 x 10 square feet per parking space =	340	340	
C.	Total square feet of open space required by = A+B=	22,051	22,110	
LAWN AREA CALCULATION		REQUIRED	PROVIDED	
A.	Total square feet of landscape open space required by Chapter 33 =	-		
B.	Maximum lawn area (Non-Bahia sod) permitted = 20 % = 21,711 square feet =	21,711	22,051	
TREES		REQUIRED	PROVIDED	
A.	The number of trees required per net lot acre = 15 trees x net lot acreage =	46	70	
	less the existing number of trees that meet the minimum requirements (minus)	46	70	
	TOTAL NEW SITE TREES REQUIRED	46	70	
B.	Street trees (max. average spacing of 35' o.c.): 0 linear feet along street / 35 = Palms as street trees (max. average spacing of 25' o.c.): 0 linear feet along street / 25 = Street trees located directly beneath power lines (Max. average spacing 25' o.c.): 0 linear feet along street / 25 =	-		
	TOTAL STREET TREES REQUIRED	-		
	GRAND TOTAL NEW TREES REQUIRED	46	70	
C.	Percentage of native trees required = number of trees provided x 50% =	35	68	
D.	30% palm species allowed (two palms = one tree) Palms provided =	13	25	
SHRUBS		REQUIRED	PROVIDED	
A.	The total number of trees required x 10 = the number of shrubs required	460	877	
B.	The total number of trees required x 50% = the number of native shrubs required	230	705	
IRRIGATION: Required Auto Irrigation		X	or hose bib provided.	

U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE: 11.15.22

DRAWN BY: CG

DESIGNED BY: KG

REVIEWED BY: KG

PROJECT NO.: 21-0033

REVISIONS

03.15.2023 CITY COMMENT REVISIONS

03.07.2023 CITY COMMENT REVISIONS

02.03.2023 CITY COMMENT REVISION

LANDSCAPE ARCHITECT

KEN GARDNER

FLA. 15053

SEAL

PLANTING PLAN

LA-1

CONSTRUCTION DOCUMENTS

RECEIVED

By Stephanie Puglia at 10:10 am, Jun 26, 2024

copyright 2022 V3 Architectural Group, Inc.

All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. neither the project nor these drawings shall be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of V3 Architectural Group, Inc. The reproduction of these drawings without the written consent of V3 Architectural Group, Inc. is prohibited.

38103 N.W. 33RD STREET

DORAL, FL 33122

T: 305.359.1466 F: 305.359.1467

AA86020069

ARCHITECTURAL GROUP

2.5 ROOT BARRIER MATERIAL
A. Root barrier material shall be 24" deep polypropylene panels by DeepRoot or approved equal.
B. Install per details in the plans.

F. Excavate and remove excess soil so top of sod is flush w/top of curb or adjacent pavement, or adjacent existing sod.

1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to keep equipment and materials, any toxic material, away from the canopy drip line of trees and shrubs. **DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR DEPOSIT NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.**



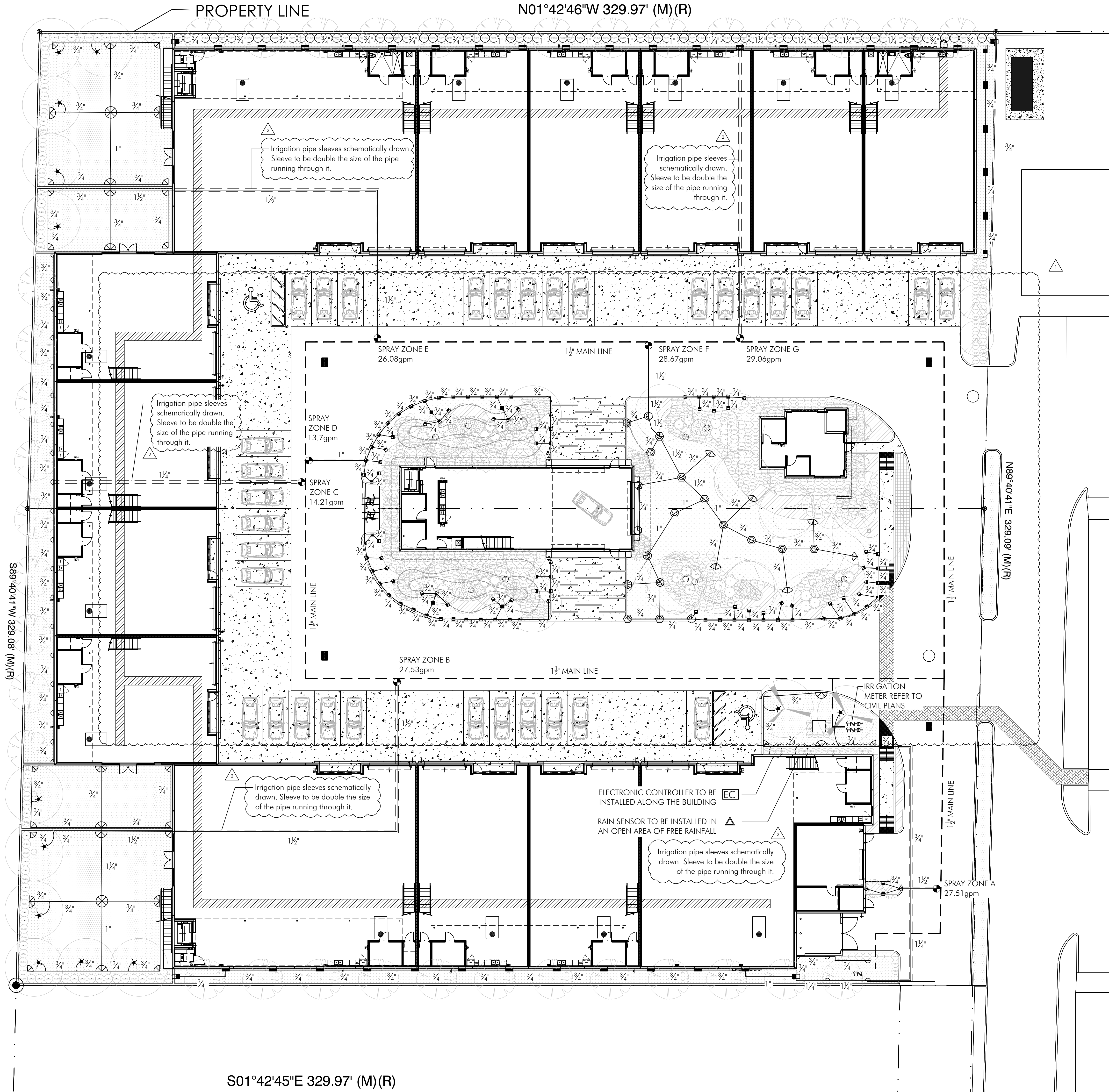
N.T.S.

N.T.S.

2.5 ROOT BARRIER MATERIAL

A. Root barrier material shall be 24" deep polypropylene panels by DeepRoot or approved equal.

B. Install per details in the plans.

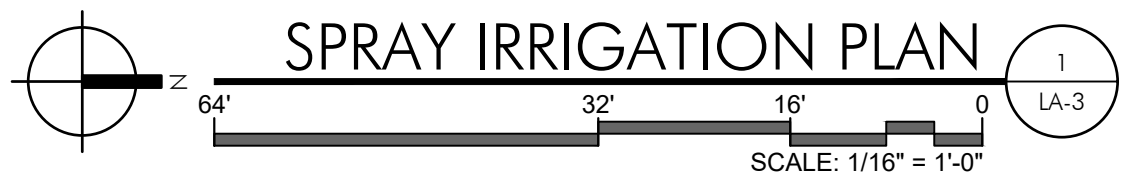


IRRIGATION MATERIALS LIST		
KEY	ITEM	QTY.
—	PVC laterals shall be Class 200 PVC (sized as shown on plan)	as required
—	MAIN shall be Class 200 PVC	as required
—	Bubbler Zone Piping	as required
—	PVC sleeves shall be Class 200 PVC (sized double the width of the pipe running through it)	as required
—	Flexible PVC or Polypipe (for swing joints)	as required
WM	WATER METER (See Civil Plans)	1
EC	Electric Controller RAINBIRD _____ Series Controller	1
Δ	Rainbird RSD Series Rain Sensor (locate in area of free rainfall)	1
●	RAINBIRD 200-PESB 2" Electromechanical Solenoid Control Valve	#
—	Irrigation Control Wire	as required
—	RAINBIRD Spray Heads 1800 @ 30 PSI Series w/MPR nozzles	as required
—	6" pop-up in grass areas	
—	12" pop-up on risers in shrub beds	
—	15-sst (11.21 gpm)	
—	15-est (1.21 gpm)	
—	15-sst (.61 gpm)	
—	9-sst (1.73 gpm)	
—	10-H (.79 gpm)	
—	10-Q (.39 gpm)	
—	5-TQ (.33 gpm)	
—	5-H (.20 gpm)	
—	5-Q (.10 gpm)	
★	RAINBIRD 1300A-F Adjustable Flood Bubbler 1300A-F (1.5 gpm)	as required
—	RAINBIRD Rotary Spray Heads 17-24 radius R-VAN 24 Series @ 40 PSI	as required
—	6" pop-up in grass areas	
—	12" pop-up on risers in shrub beds	
—	24-360 (3.13 gpm)	
—	24 (270°) (2.31 gpm)	
—	24 (180°) (1.54 gpm)	
—	24 (120°) (1.0 gpm)	
—	24 (90°) (.77 gpm)	
—	RAINBIRD Rotary Spray Heads 13-18 radius R-VAN 18 Series @ 40 PSI	as required
—	6" pop-up in grass areas	
—	12" pop-up on risers in shrub beds	
—	18 (270°) (1.42 gpm)	
—	18 (180°) (.98 gpm)	
—	18 (90°) (.5 gpm)	
—	RAINBIRD Rotary Spray Heads 8-14 radius R-VAN 14 Series @ 40 PSI	
—	6" pop-up in grass areas	
—	12" pop-up on risers in shrub beds	
—	14 (270°) (.92 gpm)	

LATERAL PIPE SIZING
The Contractor is responsible to properly size all laterals. All laterals shall be sized according to the following schedule. Total galleage per pipe section shall be calculated by adding the GPM per head for every head downstream of the pipe.

SIZE	GPM
3/4"	0.8 GPM
1"	8.14 GPM
1 1/4"	14.24 GPM
1 1/2"	24.32 GPM
2"	32.50 GPM
2 1/2"	50.75 GPM
3"	60.110 GPM
4"	110.190 GPM

NOTE:
MAIN LINE SCHEMATICALLY DRAWN



U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	CG
DESIGNED BY:	KG
REVIEWED BY:	KG
PROJECT NO.	21-0033

REVISIONS	
Δ	03.15.2023 CITY COMMENT REVISIONS
Δ	03.07.2023 CITY COMMENT REVISIONS
Δ	02.03.2023 CITY COMMENT REVISION

LANDSCAPE ARCHITECT KEN GARDNER FLA. LA. 1505	SEAL
---	------

SPRAY
IRRIGATION
PLAN

LA-3
CONSTRUCTION
DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. whether the project for which they were prepared is completed or not. They are not to be used in any manner or other project or otherwise without the express written consent of V3 Architectural Group, Inc. Reproduction or transmission in any form or by any means without the written consent of V3 Architectural Group, Inc. is prohibited.






U-SHAPE COLLECTION SUITES

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	CG
DESIGNED BY:	KG
REVIEWED BY:	KG
PROJECT NO.	21-0033

REVISIONS		
	03.15.2023	CITY COMMENT REVISIONS
	03.07.2023	CITY COMMENT REVISIONS
	02.03.2023	CITY COMMENT REVISION

LANDSCAPE ARCHITECT KEN GARDNER FL LA 1569	
SEAL	
DRIPPERLINE IRRIGATION PLAN	
LA-4	
CONSTRUCTION DOCUMENTS	

PROPOSED PUBLIC WATER EXTENSION AND SEWER COLLECTION PLAN
FOR
COLLECTION SUITES 2
TRACT 39, SECTION 17, TOWNSHIP 53 SOUTH, RANGE 40 EAST
5990 NW 102ND AVENUE
DORAL, FLORIDA 33178

ID # 31482

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
C-0	COVER SHEET
C-1	STANDARD NOTES (NOT PART OF MDWASD NOTES NOR APPROVAL)
C-2	LAYOUT PLAN
* C-3	PAVING, GRADING AND DRAINAGE PLAN
* C-4	DRAINAGE DETAILS
* C-5	STORMWATER POLLUTION PREVENTION PLAN
C-6	PROPOSED (PUBLIC) WATER MAIN PROFILE & PROPOSED (PUBLIC) SANITARY SEWER MAIN PROFILE
C-7	PROPOSED (PUBLIC) WATER SUPPLY PROFILES
C-8	PROPOSED (PUBLIC/PRIVATE) SANITARY SEWER LATERAL PROFILES
* C-9	SITE DETAILS
* C-10	SOIL IMPROVEMENT PLAN
(* NOT SUBMITTED FOR MD-WASD REVIEW NOR APPROVAL)	

LEGAL DESCRIPTION:

The West one-half of the West one-half of the East one-half of Tract 39, Section 17, Township 53 South, Range 40 East, of FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1, according to the Plat thereof as recorded in Plat Book 2, Page 17, of the Public Records of Miami-Dade County, Florida.

Together with,

The East one-half of the West one-half of the East one-half of Tract 39, Section 17, Township 53 South, Range 40 East, of FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1, according to the Plat thereof as recorded in Plat Book 2, Page 17, of the Public Records of Miami-Dade County, Florida.

FOLIO NUMBER(S):

35 3017 001 0394
35 3017 001 0393
(Miami-Dade County Public Records/Property Appraiser's Office)

REFERENCES:

-Commitment for Title Insurance issued by Old Republic National Title Insurance Company, FILE NO.: 21139125, Commitment Effective Date: August 11, 2021 at 8:00am.

-Commitment for Title Insurance issued by Old Republic National Title Insurance Company, FILE NO.: 21069820, Commitment Effective Date: April 6, 2021 at 8:00am.

-Plat of "CARLOS & CARLOS INDUSTRIAL PARK", according to the Plat thereof as recorded in Plat Book 163, Page 99, of the Public Records of Miami-Dade County, Florida.

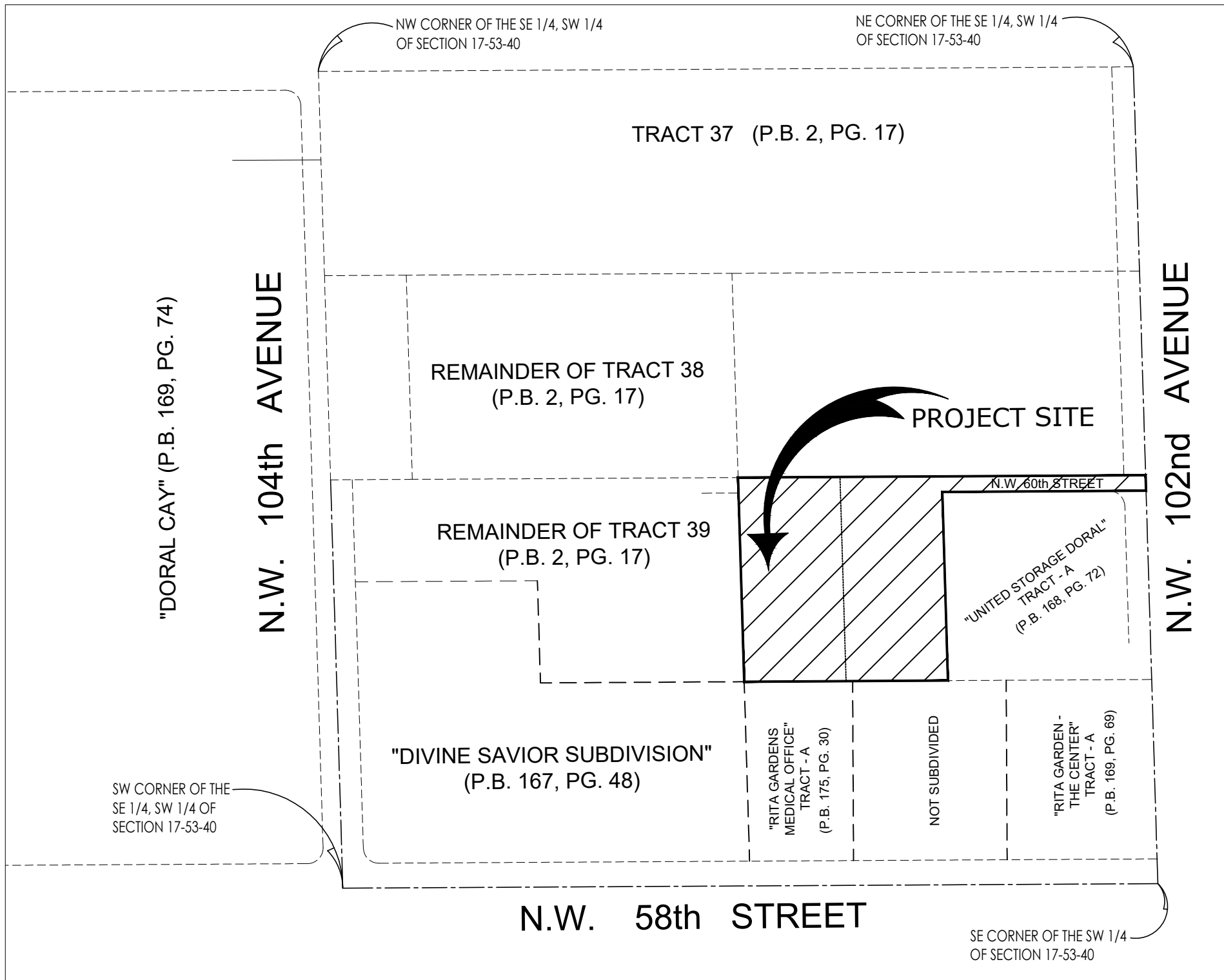
-Plat of "UNITED STORAGE DORAL", according to the Plat thereof as recorded in Plat Book 168, Page 72, of the Public Records of Miami-Dade County, Florida.

-Plat of "RITA GARDEN - THE CENTER", according to the Plat thereof as recorded in Plat Book 169, Page 69, of the Public Records of Miami-Dade County, Florida.

-Plat of "RITA GARDENS MEDICAL OFFICE", according to the Plat thereof as recorded in Plat Book 175, Page 30, of the Public Records of Miami-Dade County, Florida.

-Plat of "DIVINE SAVIOR SUBDIVISION", according to the Plat thereof as recorded in Plat Book 167, Page 48, of the Public Records of Miami-Dade County, Florida.

ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NGVD 1929



LOCATION MAP
SCALE 1" = 200'

DESCRIPTION OF PROJECT:

CONSTRUCTION OF WATER AND SEWER FACILITIES FOR
NEW CONSTRUCTION OF 59,203 SF WAREHOUSE

DESCRIPTION OF PROJECT:

CONVEYANCE OF NEW DEDICATION OF R/W SHALL OCCUR PRIOR TO THE CONVEYANCE OF
PROPOSED WATER MAIN AND PROPOSED SEWER MAIN OTHERWISE PROVIDE EASEMENT
FOR PROP. WATER AND INFRASTRUCTURE AS REQUIRED.

THE FOLLOWING ACTIVITIES ON EXISTING WATER SERVICES AND/OR EXISTING WATER MAINS SUCH AS:

- CUT AND PLUGS
 - WATER MAIN OFFSETS
 - INTERCONNECTIONS
 - SERVICE INSTALLATIONS / RETIREMENTS / SERVICE TRANSFERS
 - HYDRANT INSTALLATIONS / RETIREMENTS / REVOCATIONS
- ANY WORK THAT MAY NOT AFFECT THE QUALITY AND/OR QUANTITY OF WASD'S WATER, TRANSMISSION AND DISTRIBUTION SYSTEM SHALL BE PERFORMED BY A LICENSED CONTRACTOR UNDER THE SUPERVISION OF WASD LICENSED OPERATOR. AND WASD DONATIONS INSPECTOR UNDER THE SCOPE AND JURISDICTION OF THE CONTRACTOR'S RIGHT-OF-WAY PERMIT. PRIOR TO ANY WORK BEING DONE, THE LICENSED CONTRACTOR SHALL COORDINATE WITH WASD DONATION INSPECTOR FOR THE SCHEDULING OF LICENSED OPERATOR TO BE PRESENT FOR PROPOSED ACTIVITY.

FOR ALL PROJECTS WHERE REMOVAL OF UTILITY LINES IS PROPOSED:

- ALL EXISTING UTILITIES BEING REMOVED AND/OR RELOCATED MUST REMAIN ACTIVE AND IN SERVICE, UNTIL SUCH TIME WHEN NEW REPLACING UTILITIES HAVE BEEN INSTALLED, IN SERVICE, ACCEPTED BY THE DEPARTMENT AND ALL RELATED SERVICES FROM THE EXISTING MAINS HAVE BEEN TRANSFERRED TO THE NEW ONES, BY A LICENSED CONTRACTOR UNDER THE SUPERVISION OF WASD LICENSED OPERATOR AND WASD DONATIONS INSPECTOR UNDER THE SCOPE AND JURISDICTION OF THE CONTRACTOR'S RIGHT-OF-WAY PERMIT AS APPLICABLE.
- ALL WATER AND/OR SEWER FACILITIES LOCATED IN PRIVATE PROPERTY SHALL BE REMOVED AFTER ALL INSTALLED SERVICES FROM THEM HAVE BEEN TRANSFERRED TO THE ALREADY INSTALLED AND IN SERVICE NEW MAINS. ANY ASSOCIATED EXCLUSIVE EASEMENTS SHALL BE CLOSED AND RELEASED AFTER THE REMOVAL OF THE EXISTING WATER AND/OR SEWER FACILITIES.

SUNSHINE ONE-CALL
DESIGN TICKET NO.: 040306277



13944 S.W. 8 STREET, SUITE 211
MIAMI, FLORIDA 33184
PH. (786) 409-5548 FAX (786) 615-3688
CA NO.: 30247
ENRIQUE M. ZUNIGA, P.E. PE 38883

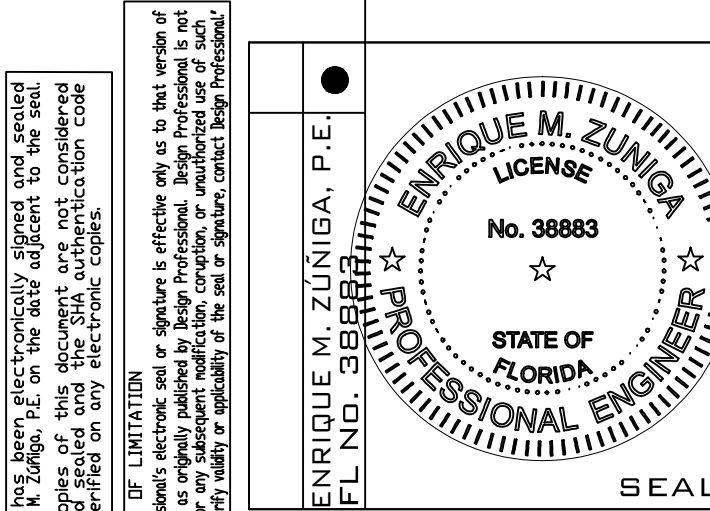
COLLECTION SUITES II

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	CNZ
DESIGNED BY:	FP
REVIEWED BY:	EMZ
PROJECT NO.	21-0033

REVISIONS
△ BUILDING DEPT. COMMENTS
△ BUILDING DEPT. COMMENTS
△ SFWMD COMMENTS
△ MDWASD COMMENTS



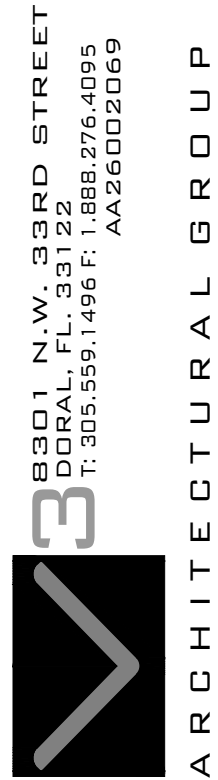
COVER SHEET

C-0

1 OF 11

CONSTRUCTION DOCUMENTS

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. No portion of this project for which these drawings and specifications were prepared is to be used in any manner or other project or endeavor in the future without the express written agreement of V3 Architectural Group, Inc. Reproduction of these drawings without the written consent of V3 Architectural Group, Inc. is prohibited.



GENERAL NOTES
(NOT PART OF M-WASD NOTES NOR APPROVAL)

- EXISTING TOPOGRAPHIC INFORMATION HAS BEEN OBTAINED FROM TOPOGRAPHIC SURVEY PERFORMED BY JORGE L. CABRERA DATED 04/10/2023.
- ELEVATIONS SHOWN ON THE DRAWINGS ARE IN FEET RELATIVE TO NATIONAL GEODETIC VERTICAL DATUM 29 (NGVD29) AND ARE BASED ON MIAMI-DADE COUNTY BENCHMARK REFERENCES.
BM N-3128-R
ELEVATION = 7.40' (NGVD29)
LOCATION 1: NW 58 ST ---- 70' NORTH OF C/L
LOCATION 2: NW 102 AVE ---- 19' EAST OF C/L
DESCRIPTION 1: PK NAIL AND ALUMINUM WASHER IN CONC SIDEWALK, 1.5' WEST OF FIRE HYDRANT
BM N-3129
ELEVATION = 8.46 FEET (NGVD 29)
LOCATION 1: NW 58 ST ---- SOUTH OF EXTENDED SOUTH EDGE OF PAVEMENT
LOCATION 2: NW 107 AVE ---- 27' EAST OF WEST EDGE OF PAVEMENT
DESCRIPTION 1: PK NAIL AND BRASS WASHER IN CONC MEDIAN
- BEARINGS ARE BASED/REFERRED TO AN ASSUMED MERIDIAN WHERE THE CENTERLINE OF NW 102ND AVENUE BEARS S 01° 42' 43" E, AS SHOWN ON PLAT BOOK 163, PAGE 99, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
- THE CONTRACTOR SHALL CONFIRM ALL HORIZONTAL AND VERTICAL CONTROL POINTS PRIOR TO START OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE OWNER'S ATTENTION.
- ALL PUBLIC LAND CORNERS, BENCH MARKS, MONUMENTS AND REFERENCE POINTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED BY THE CONTRACTOR DURING CONSTRUCTION. THE CONTRACTOR SHALL RETAIN A LAND SURVEYOR TO REFERENCE, AND RESTORE UPON COMPLETION OF WORK ALL SUCH CORNERS AND MONUMENTS AND SHALL FURNISH TO THE ENGINEER A SIGNED AND SEALED COPY OF THE LAND SURVEYOR'S REFERENCE DRAWING.
- IN ACCORDANCE WITH THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY-PANEL 120041 (CITY OF DORAL) 12086 C, 0278 L, FIRM DATE 09/11/2009 AND REVISED WITH AN EFFECTIVE DATE OF 09/11/2009, PUBLISHED BY THE UNITED STATES DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, DELINEATES THE HEREIN DESCRIBED PARCEL OF LAND TO BE SITUATED OUTSIDE THE SPECIAL FLOOD HAZARD AREA DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). SUBJECT PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHODS AND BY CAUTIOUS EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES. PRIOR TO BEGINNING ANY CONSTRUCTION OPERATION, ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS MUST BE RESOLVED BY THE ARCHITECT/ENGINEER AND THE OWNER.
- FORTY-EIGHT (48) HOURS PRIOR TO DIGGING, CONTRACTOR SHALL COORDINATE WITH ALL UTILITY SERVICE COMPANIES TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES. ADDITIONALLY, CONTRACTOR SHALL CONTACT SUNSHINE STATE ON CALL OF FLORIDA, INC. (1-800-432-4770) TO ASSURE THAT ALL UTILITIES HAVE BEEN IDENTIFIED.
- ANY EXISTING BUILDINGS, PAVEMENT OR OTHER EXISTING IMPROVEMENTS NOT SPECIFIED FOR REMOVAL WHICH ARE TEMPORARILY DAMAGED, EXPOSED OR IN ANY WAY DISTURBED BY CONSTRUCTION PERFORMED UNDER THIS CONTRACT, SHALL BE REPAIRED, PATCHED OR REPLACED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE SAFETY PRECAUTIONS DURING EXCAVATION AND TRENCHING OPERATIONS AS REQUIRED BY THE "TRENCH SAFETY ACT".
- CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH CURRENT SITE CONDITIONS AND NOTIFY ENGINEER WHEN CONFLICTS BETWEEN DRAWINGS AND ACTUAL CONDITIONS ARE DISCOVERED.
- ALL UNSUITABLE MATERIAL UNDER THE NEW STRUCTURES AND PAVEMENT SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS BEFORE PROCEEDING WITH CONSTRUCTION.
- FOR RELOCATION AND REMOVAL OF EXISTING LIGHT POLES, ELECTRICAL BOXES AND OTHER ELECTRICAL OR COMMUNICATIONS IMPROVEMENTS, SEE ELECTRICAL DRAWINGS.
- ALL SURFACE WATER MANAGEMENT CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF MIAMI-DADE RER AND SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
- CONTRACTOR IS TO PREVENT INTRODUCTION OF DEBRIS OR DIRT INTO EXISTING AND NEW STORM DRAINAGE SYSTEMS AS A RESULT OF CONSTRUCTION ACTIVITIES. ALL LINES AND STRUCTURES SHALL BE CLEANED PRIOR TO FINAL INSPECTION AND ACCEPTANCE. CONTRACTOR SHALL IMPLEMENT A STORM SEWER POLLUTION PREVENTION PLAN (SWPPP).
- CONTRACTOR SHALL ADJUST ALL EXISTING VALVE BOXES, CATCH BASIN GRATES, MANHOLE COVERS, ETC. TO MEET NEW GRADES WHERE APPLICABLE.
- ALL WATER SUPPLY AND SANITARY SEWER WORK ON THIS PROJECT, WILL BE IN STRICT ACCORDANCE WITH CITY OF MIAMI PUBLIC WORKS DEPARTMENT, M-DWASD, RER, CITY OF MIAMI FIRE DEPARTMENT AND DOH STANDARD SPECIFICATIONS REQUIREMENTS AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY THE INVERT ELEVATIONS OF THE EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION OF NEW SEWER, AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- FOR CONTINUATION OF WATER SUPPLY SYSTEM AND SEWER SYSTEM FROM APPROXIMATELY 5 FEET OUTSIDE THE BUILDING SEE PLUMBING DRAWINGS.
- WHERE NECESSARY TO DEFLECT PIPE EITHER HORIZONTALLY OR VERTICALLY, PIPE JOINT OPENING SHALL NOT EXCEED 50% OF THE MANUFACTURER'S RECOMMENDED OPENING.
- DIMENSIONS IN PAVED AREAS ARE TO EDGE OF ASPHALT OR CONCRETE PAVEMENT. GRADES REFER TO FINISH SURFACE ELEVATION.
- WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT. SAW CUT AT EXISTING PAVEMENT JOINT MATCHING TO NEW PAVEMENT.
- PAVEMENT REPAIRS SHALL BE "TYPE I" UNLESS OTHERWISE NOTED. CONCRETE CURB AND GUTTERS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PER MIAMI-DADE COUNTY PUBLIC WORKS MANUAL, PART 1 (STANDARD DETAIL: R14-1).
- THE CONTRACTOR SHALL PROVIDE ALL WARNING LIGHTS, SIGNALS, SIGNS AND FLAGPERSONS AS REQUIRED BY THE MIAMI-DADE COUNTY DEPARTMENT OF PUBLIC WORKS.



(NOT PART OF M-WASD NOTES NOR APPROVAL)
RER-DERM WATER-SEWER GENERAL NOTES

- A horizontal distance of at least 6 feet, and preferably 10 feet (outside to outside), shall be maintained between gravity or pressure sewer pipes and water pipes. The minimum horizontal separation can be reduced to 3 feet for vacuum-type sewers or for gravity sewers where the top of the sewer pipe is at least 6 inches below the bottom of the water pipe. When the above specified horizontal distance criteria cannot be met due to an existing underground facility conflict, smaller separations are allowed if one of the following is met:
 - The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
 - The sewer is encased in a watertight carrier pipe or concrete.
 - The top of the sewer is at least 18 inches below the bottom of the water pipe.
- A vertical distance of at least 12 inches (outside to outside) shall be maintained between any water and sewer mains with sewer pipes preferably crossing under water mains. The minimum vertical separation can be reduced to 6 inches for vacuum-type sewers or for gravity sewers where the sewer pipe is below the water main. The crossing shall be arranged so that all water main joints are at least 6 feet from all joints in gravity and pressure sewer pipes. This distance can be reduced to 3 feet for vacuum-type sewers. When the above specified vertical distance criteria cannot be met due to an existing underground facility conflict, smaller separations are allowed if one of the following is met:
 - The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
 - The sewer is encased in a watertight carrier pipe or concrete.
- Air release valves shall be provided at high points of new force main sanitary sewers.
- Gravity sanitary sewers constructed within a public wellfield protection area shall be C-900 PVC or Ductile Iron Pipe. The maximum allowable exfiltration rate of gravity sanitary sewers constructed in a public wellfield protection area shall be:
 - Residential Land Uses. Fifty (50) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe.
 - Non-Residential Land Uses. Twenty (20) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe.
 - Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
- The maximum allowable exfiltration rate of gravity sanitary sewers constructed outside a public wellfield protection area shall be one hundred (100) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe. Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
- Forcemain sanitary sewers constructed within a public wellfield protection area shall be ductile iron, C-900 PVC, HDPE or reinforced concrete pressure sewer pipes.
- The maximum allowable exfiltration/leakage rate of forcemain sanitary sewers shall be:
 - Ductile Iron, C-900 PVC, HDPE and PVC Pipe. The allowable leakage rate specified in American Water Works Association Standard (AWWAS) C600-82 at a test pressure of 100 psi for a duration of not less than two (2) hours.
 - Reinforced Concrete Pressure Pipe. Half (1/2) the allowable leakage rate specified in AWWA C600-82 at a test pressure of 100 psi for a duration of not less than two (2) hours.
 - Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
- The contractor shall verify nature, depth, and character of existing underground utilities prior to start of construction.
- In no case shall a contractor install utility pipes, conduits, cables, etc. in the same trench above an existing water or sewer pipe except where they cross.
- If any area of the work site is found to contain buried solid waste and/or ground or ground water contamination, the following shall apply:
 - All work in the area shall follow all applicable safety requirements (e.g., OSHA, etc.) and notification must be provided to the appropriate agencies.
 - Immediately notify the Environmental Monitoring and Restoration Division (EMRD). The EMRD can be contacted at (305) 372-6700.
 - If contaminated soils and/or buried solid waste material is excavated during construction, then they require proper handling and disposal in accordance with the local, state and federal regulations. Be advised that the landfill owner/operator is the final authority on disposal and may have requirements beyond those provided by herein. If disposal within a Miami-Dade County owned landfill (Class I landfill) is appropriate and selected, please contact the Miami-Dade County Department of Solid Waste Management at (305) 594-6666 for information.
 - The reuse of contaminated soils that are not returned to the original excavation requires prior approval of a Soil Management Plan from the Environmental Monitoring and Restoration Division. The EMRD can be contacted at (305) 372-6700.
- Pumps must comply with the National Electrical Code (NEC) requirements for Class I, Group D, Division 1 locations (Explosion Proof).
- The contractor is advising that a Tree Removal/Relocation Permit may be required prior to the removal and/or relocation of tree resources. Prior to removing or relocating any trees, the Contractor shall notify the Tree and Forest Resources Section of DERM at (305) 372-6574 or via e-mail at: tfrs@miamidade.gov, or contact the municipality with tree ordinance jurisdiction to obtain any required permits. Those trees not interfering with the construction shall be protected in place in accordance with the provisions of Section 24-49.5 of the Miami-Dade Code.
- Please note that the demolition, removal, and/or disturbance of existing underground utilities that contain asbestos-cement pipes (ACP) are subject to the provisions of 40 CFR-61 Subpart M. Therefore, pursuant to the provisions of 40 CFR-61-145, a NOTICE OF DEMOLITION OR ASBESTOS RENOVATION form must be filed with the Air Quality Management Division (AQMD) of DERM, at least ten (10) working days prior to starting of any work. Note that the backfilling and burial of crushed ACP would cause these locations to be considered active disposal sites and subject to 40 CFR-61.154, and 40 CFR-61.151 a year after project completion. Existing standard operating procedures, as well as applicable federal, state and local regulatory criteria, must be followed and implemented to minimize any potential release of fugitive emissions, especially during project construction activities. The AQMD can be contacted via email at asbestos@miamidade.gov or 305-372-6925.

Rev. 4/30/2018

p:\pollution regulation\delagated air permitting\sew-conc_extensions\sewer_extensions\forms and packages\air application package\air permit package\package march-2017\rer-derm-notes official last one-revised\2018-04-29.doc

SYMBOLS

DESCRIPTION	EXISTING	PROPOSED
RIGHT OF WAY LINE	----	----
LIMITED ACCESS RIGHT OF WAY LINE	----	----
PROPERTY LINE	----	----
EASEMENTS	----	----
ELEVATION	X 6.00	X 7.50
CHAIN-LINK FENCE	X-X-X-X	X-X-X-X
SIGN	⌒	⌒
GUY ANCHOR	⌒	⌒
UTILITY LESS THAN 16" DIA.	----	----
UTILITY 16" OR MORE DIA.	----	----
GATE VALVE	⌒	⌒
FIRE HYDRANT	⌒	⌒
SANITARY MANHOLE	⊙	⊙ C.O.
CLEAN OUT	⊙	⊙
CATCH BASIN	⊙	⊙
DRAINAGE MANHOLE	⊙	⊙
MANHOLE	⊙	⊙
ELECTRICAL MANHOLE	⊙	⊙
SANITARY SEWER	SS	DF
SILT BARRIER	----	----
SLOPE	Y Y	Y Y
RIP-RAP HEADWALL	⌒	⌒
TRAFFIC SIGN	⌒	⌒
WATER MAIN	W	DF
FRENCH DRAIN	----	----

HEALTH DEPARTMENT NOTES
(NOT A PART OF M-DWASD NOTES OR APPROVAL)

WATER MAIN HORIZONTAL SEPARATIONS

SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE BETWEEN WATER MAINS AND, STORM SEWERS, STORMWATER FORCE MAINS, OR RECLAIMED WATER LINES. SHALL BE 3 FT. MINIMUM.

BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT. AND AT LEAST 3 FT. MINIMUM.

GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY PREFERABLY 10 FT. AND AT LEAST 6 FT. MAY BE REDUCED TO 3 FT. WHERE BOTTOM OF WATER MAINS IS AT LEAST 6" ABOVE TOP OF SEWER.

10 FT. TO ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.

WATER MAIN VERTICAL SEPARATIONS

SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PHEFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE OR AT LEAST 12 INCHES IF BELOW.

PRESSURE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAINS, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.

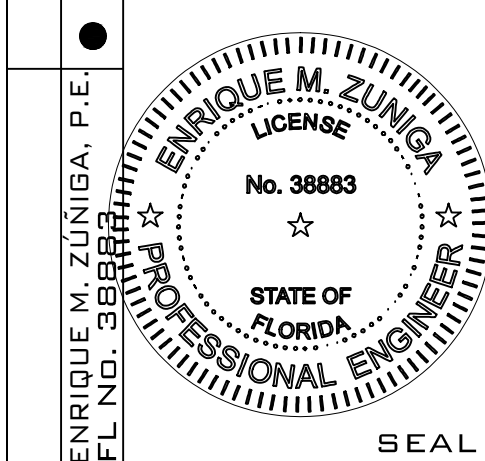
* NOTE: CENTER 1-FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS. AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER.

ABBREVIATIONS

ARCH = ARCHITECTURAL	N = NORTH
ASPH = ASPHALT	NE = NORTH EAST
AC = ASPHALTIC CONCRETE	NW = NORTH WEST
AVE = AVENUE	NGVD = NATIONAL GEODETIC VERTICAL DATUM
BL = BASELINE	NIC = NOT IN CONTRACT
BM = BENCHMARK	NTS = NOT TO SCALE
BLK = BLOCK	No = NUMBER
BOT = BOTTOM	OC = ON CENTER
BLDG = BUILDING	OH = OVERHEAD
OP = CAST IRON PIPE	PVMT = PAVEMENT
CB = CATCH BASIN	(P) = PER PLAT
C/L = CENTERLINE	PERF = PERFORATED
CLF = CHAIN LINK FENCE	PC = POINT OF CURVATURE
CO = CLEAN OUT	PT = POINT OF TANGENCY
C.B.S. = CONCRETE BLOCK STRUCTURE	PEP = POLYETHYLENE PIPE
CONC. = CONCRETE	PVC = POLYVINYL CHLORIDE
CONST. = CONSTRUCTION	PIV = POST INDICATOR VALVE
OMP = CORRUGATED METAL PIPE	P/L = PROPERTY LINE
CRB = CURB	PROP. = PROPOSED
CT = COURT	RAD = RADIUS
DET = DETAIL	ROP = REINFORCED CONCRETE PIPE
DIA = DIAMETER	REIN = REINFORCING
DIM = DIMENSION	ROW, R/W = RIGHT OF WAY
DWG = DRAWING	RD = ROOF DRAIN
DIP = DUCTILE IRON PIPE	FM = SANITARY FORCE MAIN
EA = EACH	SAN, SS = SANITARY SEWER LINE
ESMT = EASEMENT	SECT = SECTION
E = EAST	SHLDR = SHOULDER
EOP = EDGE OF PAVEMENT	SDWK, SWK = SIDEWALK
EL, ELEV = ELEVATION	S = SOUTH
EXST'G = EXISTING	SE = SOUTH EAST
FIN = FINISH	SW = SOUTH WEST
FG = FINISH GRADE	SPEC = SPECIFICATION
FFE = FINISHED FLOOR ELEVATION	STA = STATION
F.H. = FIRE HYDRANT	ST12 = STORAGE TRACK
FLR = FLOOR	SWL = SWALE
FT = FOOT/FEET	TAN = TANGENT
FDC = FIRE DEPARTMENT CONNECTION	△ = CENTRAL ANGLE
FND = FOUND	L = ARC LENGTH
GSP = GALVANIZED STEEL PIPE	TS = TAPPING SLEEVE
GV = GATE VALVE	TV = TAPPING VALVE
GRD = GRADE	TEL = TELEPHONE LINE
GRS = GRASS	TEMP = TEMPORARY
GTR = GUTTER	TOC = TOP OF CONCRETE
HDPE = HIGH DENSITY POLYETHYLENE PIPE	TOG = TOP OF GRADE
INV = INVERT	TOP = TOP OF PIPE
JB = JUNCTION BOX	WM = WATER MIAN
LP = LIGHT POST	WWF = WELDED WIRE FABRIC
MH = MANHOLE	W = WEST
MAX = MAXIMUM	W/ = WITH
MTR = METER	W/O = WITHOUT
MBOX = METER BOX	WP = WOOD POLE
MIN = MINIMUM	
MW = MAINTENANCE OF WAY	

DATE:	11.15.22
DRAWN BY:	CNZ
DESIGNED BY:	FP
REVIEWED BY:	EMZ
PROJECT NO.	21-0033

REVISIONS
BUILDING DEPT. COMMENTS
BUILDING DEPT. COMMENTS
SFWMD COMMENTS
MDWASD COMMENTS



GENERAL CIVIL NOTES

Sunshine 811
SUNSHINE811.COM
Two full business days before digging, call 811 or visit mysunshine811.com to request utility locates. Sunshine 811 utility members respond to your request. Remember to compare utility responses to the marks at site to determine if it's safe to dig.
Know what's below. 811 before you dig.

305 CONSULTING ENGINEERS LLC
ENGINEERS • PLANNERS
13944 S.W. 8 STREET, SUITE 211
MIAMI, FLORIDA 33184
PH. (786) 409-5548 FAX (786) 615-3688
CA NO.: 30247
ENRIQUE M. ZUNIGA, P.E. PE 38883

GENERAL NOTES
(NOT PART OF M-WASD NOTES NOR APPROVAL)

- HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE OWNER'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
- EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- REFERENCE SHALL BE MADE TO THE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATIONS, SIZE AND DETAILS OF ALL UTILITY SERVICES TO THE BUILDING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON DRAWINGS OR NOT.
- EXISTING TOPOGRAPHIC INFORMATION HAS BEEN OBTAINED FROM TOPOGRAPHIC SURVEY PERFORMED BY JORGE L. CABRERA DATED 04/10/2023.

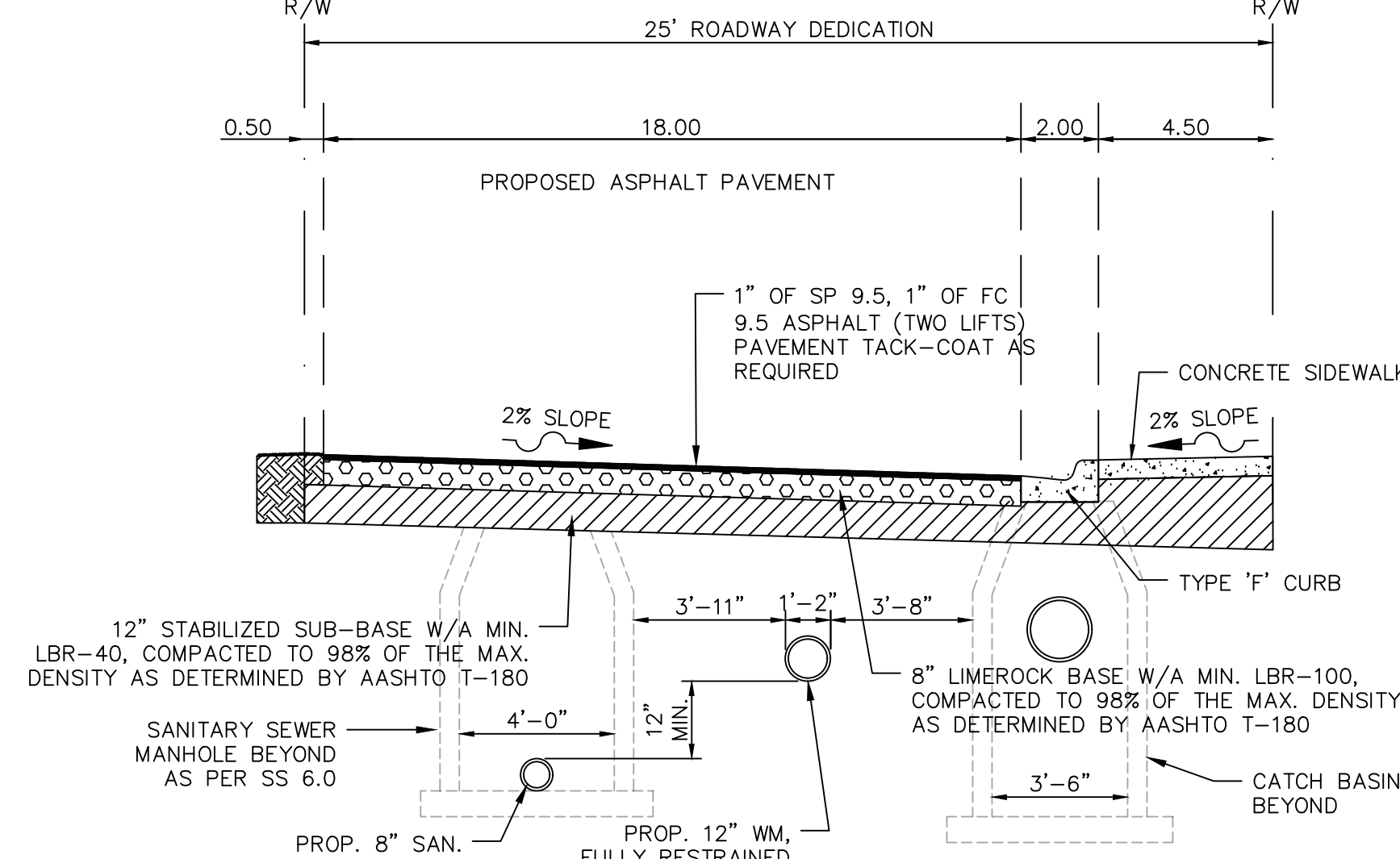
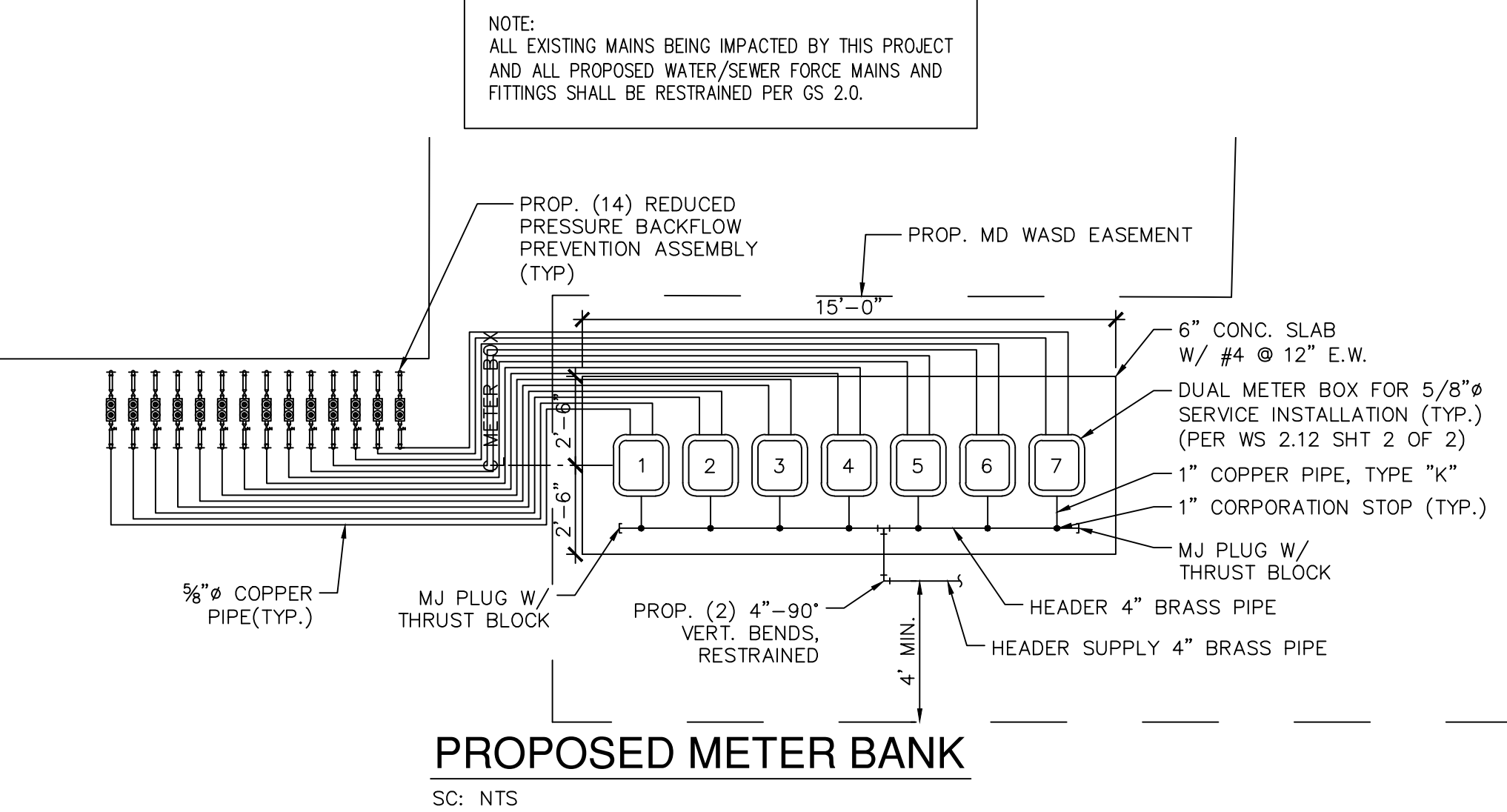
STRIPING AND SIGNAGE NOTES
(NOT PART OF M-WASD NOTES NOR APPROVAL)

- ALL STRIPING IN PARKING AREAS SHALL BE THERMOPLASTIC WITH A MIXTURE OF 50 PERCENT GLASS SPHERES AND 50 PERCENT SHARP SILICA SAND APPLIED AT A RATE OF 0.20 PSF IN ACCORDANCE WITH FOOT SECTION 711.
- ALL ON-SITE STRIPING APPLIED TO CONCRETE PAVEMENTS SHALL BE TRAFFIC PAINT IN ACCORDANCE WITH FOOT SECTION 710.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH "THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- SIGN POSTS LEADING TO PUBLIC RIGHT-OF-WAY SHALL BE STEEL CHANNEL IN ACCORDANCE WITH COUNTY PUBLIC WORKS DEPARTMENT STANDARDS AND SHALL BE BREAK-AWAY.
- STOP SIGNS SHALL BE MOUNTED 7' CLEAR FROM SIGN BOTTOM TO GRADE. WHERE INDICATED, ADDITIONAL SIGNAGE SHALL BE REQUIRED BELOW STOP SIGN.
- PROVIDE REFLECTIVE PAVEMENT MARKERS, AS MOUNTED BY COUNTY PUBLIC WORKS DEPARTMENT.

ADA COMPLIANCE NOTES
(NOT PART OF M-WASD NOTES NOR APPROVAL)

- THIS SET OF DOCUMENTS HAS BEEN DESIGNED TO COMPLY WITH 2020 FLORIDA ACCESSIBILITY CODE, FLORIDA BUILDING CODE 7TH EDITION (2020), LATEST EDITION. ALL RELATED SECTIONS OF THE CODE ARE NOTED WITHIN THESE DOCUMENTS AND STRICT COMPLIANCE IS REQUIRED BY ALL CONSTRUCTION TRADES. CONSTRUCTION QUALITY AND COMPLIANCE OF THE FINAL PRODUCT ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ACCESSIBLE ROUTES MUST NOT EXCEED A SLOPE OF 1:20 (5.00%). CURB RAMPS AND RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.33%). RAMPS THAT EXCEED 6 FEET IN LENGTH REQUIRE HANDRAILS. ALL CROSS SLOPES MUST NOT EXCEED A SLOPE OF 1:50 (2.00%).

ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NGVD 1929

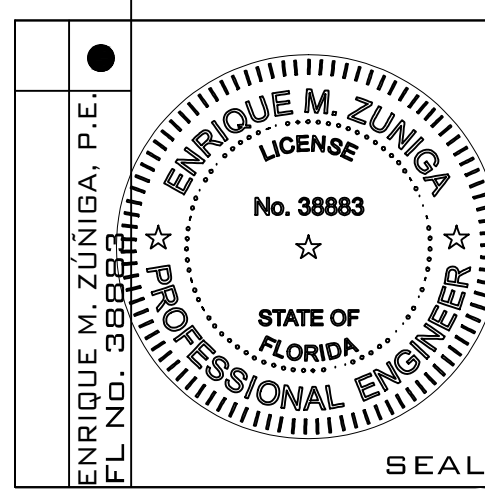


COLLECTION SUITES II

5990 N.W. 102ND AVENUE
DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	CNZ
DESIGNED BY:	FP
REVIEWED BY:	EMZ
PROJECT NO.:	21-0033

REVISIONS	BUILDING DEPT. COMMENTS
1	BUILDING DEPT. COMMENTS
2	SFWM COMMENTS
3	MDWASD COMMENTS



LAYOUT PLAN

C-2
3 OF 11
CONSTRUCTION DOCUMENTS

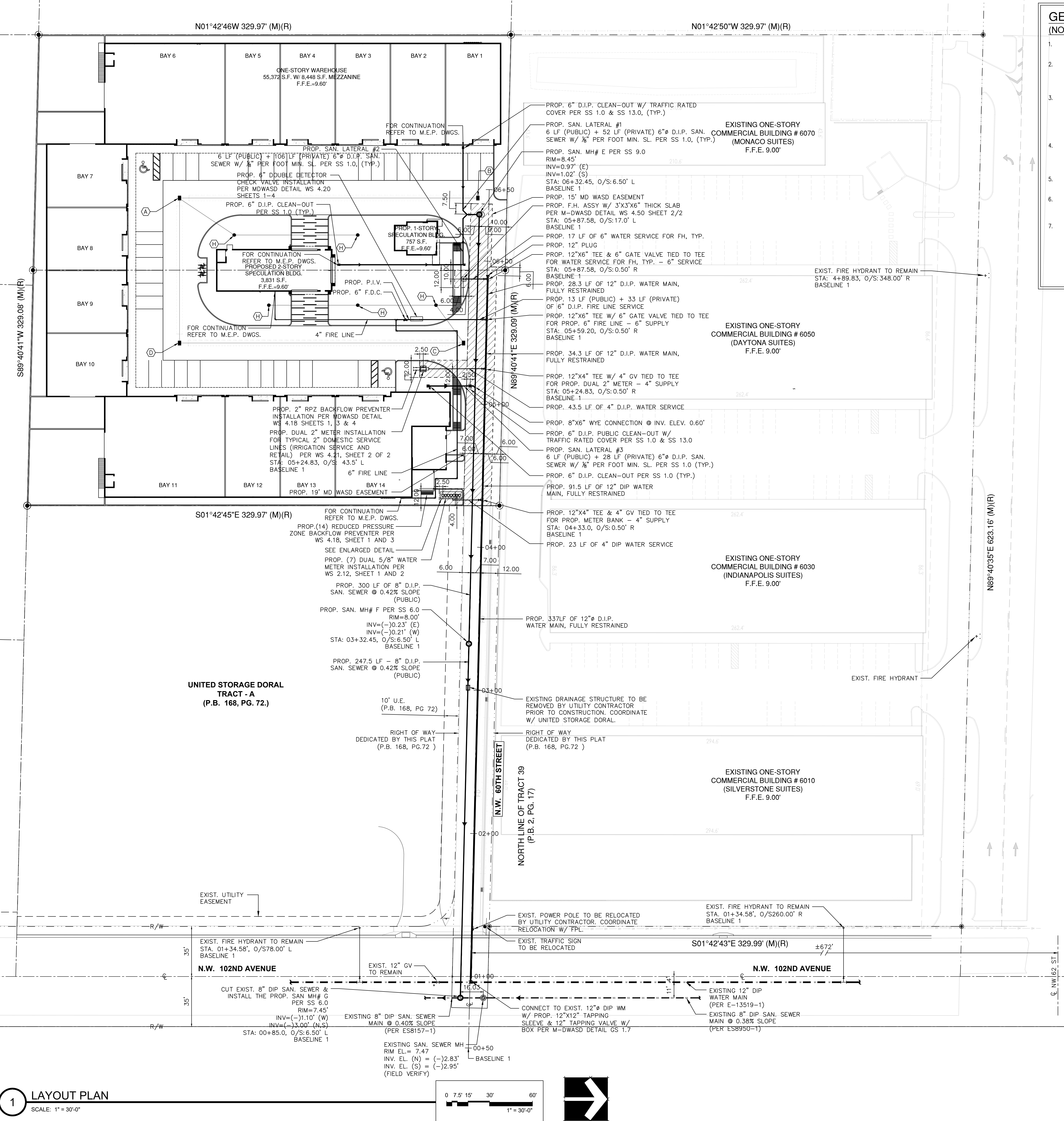
Sunshine 811
SUNSHINE811.COM

Two full business days before digging, call 811 or visit my.sunshine811.com to request utility locations. Sunshine 811 utility members respond to your request. Remember to compare utility responses to the marks at site to determine if it's safe to dig.

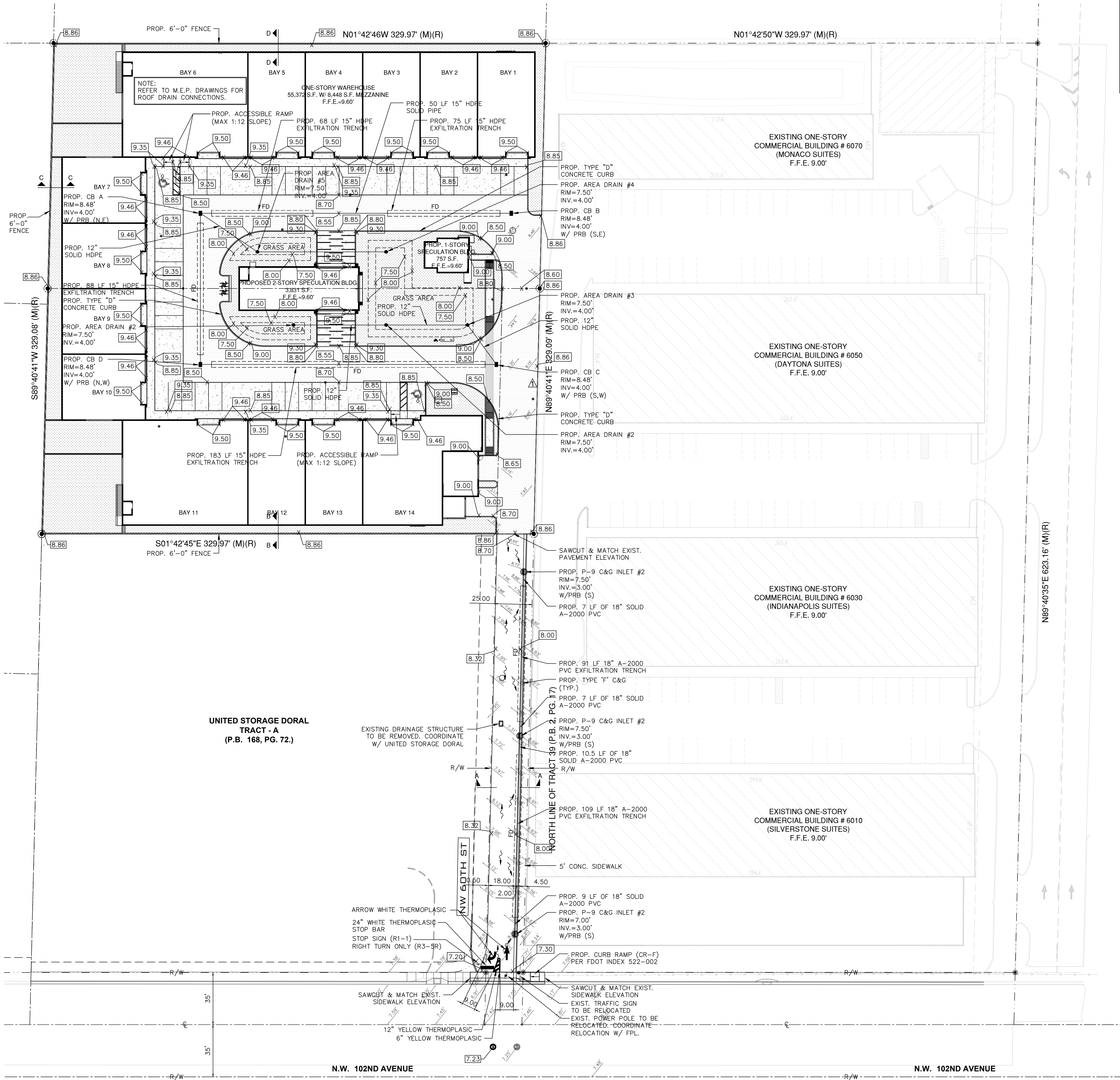
Know what's below. 811 before you dig.

305 CONSULTING ENGINEERS LLC
ENGINEERS • PLANNERS

13944 S.W. 8 STREET, SUITE 211
MIAMI, FLORIDA 33184
PH. (786) 409-5548 FAX (786) 615-3688
CA NO.: 30247
ENRIQUE M. ZUNIGA, P.E. PE 38883



1 LAYOUT PLAN
SCALE: 1" = 30'-0"



FLOOD PLAIN MANAGEMENT ANALYSIS

Process # : _____	Folio # : <u>35-3017-001-0394</u>		
Address : <u>5990 NW 102 AVE</u> Highest crown of road elevation: <u>7.81</u>			
Highest crown of road elevation above was taken from a certified survey prepared by <u>JORGE L. CABRERA</u> PLS Lic. # : <u>6487</u>			
Elevation	Lowest Floor	Adjacent Grade	Lowest Catch Basin
Existing	—	8.30	—
Proposed	9.60	8.30	7.65

LEGEND

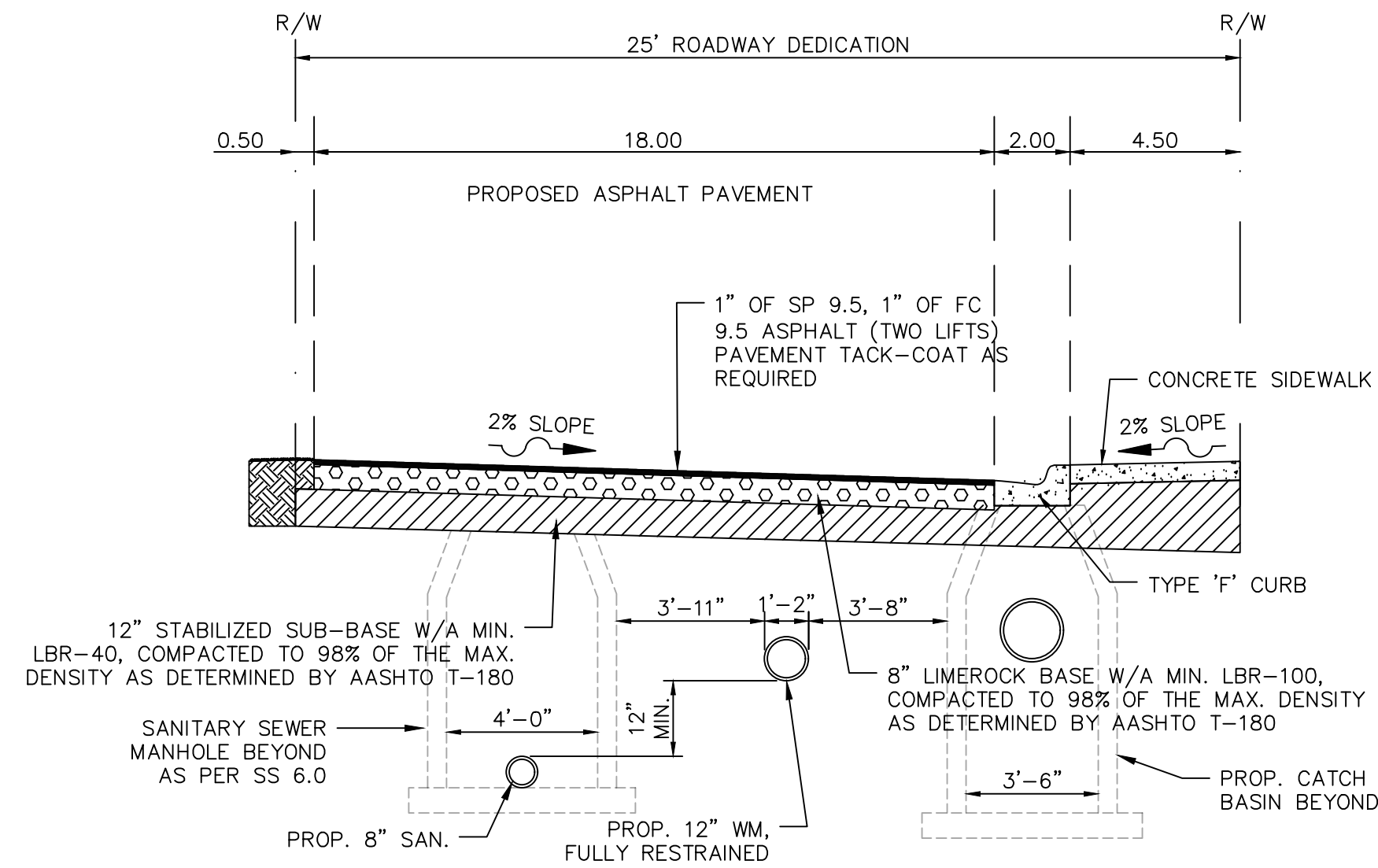
	DENOTES SOLAR REFLECTED CONCRETE
	DENOTES ASPHALT PAVEMENT
	DENOTES GRASS
	DENOTES STAMPED ASPHALT PATTERN
	EXISTING SPOT ELEVATION (SEE SURVEY FOR ADDITIONAL INFORMATION)
	NEW SPOT ELEVATION
	NEW STRUCTURE I.D.
	NEW CATCH BASIN
	NEW FRENCH DRAIN

SIGN LEGEND

R1-1	30" X 30" STOP SIGN
R3-5(R)	30" X 36" RIGHT TURN ONLY SIGN

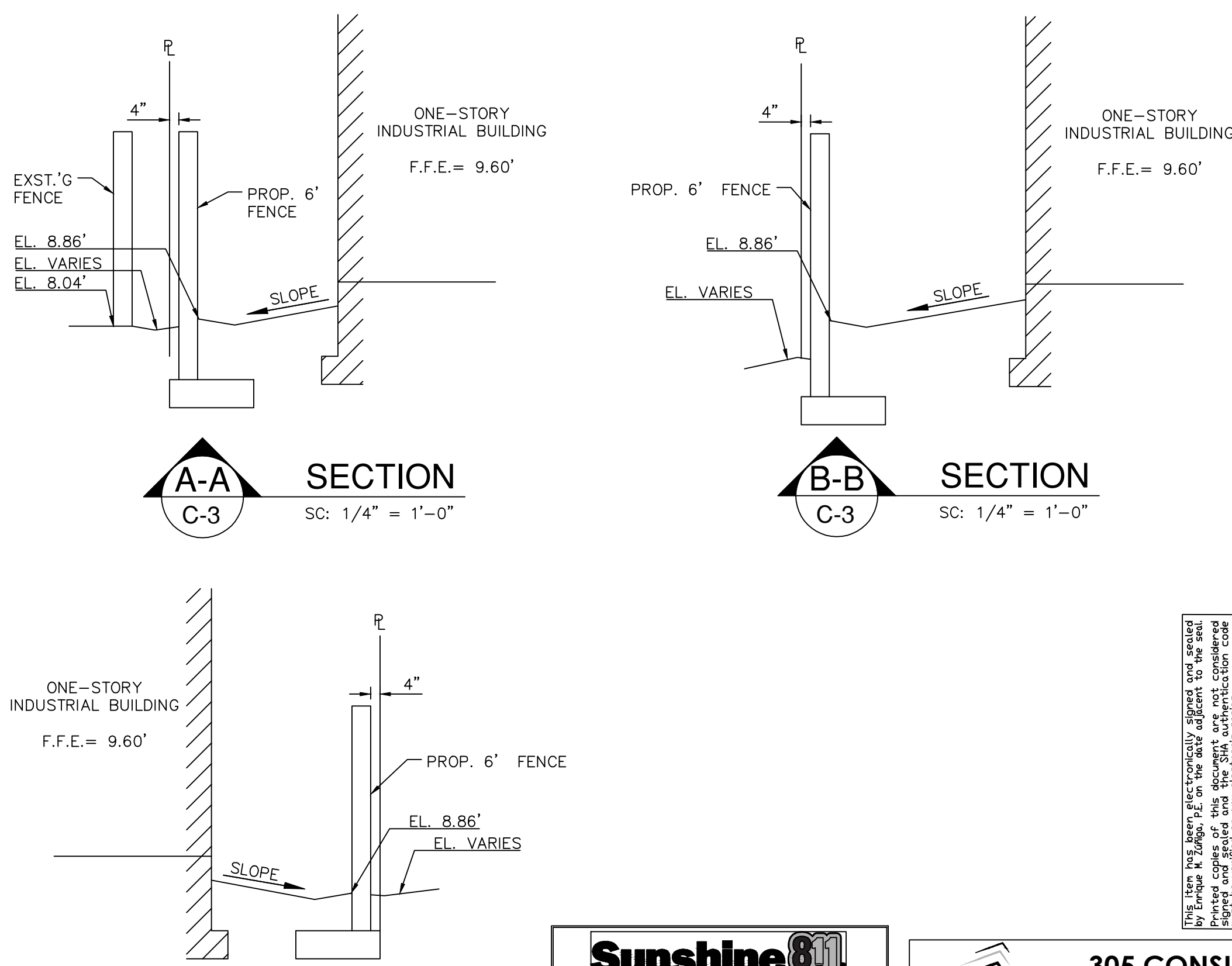
PAVING, GRADING AND DRAINAGE NOTES

- GRADING SHALL CONSIST OF ALL EXCAVATION, FILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL SUBGRADES, SHOULDERS, SLOPES, INTERSECTIONS, PAVEMENTS AND OTHER AREAS, ALL IN ACCORDANCE WITH THE ALIGNMENT AND GRADES SHOWN IN THESE DRAWINGS.
- DRAINAGE STRUCTURES SHALL BE AS DETAILED IN THESE DRAWINGS. DRAINAGE PIPE TO BE CORRUGATED POLYETHYLENE, CORRUGATED ALUMINUM OR BITUMINOUS COATED CORRUGATED STEEL.
- TRENCH DRAIN SHALL BE PREFABRICATED CONCRETE TROUGH W/ TRAFFIC BEARING CAST IRON GRATE BY ZURN, OR APPROVED EQUAL.
- SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- ASPHALTIC PAVEMENTS SHALL CONSIST OF COMPACTED SUBGRADE, COMPACTED LIMEROCK SUBBASE AND TYPE 5-3 ASPHALTIC CONCRETE, AS SHOWN IN THESE DRAWINGS.
- CONCRETE CURB, SIDEWALK, AND SLABS SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE, AS SHOWN IN THESE DRAWINGS.
- ALL REINFORCING, ALL SIZES, SHALL CONFORM TO ASTM A615, GRADE 60.
- ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH, UNLESS OTHERWISE DIRECTED.
- AN INDEPENDENT TESTING LABORATORY SHALL BE RETAINED BY MIAMI-DADE COUNTY TO VERIFY SPECIFIED COMPACTION DENSITY AND CONCRETE STRENGTH. FAILURE OF ANY TESTING TO MEET SPECIFIED REQUIREMENTS SHALL BE DEEMED NON-COMPLYING. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED TESTING WITH THE TESTING COMPANY.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MINIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO BUILDING ENTRANCE MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- IN CASE THAT A NEW SIDEWALK WILL BE RECONSTRUCTED IN THE RIGHT OF WAY OF A SITE, THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSSWALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSSWALK.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS ARE BUILT CORRECTLY.
- ANY REQUIREMENTS LISTED ABOVE THAT CANNOT BE MET SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON-COMPLIANT AREAS AT THE CONTRACTOR'S COST.



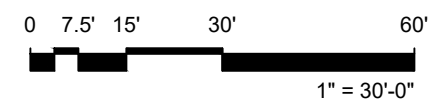
TYPICAL ROADWAY SECTION A-A

SC: N.T.S. (NOT PART OF M-WASD NOTES NOR APPROVAL)



PAVING, GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'-0"



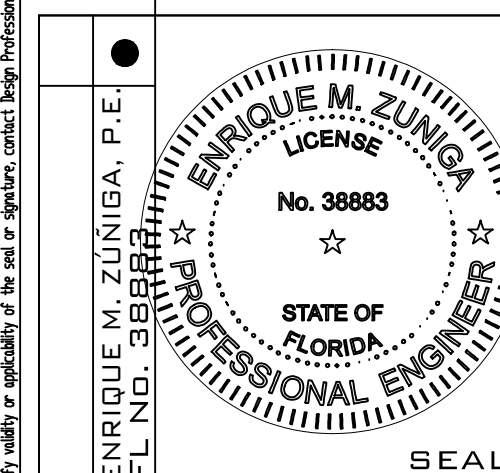
COLLECTION SUITES II

5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

DATE:	11.15.22
DRAWN BY:	CNZ
DESIGNED BY:	FP
REVIEWED BY:	EMZ
PROJECT NO.:	21-0033

REVISIONS	BUILDING DEPT. COMMENTS
	BUILDING DEPT. COMMENTS
	SFWMD COMMENTS
	MDWASD COMMENTS



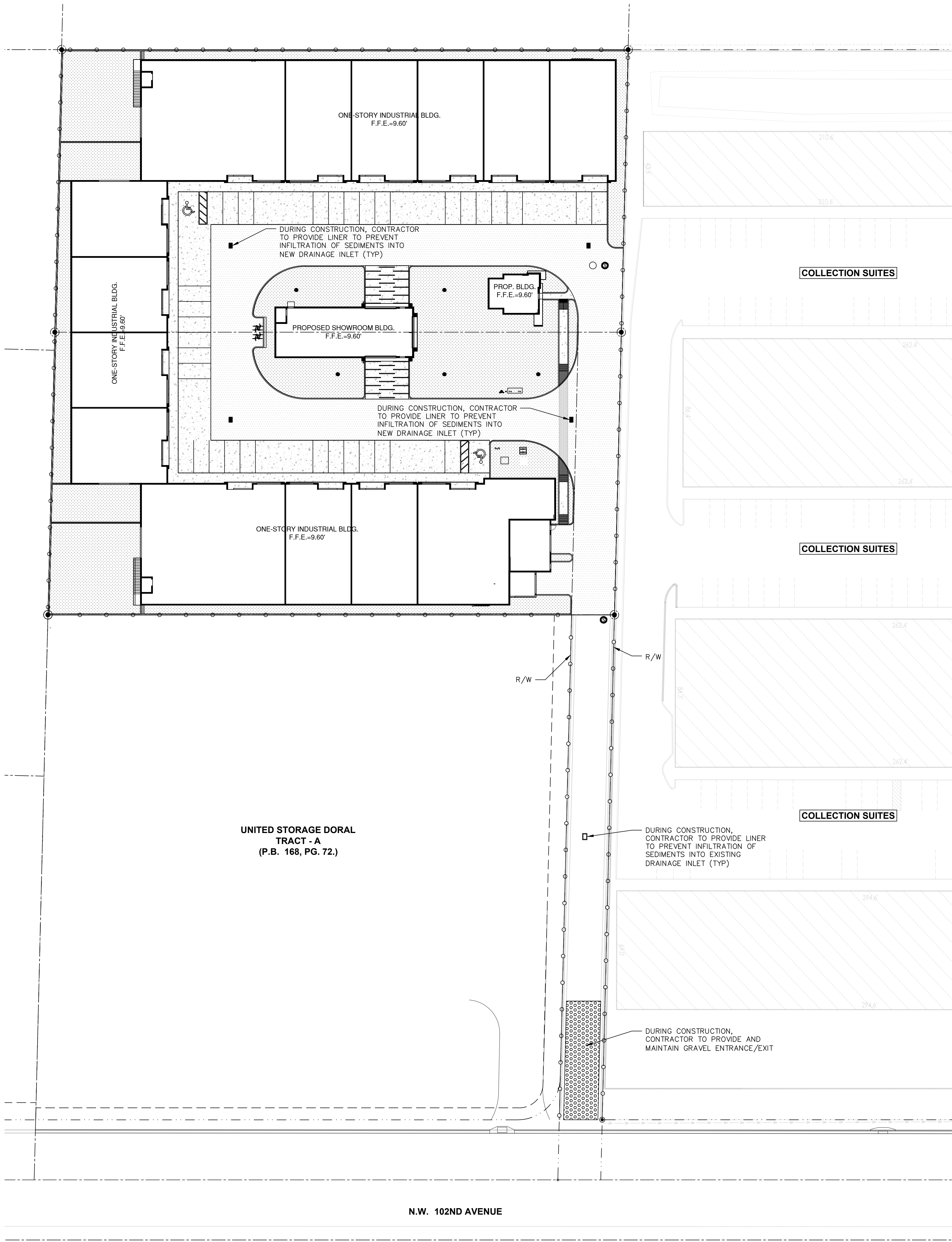
PAVING, GRADING & DRAINAGE

C-3

4 OF 11
CONSTRUCTION DOCUMENTS







1.0 SITE DESCRIPTION

1.A. NATURE OF CONSTRUCTION ACTIVITY:

THE PLAN DELINEATED IN THIS SWPPP IS FOR CONSTRUCTION ACTIVITIES WITHIN THE PROPOSED AREA. THE PROJECT INCLUDES EXCAVATION, DRAINAGE IMPROVEMENTS AND A PAVED PARKING LOT.

1.B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF MAJOR ACTIVITIES DESCRIBED BELOW, UNLESS THE CONTRACTOR PROPOSES A DIFFERENT SEQUENCE THAT IS THE EQUAL OR BETTER AT CONTROLLING EROSION AND TRAPPING SEDIMENT AND IS APPROVED BY THE ENGINEER.

INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS AFTER CLEARING AND GRUBBING NECESSARY FOR INSTALLATION OF CONTROLS BUT BEFORE CLEARING AND GRUBBING OTHER AREAS OF THE SITE.

A. CLEARING AND GRUBBING.

B. INSTALLATION OF NEW UTILITIES AS REQUIRED.

C. CONSTRUCTION OF PAVED AREAS AND INSTALLATION OF PAVEMENT MARKING.

D. SITE CLEANING.

1.C. AREA ESTIMATES

SITE AREA: 2.49 ac.

1.D. SITE MAP

THE CONSTRUCTION PLANS ARE BEING USED AS THE SITE MAPS. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW.

* AREAS OF SOIL DISTURBANCE: THE LIMITS OF SOIL DISTURBANCE ARE SHOWN ON THE PLAN SHEETS.

* AREAS NOT TO BE DISTURBED: AREAS OUTSIDE OF PROPOSED CONSTRUCTION.

* LOCATIONS OF TEMPORARY CONTROLS: ROCK BAGS OR SILT FENCES WILL BE LOCATED AROUND ALL EXISTING INLETS; SILT BARRIER WILL BE LOCATED ALONG EAST AND NORTH EDGE OF PROPERTY.

* SURFACE WATERS: NONE

* WETLAND AREAS: NONE

* AREAS TO BE STABILIZED: NONE

2.0 CONTROLS

2.A. EROSION AND SEDIMENT CONTROLS:

THE CONTRACTOR MAY CHOOSE TO ACCEPT THE FOLLOWING GUIDELINES OR MODIFY THEM SUBJECT TO APPROVAL OF THE ENGINEER. AS WORK PROGRESSES, THE CONTRACTOR SHALL MODIFY THE PLAN TO ADAPT TO SEASONAL VARIATION, CHANGES IN CONSTRUCTION ACTIVITIES AND THE NEED FOR BETTER PRACTICES. TO LIMIT THE TRANSPORT OF SEDIMENT FROM THE CONSTRUCTION AREA, THE CONTRACTOR SHALL MINIMIZE THE SOIL AREAS EXPOSED AT ANY GIVEN TIME AND SHALL STABILIZE AREAS THAT WILL REMAIN IDLE FOR MORE THAN 7 DAYS. THE CONTRACTOR SHALL UTILIZE GRADING TECHNIQUES TO DIRECT RUNOFF TO AREAS WITH THE PROPER EROSION CONTROL FEATURES INSTALLED AND AWAY FROM OPEN WATER OR OTHER SENSITIVE AREAS ADJACENT TO THE WORK SITE.

2.A.1 STABILIZATION PRACTICES:

THE CONTRACTOR SHALL INITIATE ALL STABILIZATION MEASURES AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 14 DAYS. IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED THE STABILIZATION PRACTICES PROPOSED BY THE CONTRACTOR SHALL INCLUDE AT LEAST THE FOLLOWING:

PERMANENT:

* ASPHALT OR CONCRETE SURFACE.

* SOD IN ACCORDANCE WITH STANDARD TECHNICAL SPECIFICATIONS

2.A.2 STRUCTURAL PRACTICES:

ALL SEDIMENTS CONTROLS SHALL BE IN PLACE BEFORE ANY SOIL DISTURBING ACTIVITY UPSTREAM OF THE CONTROL. THE STRUCTURAL PRACTICES PROPOSED BY THE CONTRACTOR SHALL INCLUDE AT LEAST THE FOLLOWING:

TEMPORARY:

* ROCK BAGS IN ACCORDANCE WITH FDOT DESIGN STANDARD 102 AND FDOT SPECIFICATION SECTION 104.

* TURBIDITY BARRIER IN ACCORDANCE WITH FDOT DESIGN STANDARD 103 AND FDOT SPECIFICATION SECTION 104

PERMANENT:

* DRAINAGE STRUCTURES

* SOD

2.B. STORM WATER MANAGEMENT:

DRAINAGE PATTERNS AND DIVIDES ARE NOT EXPECTED TO CHANGE.

2.C. OTHER CONTROLS:

THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING BY INSTITUTING A CLEAN, ORDERLY CONSTRUCTION SITE; THE FOLLOWING CONTROLS SHALL BE IMPLEMENTED TO FURTHER REDUCE POLLUTION AT THE PROJECT SITE:

2.C.1. DISCHARGE OF MATERIAL TO SURFACE WATERS:

NO CONSTRUCTION MATERIAL SHALL BE DISCHARGE TO WATERS OF THE STATE PERMIT AND/OR CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN AN APPROVED UPLAND LOCATION. BUILDING MATERIAL SHALL NOT BE DISPOSED OF IN WETLANDS OR BURIED ON-SITE. THE PROPOSED CONTROL METHODS SHALL INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER.

* PROVIDE LITTER CONTROL AND COLLECTION WITHIN THE PROJECT LIMITS DURING CONSTRUCTION ACTIVITIES.

* DISPOSE OF ALL FERTILIZER OR OTHER CHEMICAL CONTAINERS ACCORDING TO EPA'S STANDARD PRACTICES AS DETAILED BY THE MANUFACTURER.

* DISPOSE OF SOLID MATERIALS INCLUDING BUILDING AND CONSTRUCTION MATERIALS OFF THE PROJECT SITE BUT NOT IN SURFACE WATERS OR WETLANDS.

2.C.2. OFF-SITE VEHICLE TRACKING AND DUST CONTROL:

THE CONTRACTOR SHALL TAKE MEASURES TO INSURE THE CLEANUP OF THE SEDIMENTS THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORM WATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS.

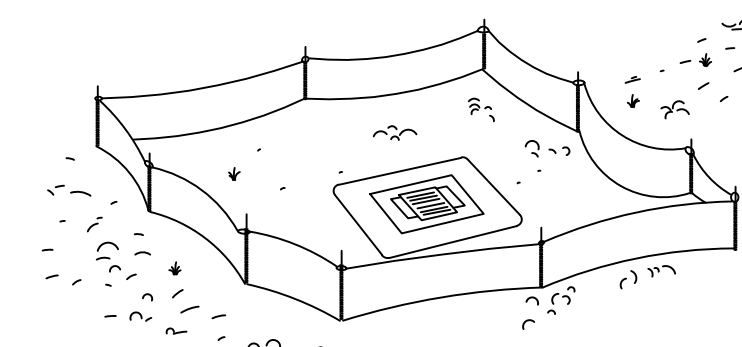
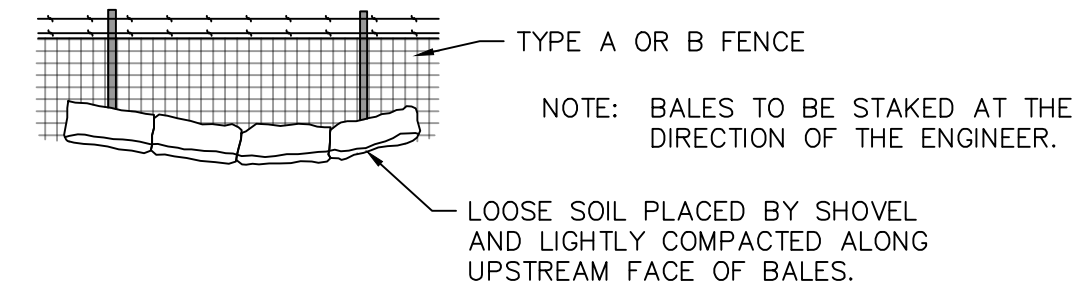
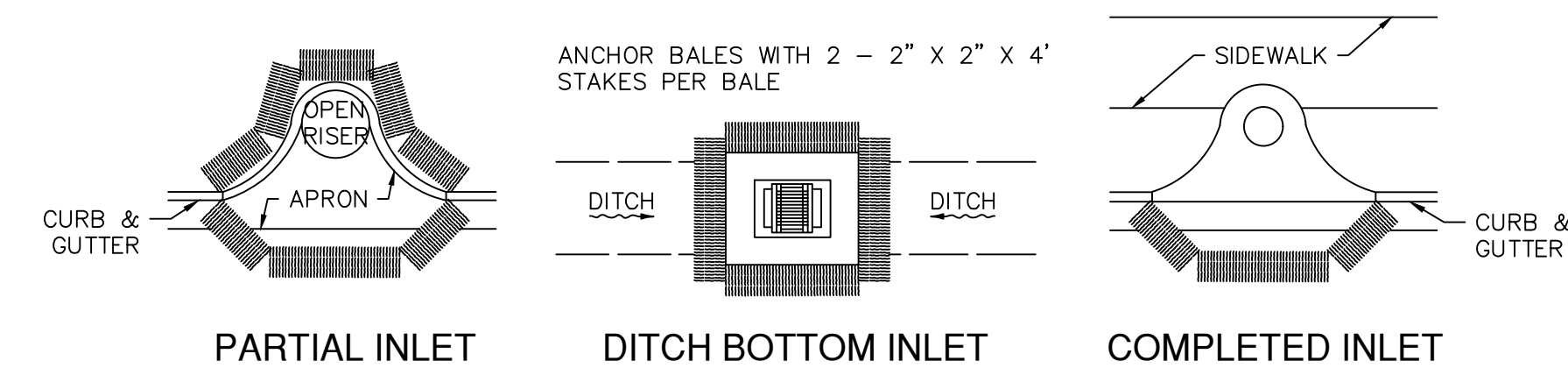
STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFF-SITE TRACKING. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPAULIN. EXCESS DIRT ON THE ROAD SHALL BE REMOVED DAILY.

2.C.3. WASTE DISPOSAL, SANITARY SEWER OR SEPTIC TANK REGULATIONS:

THE CONTRACTOR SHALL DEMONSTRATE THE PROPER DISPOSAL OF ALL CONSTRUCTION WASTE GENERATED WITHIN THE PROJECT LIMITS. WASTE MAY INCLUDE, BUT NOT LIMITED TO, VEGETATION FROM CLEANING AND GRUBBING ACTIVITIES, PACKAGING MATERIAL, SCRAP BUILDING MATERIAL, LITTER FROM TRAVELING PUBLIC, SEWAGE FROM SANITARY FACILITIES, HERBICIDES AND PESTICIDES AND THEIR CONTAINERS.

SANITARY SEPTIC FACILITIES SHALL BE PROVIDED AND MAINTAINED IN A NEAT AND SANITARY CONDITION, FOR THE USE OF THE CONTRACTOR'S EMPLOYEES AS NECESSARY TO COMPLY WITH THE REQUIREMENTS AND REGULATIONS OF THE STATE AND LOCAL BOARDS OF HEALTH. A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY THE STATE REGULATIONS WILL COLLECT ALL SANITARY WASTE FROM PORTABLE UNITS.

THE CONTRACTOR WILL PROVIDE LITTER CONTROL AND COLLECTION WITHIN THE PROJECT LIMITS DURING CONSTRUCTION ACTIVITIES. CONTRACTOR WILL PROVIDE AN ADEQUATE NUMBER OF LITTER CONTAINERS WITH LIDS AT THE STAGING STOCKPILE AND FIELD OFFICE AREAS. WASTE COLLECTION WILL BE SCHEDULED SO THAT CONTAINERS ARE EMPTIED PRIOR TO OVERFLOW. SPILLED LITTER CONTAINERS WILL BE CLEANED UP IMMEDIATELY.

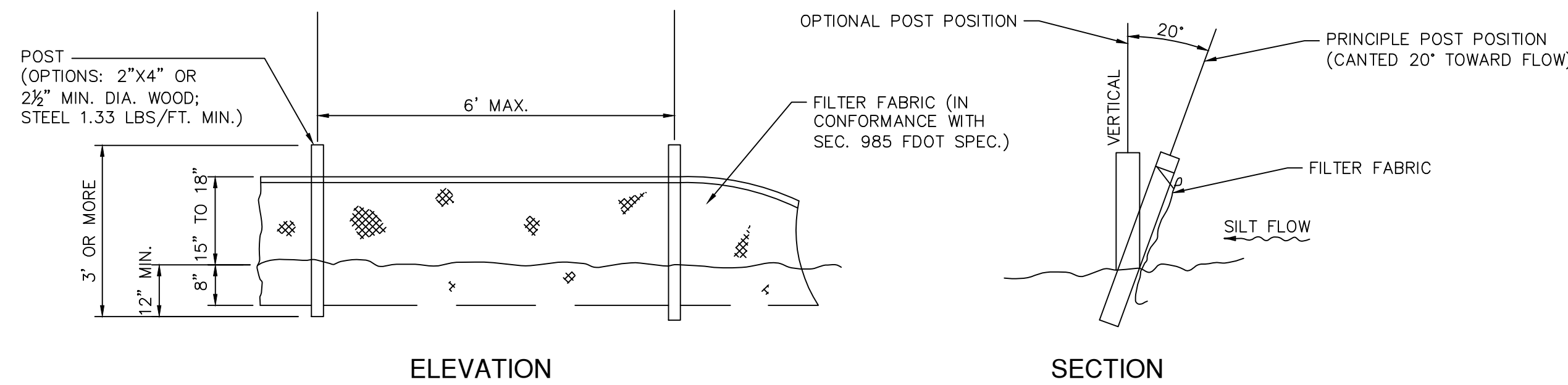


TYPE III SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS

DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

SILT FENCE APPLICATIONS

NTS



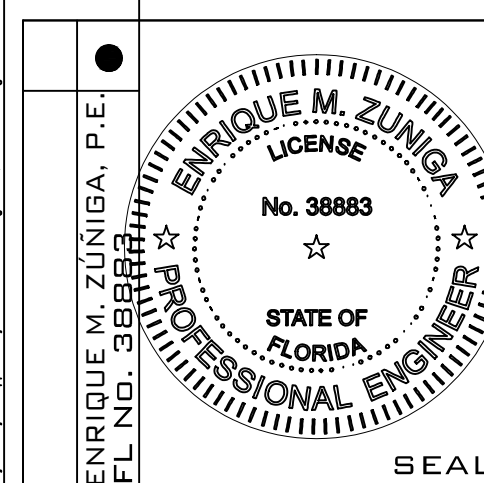
SILT FENCE DETAILS

NTS

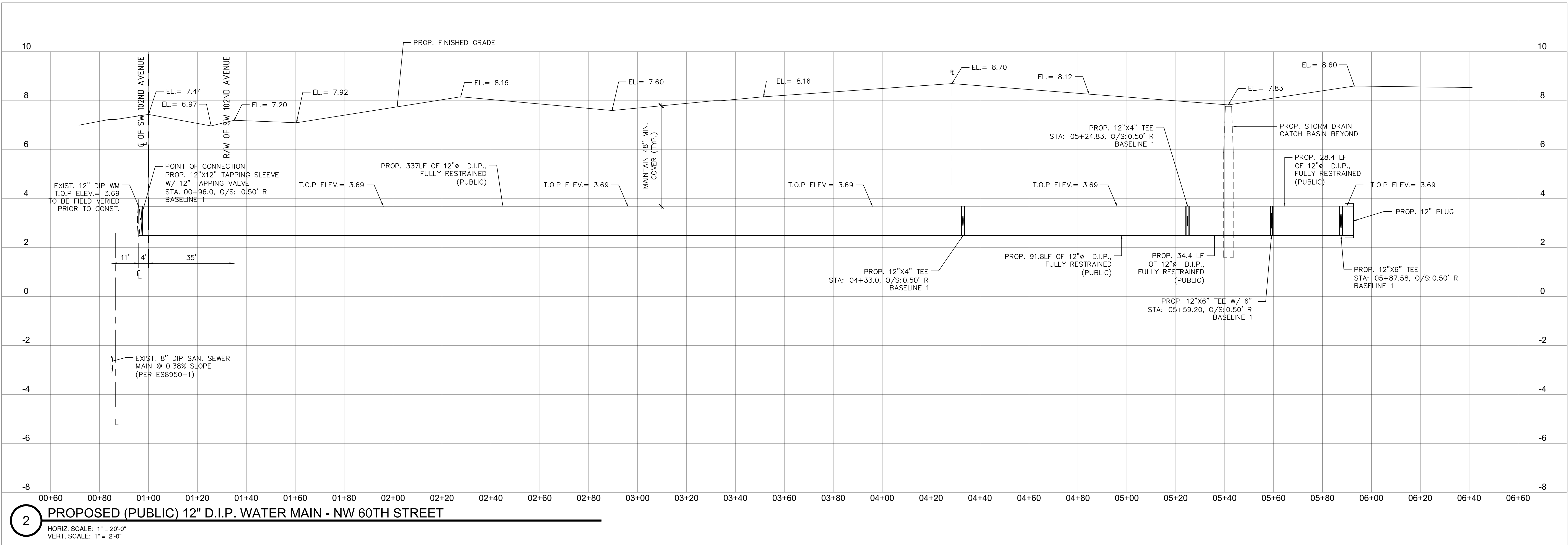
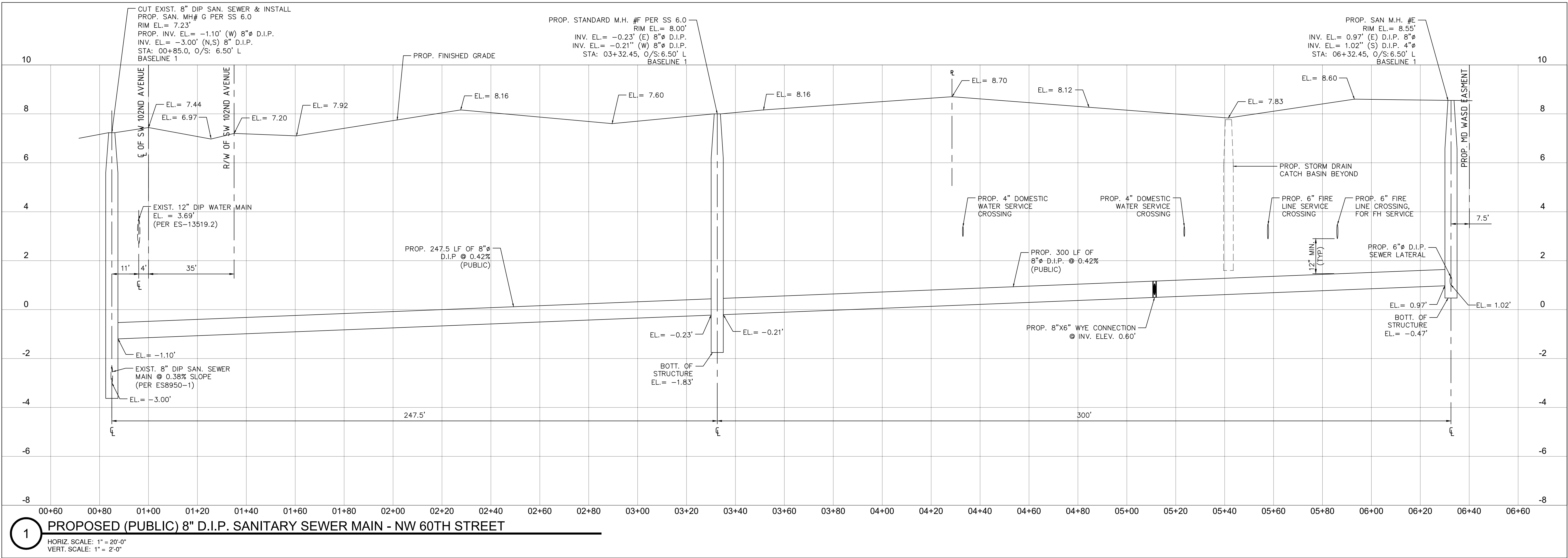


DATE:	11.15.22
DRAWN BY:	CNZ
DESIGNED BY:	FP
REVIEWED BY:	EMZ
PROJECT NO.:	21-0033

REVISIONS	
1	BUILDING DEPT. COMMENTS
2	BUILDING DEPT. COMMENTS
3	SFWMD COMMENTS
4	MD-WASD COMMENTS



copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. whether the project for which they were prepared is completed or not. They are not to be used in any manner or other project or otherwise without the express written consent of V3 Architectural Group, Inc. Reproduction or modification of these drawings without the written consent of V3 Architectural Group, Inc. is prohibited.



ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NGVD 1929

NOTE:
ALL EXISTING MAINS BEING IMPACTED BY THIS PROJECT
AND ALL PROPOSED WATER/SEWER FORCE MAINS AND
FITTINGS SHALL BE RESTRAINED PER GS 2.0.

DEFLECTION NOTE:
DEFLECTIONS SHALL NOT EXCEED 2.5" AT ANY WATER
MAIN JOINT

Sunshine811
SUNSHINE811.COM

Two full business days before digging, call 811 or visit my.sunshine811.com to request utility locations. Sunshine 811 utility members respond to your request. Remember to compare utility responses to the marks at site to determine if it's safe to dig.

Know what's below. 811 before you dig.

305 CONSULTING
ENGINEERS • PLANNERS

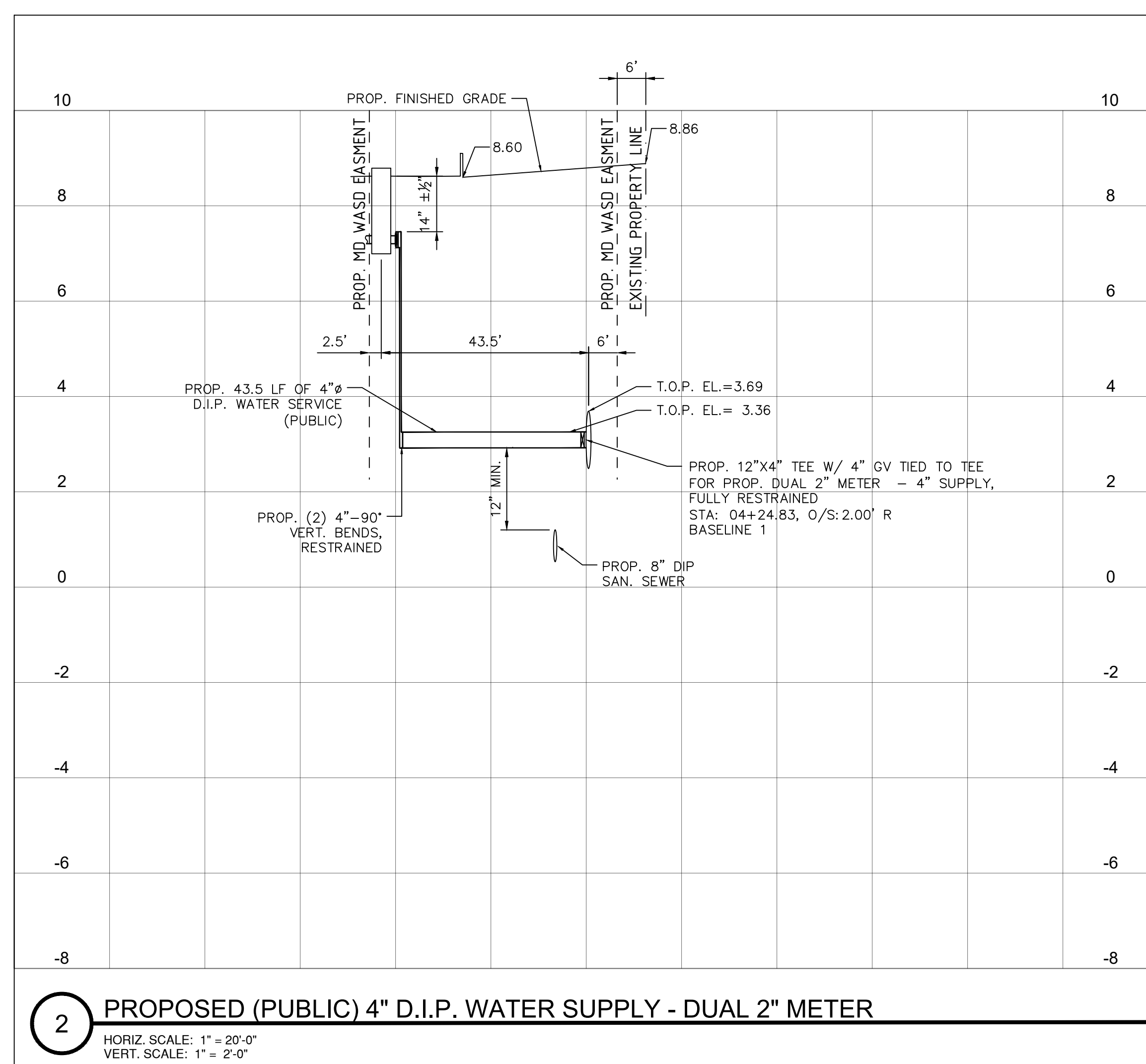
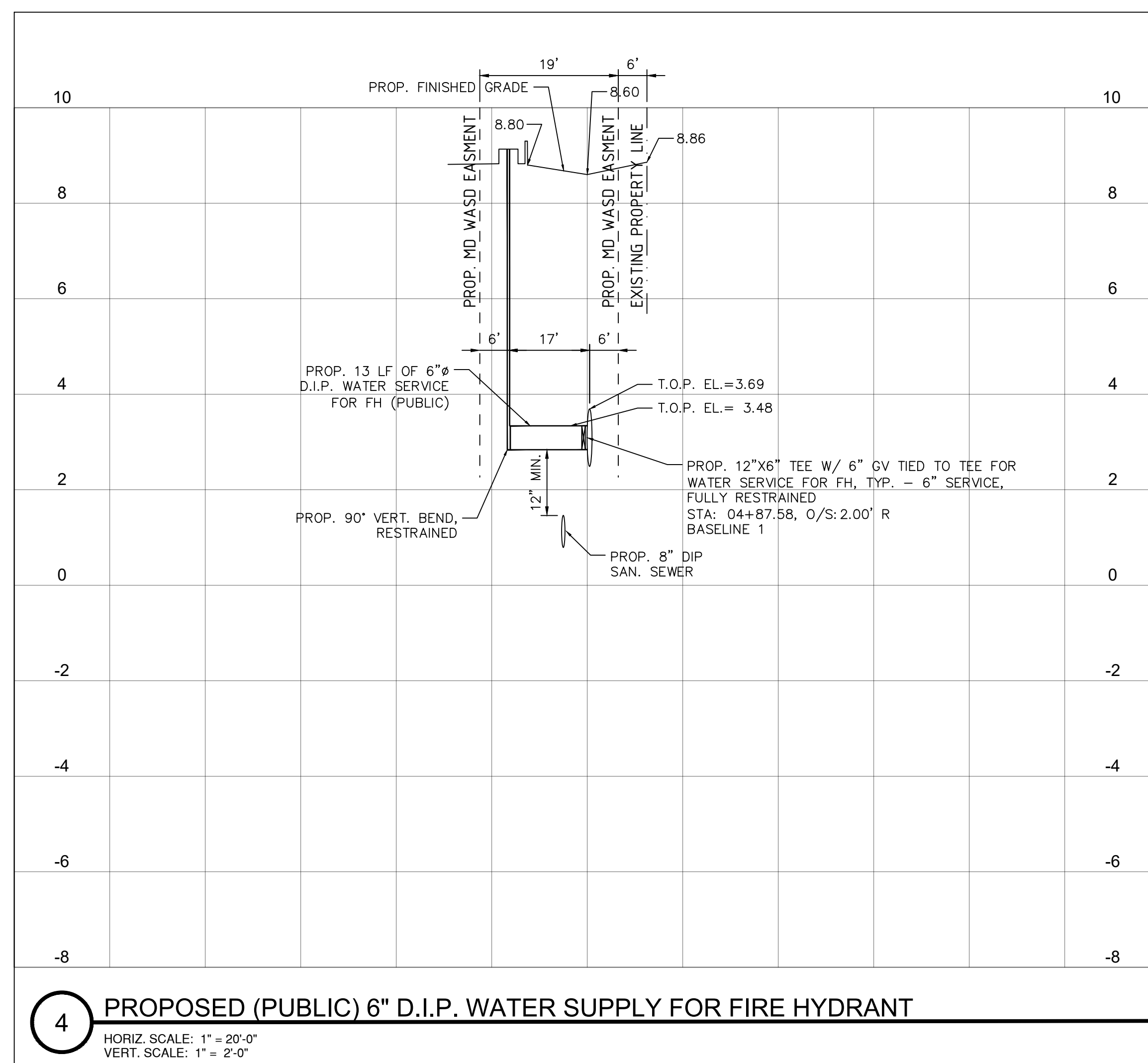
13944 S.W. 8 STREET, SUITE 211
MIAMI, FLORIDA 33184
PH. (786) 409-5548 FAX (786) 615-3688
CA NO.: 30247
ENRIQUE M. ZUNIGA, P.E. PE 38883

DATE:	11.15.22
DRAWN BY:	CNZ
DESIGNED BY:	FP
REVIEWED BY:	EMZ
PROJECT NO.:	21-0033

REVISIONS
BUILDING DEPT. COMMENTS
BUILDING DEPT. COMMENTS
SFWM COMMENTS
MDWASD COMMENTS

ENRIQUE M. ZUNIGA, P.E.
FL. ENG. NO. 38883
STATE OF FLORIDA
PROFESSIONAL ENGINEER
SEAL

WATER MAIN PROFILE &
SAN. SEWER MAIN PROFILE



NOTE:
ALL EXISTING MAINS BEING IMPACTED BY THIS PROJECT
AND ALL PROPOSED WATER/SEWER FORCE MAINS AND
FITTINGS SHALL BE RESTRAINED PER GS 2.0.

DEFLECTION NOTE:
DEFLECTIONS SHALL NOT EXCEED 2.5" AT ANY WATER
MAIN JOINT

REVISIONS	
1	BUILDING DEPT. COMMENT
2	BUILDING DEPT. COMMENT
3	SFWMD COMMENTS
4	MD-WASD COMMENTS

WATER SUPPLY
PROFILES

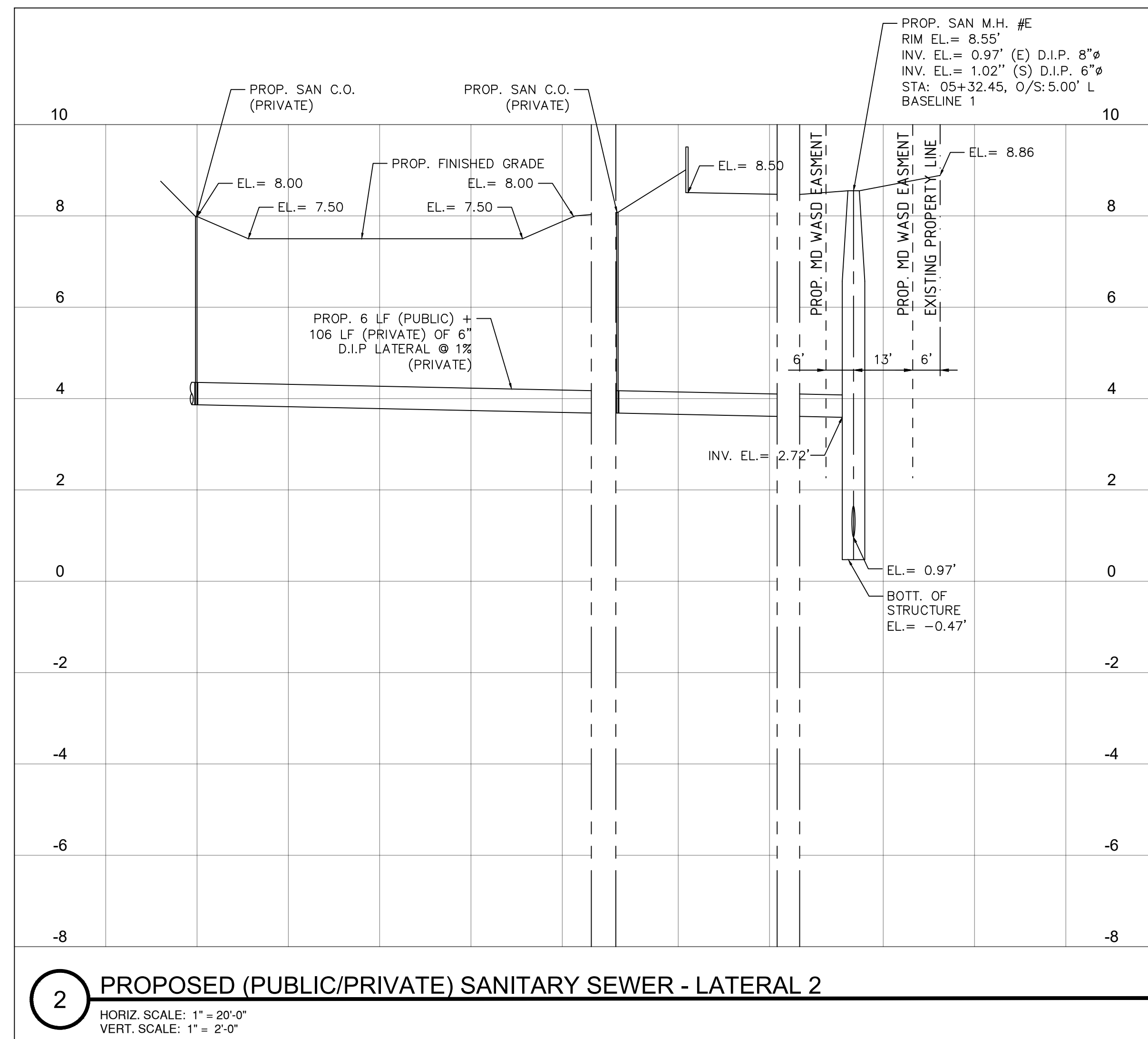
C-7

8 OF 11

CONSTRUCTION
DOCUMENTS

 **305 CONSULTING**
ENGINEERS LLC
ENGINEERS • PLANNERS

13944 S.W. 8 STREET, SUITE 211
MIAMI, FLORIDA 33184
PH. (786) 409-5548 FAX (786) 615-3688
CA NO.: 30247
ENRIQUE M. ZÚÑIGA, P.E. PE 38883




NOTE:
ALL EXISTING MAINS BEING IMPACTED BY THIS PROJECT
AND ALL PROPOSED WATER/SEWER FORCE MAINS AND
FITTINGS SHALL BE RESTRAINED PER GS 2.0.

DEFLECTION NOTE:
DEFLECTIONS SHALL NOT EXCEED 2.5" AT ANY WATER
MAIN JOINT

DATE:	11.15.22
DRAWN BY:	CNZ
DESIGNED BY:	FP
REVIEWED BY:	EMZ
PROJECT NO.	21-0033

REVISIONS	
1	BUILDING DEPT. COMMENT
2	BUILDING DEPT. COMMENT
3	SFWMD COMMENTS
4	MD-WASD COMMENTS

ENRIQUE M. ZUNIGA, P.E.
P.L. NO. 38863



ENRIQUE M. ZUNIGA
LICENSE
No. 38863
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

SEAL

SANITARY SEWER
LATERAL PROFILES

C-8

9 OF 11
CONSTRUCTION
DOCUMENTS

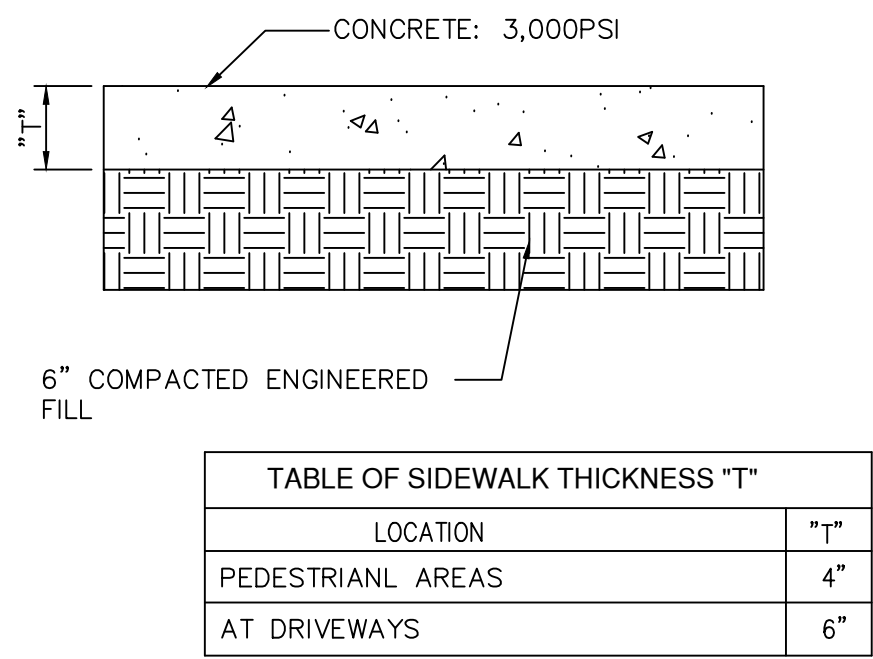
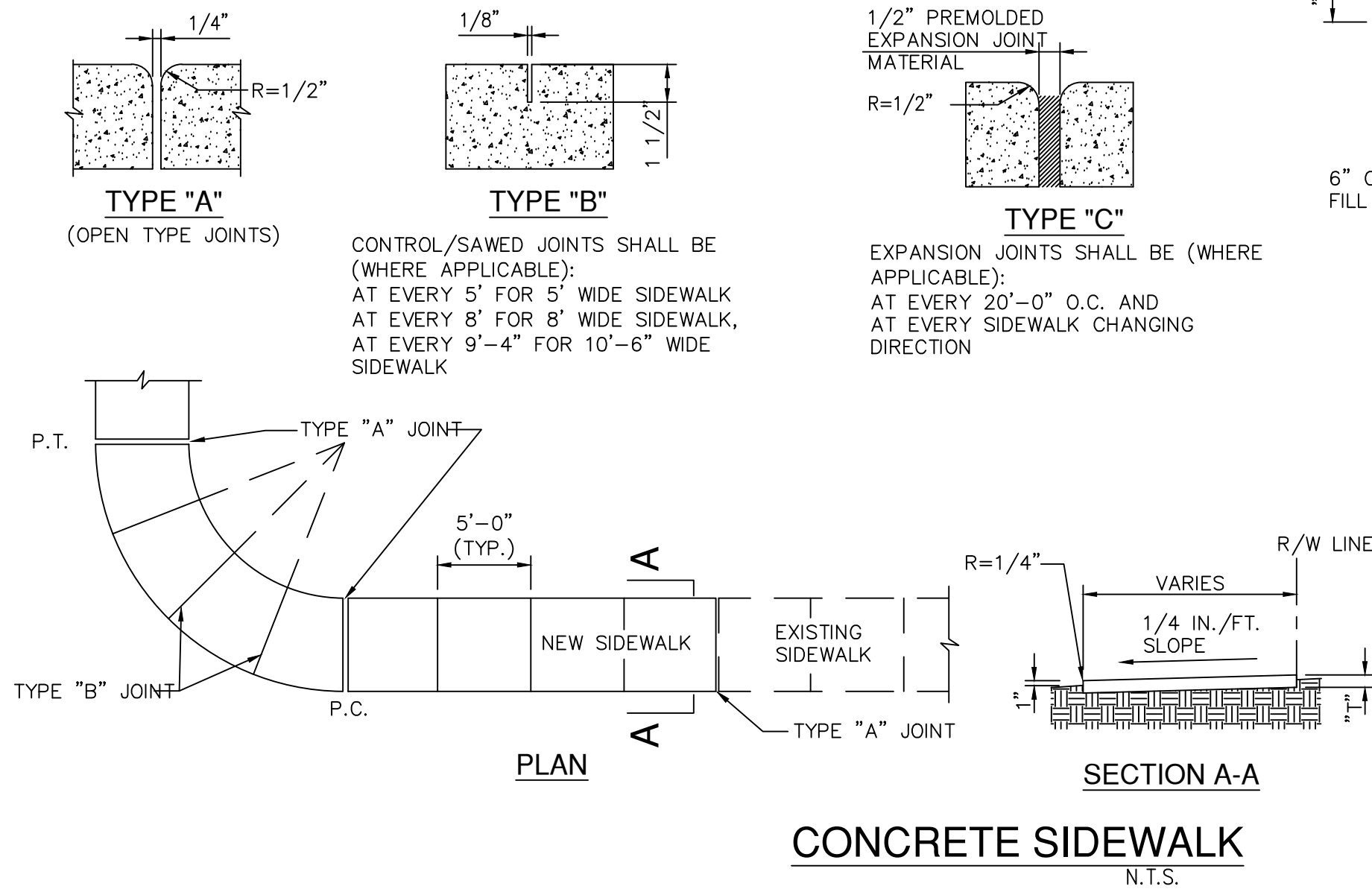
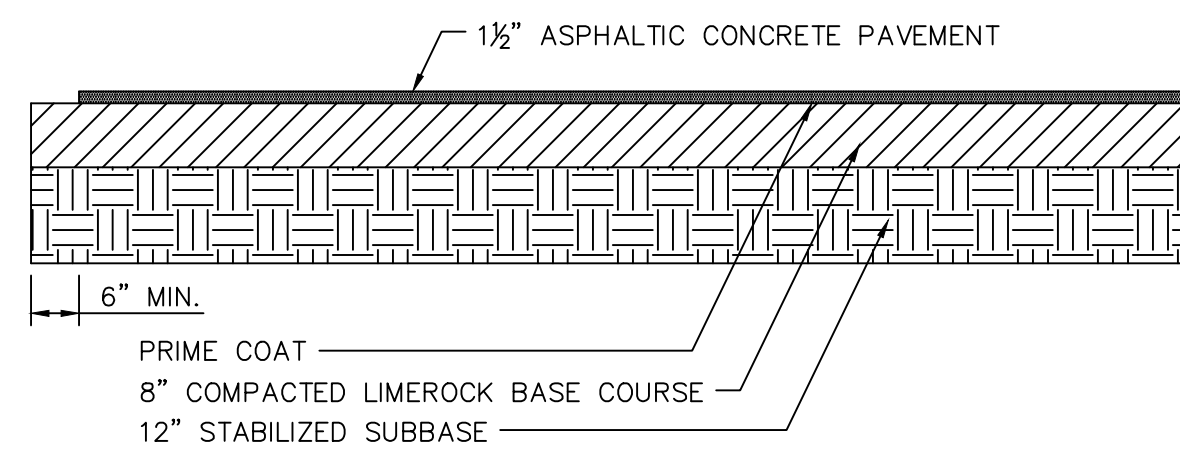


TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	P.C. AND P.T. OF CURVES. JUNCTION OF EXISTING AND NEW SIDEWALKS.
'b'	5'-0" CENTER TO CENTER ON SIDEWALKS
'c'	* WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES

* WITH 6"x6"-#10 GALVANIZED MESH

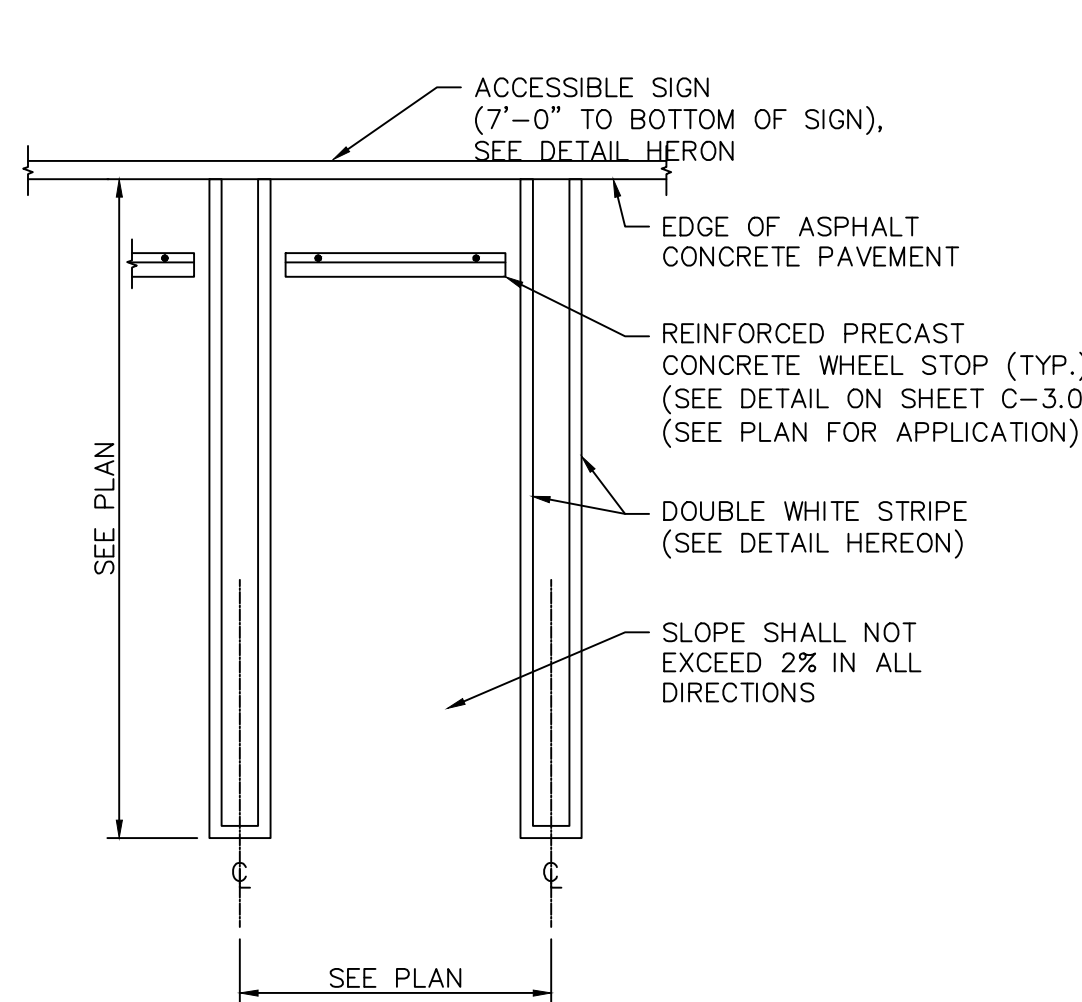


TYPICAL ASPHALT PAVEMENT

NTS

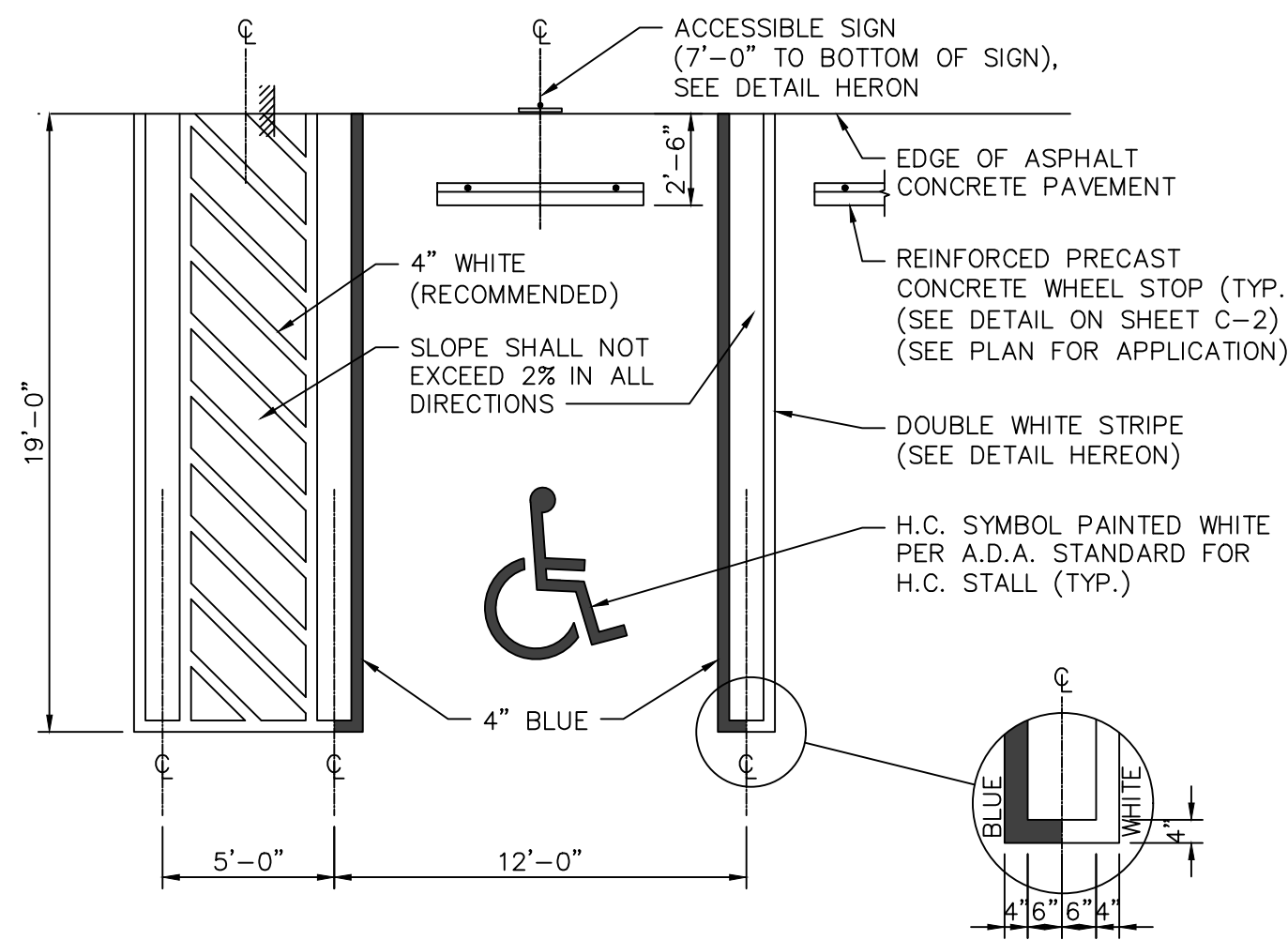
ASPHALT PAVEMENT NOTES:

- ASPHALT THICKNESS ARE AS FOLLOWS:
PARKING AREAS:
 - EXISTING PARKING LOT SHALL BE SEAL COATED.
 - NEW PARKING LOT SHALL BE TYPE S-1 (1 1/2" THICK) AS SPECIFIED IN SECTION 132 & 133 OF THE MIAMI-DADE COUNTY PUBLIC WORKS MANUAL.
- CONCRETE SHALL BE CLASS 1 AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS.
- STABILIZED SUBBASE SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 (AS DETERMINED BY ASTM D-1557)
- LIMEROCK BASE SHALL BE PLACED IN LIFTS NOT GREATER THAN 6 INCHES AND COMPACTED TO A DENSITY OF NOT LESS THAN 98% MAXIMUM DENSITY AS DETERMINED BY ASSHTO T-180 AND PRIMED.
- SEE LAYOUT PLAN FOR WIDTHS OF DRIVES AND PARKING AREAS.



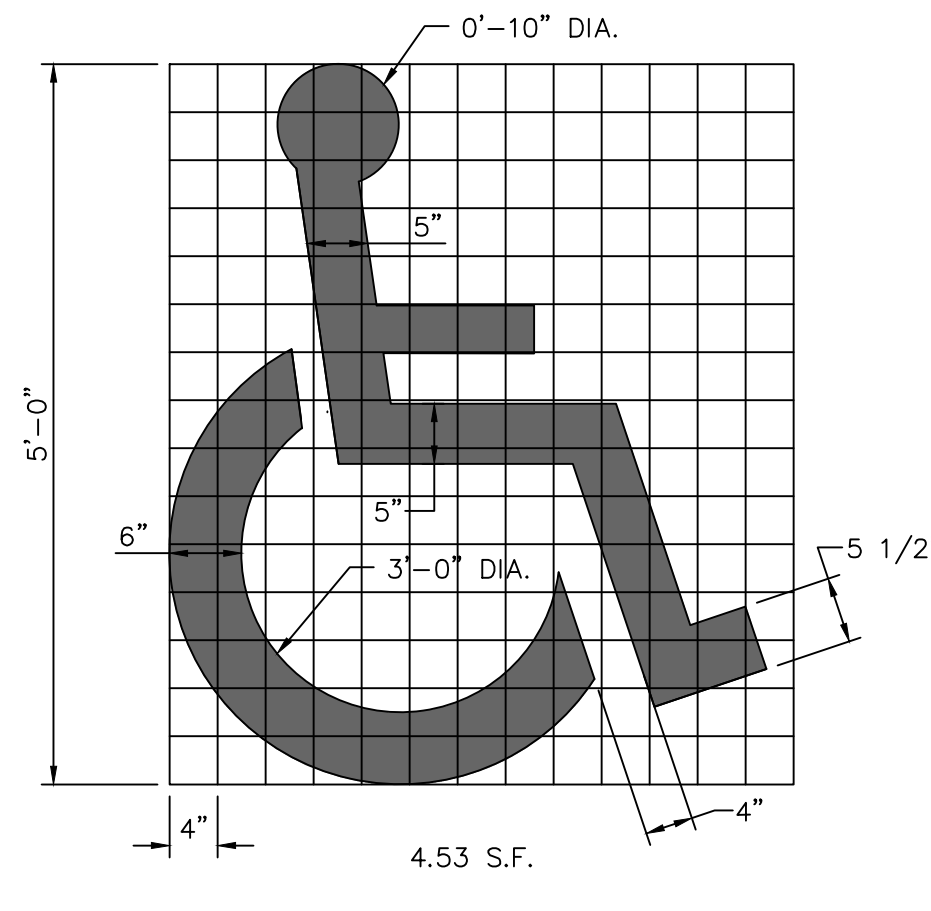
STANDARD PARKING SPACE DETAIL

NTS



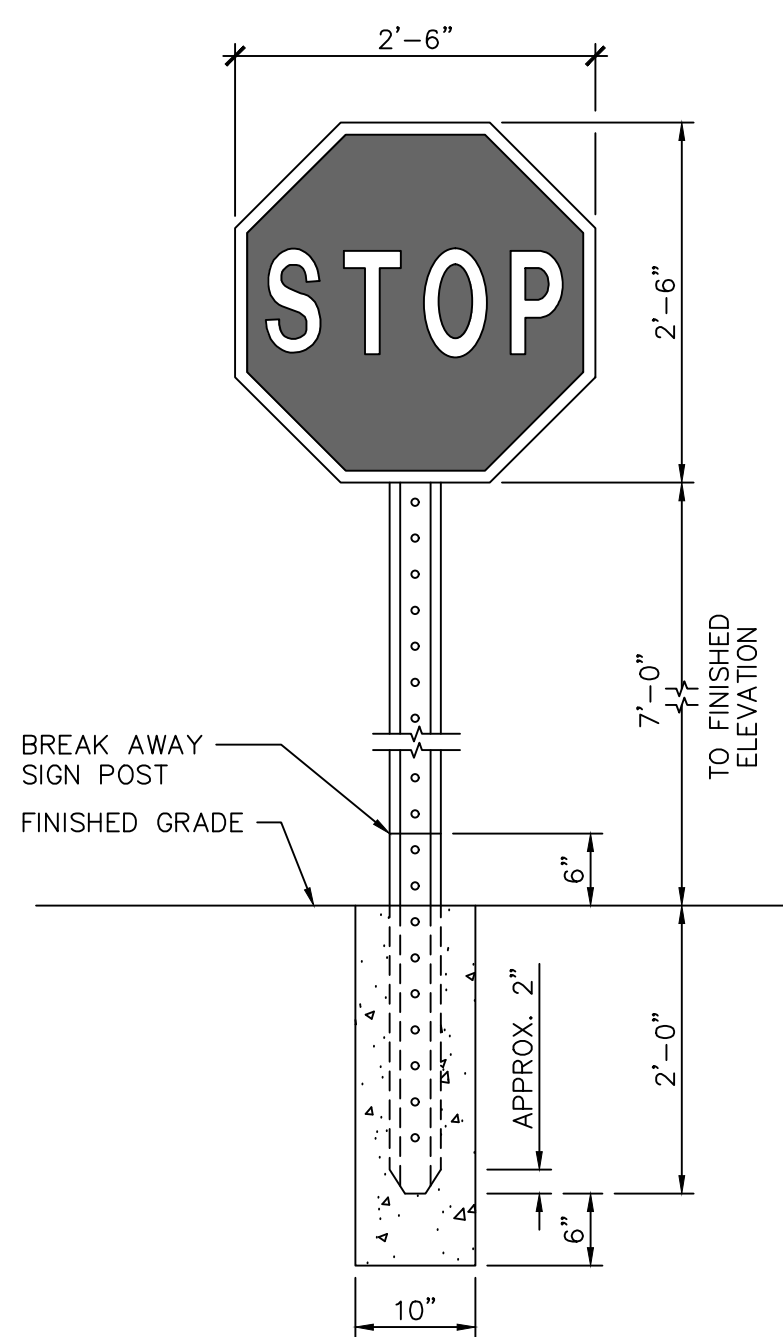
ACCESSIBLE PARKING SPACE DETAIL

NTS



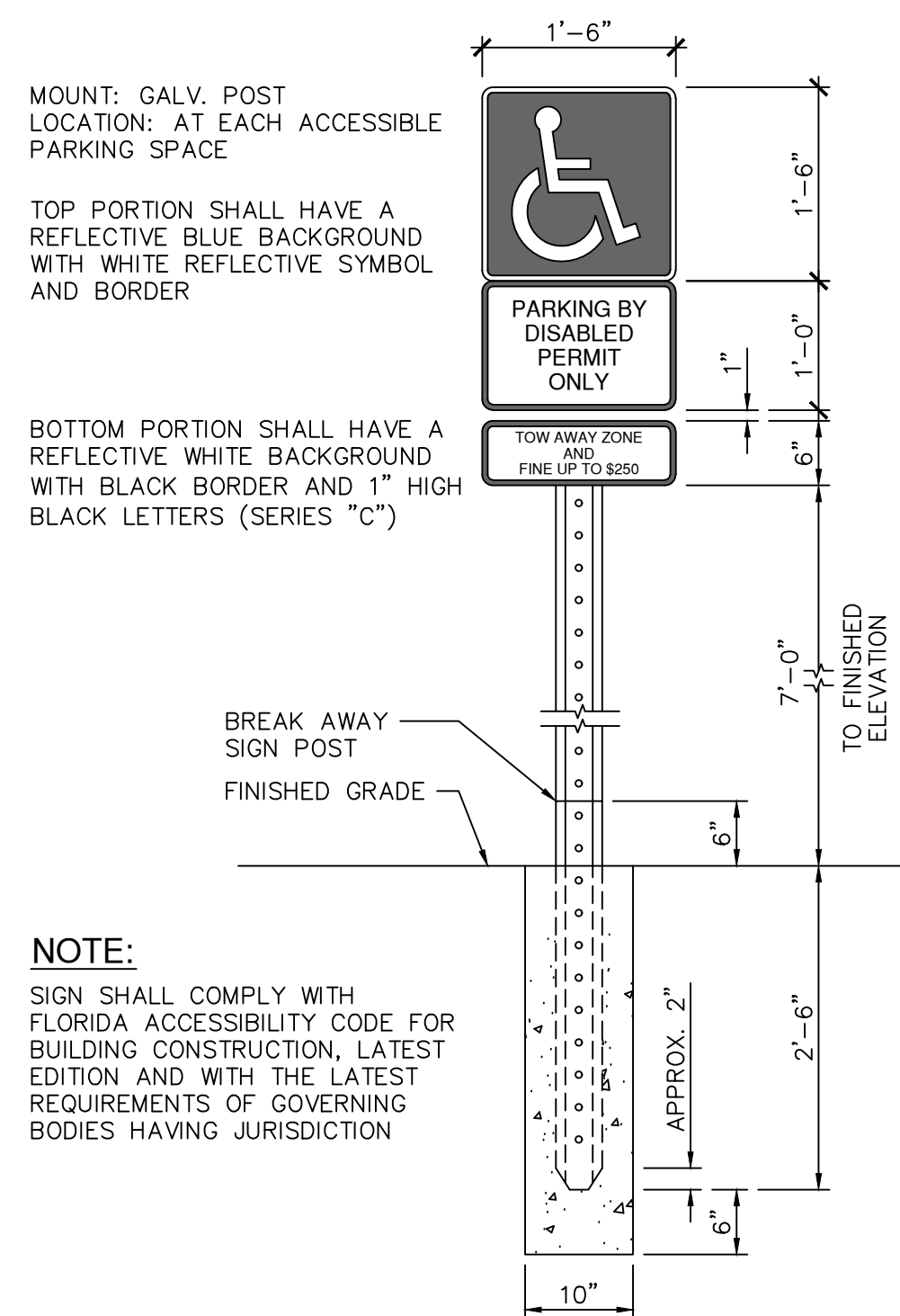
HANICAP SYMBOL PAINTING DETAIL

NTS



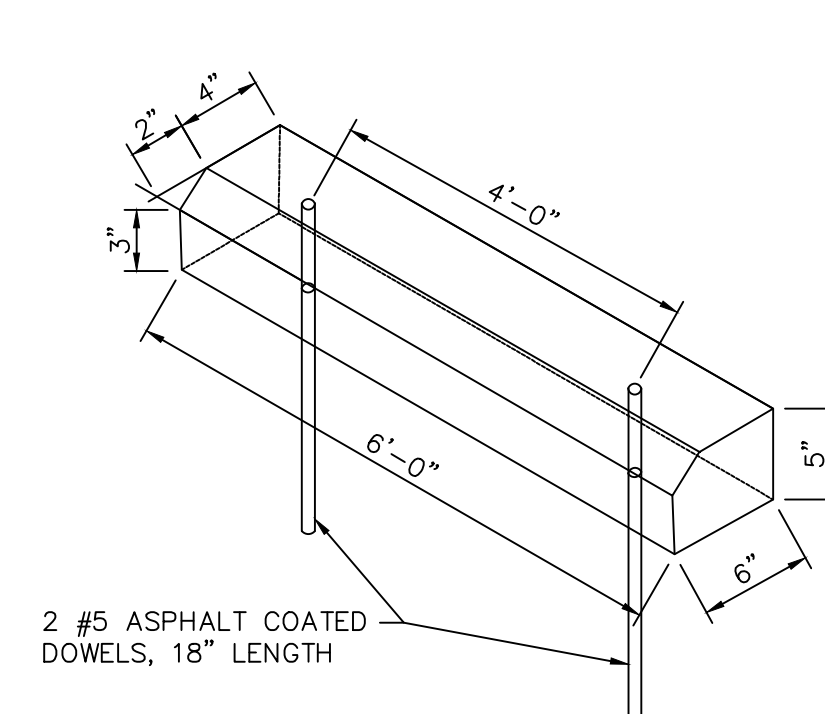
STOP SIGN DETAIL (R1-1)

NTS



ACCESSIBLE PARKING SIGN DETAIL (FTP-26)

NTS



PRECAST WHEEL STOP DETAIL

(PRECAST CONCRETE)

NTS

Sunshine811
SUNSHINE811.COM

Two full business days before digging, call 811 or visit my.sunshine811.com to request utility locates. Sunshine 811 utility members respond to your request. Remember to compare utility responses to the marks at site to determine if it's safe to dig.

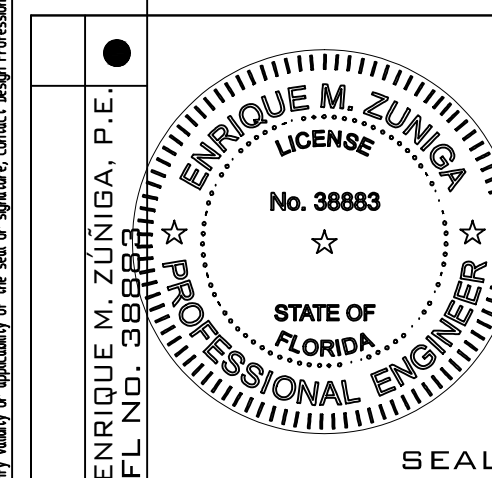
Know what's below. 811 before you dig.

305 CONSULTING ENGINEERS LLC
ENGINEERS • PLANNERS

13944 S.W. 8 STREET, SUITE 211
MIAMI, FLORIDA 33184
PH. (786) 409-5548 FAX (786) 615-3688
CA NO.: 30247
ENRIQUE M. ZUNIGA, P.E. PE 38883

DATE:	11.15.22
DRAWN BY:	CNZ
DESIGNED BY:	FP
REVIEWED BY:	EMZ
PROJECT NO.:	21-0033

REVISIONS	
△	BUILDING DEPT. COMMENTS
△	BUILDING DEPT. COMMENTS
△	SFWMD COMMENTS
△	MD-WASD COMMENTS



SITE DETAILS

C-9

10 OF 11
CONSTRUCTION DOCUMENTS

COLLECTION SUITES II

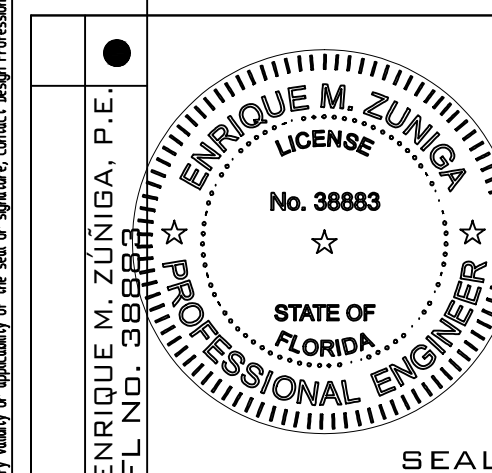
5990 N.W. 102ND AVENUE

DORAL, FLORIDA 33178

copyright 2022 V3 Architectural Group, Inc.
All rights reserved. These drawings and specifications are instruments of service and shall remain the property of V3 Architectural Group, Inc. whether the project for which they were prepared is completed or not. They are not to be used in any manner on other projects or in connection with the project except by agreement in writing and with the express written consent of V3 Architectural Group, Inc. Reproduction or modification without the written consent of V3 Architectural Group, Inc. is prohibited.



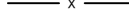


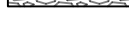


DATE:	11.15.22
DRAWN BY:	CNZ
DESIGNED BY:	FP
REVIEWED BY:	EMZ
PROJECT NO.	21-0033

REVISIONS	
1	BUILDING DEPT. COMMENT
2	BUILDING DEPT. COMMENT
3	SFWMD COMMENTS
4	MD-WASD COMMENTS



C-10

10 OF 10
CONSTRUCTION
DOCUMENTS

 PROPERTY LINE AND/OR RIGHT-OF-WAY
 PROPOSED SILT FENCE
 PROPOSED 6' TEMP. CHAIN LINK CONSTRUCTION FENCE WITH DUST SCREEN
 PROPOSED STABILIZED CONSTRUCTION ENTRANCE
 PROPOSED EROSION CONTROL INLET PROTECTION
 EXISTING GRADE
 PROPOSED GRADE
 DIRECTION OF DRAINAGE

1. THE SOIL IMPROVEMENT PLANS ARE NOT INTENDED FOR DRAINAGE APPROVAL AND DRAINAGE PLANS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL UNDER SEPARATE COVER.
2. CONTRACTOR SHALL MAINTAIN SITE AND OFFSITE ADJACENT AREAS FREE FROM EROSION AND SEDIMENT CONTROL BMPs IN THE PUBLIC RIGHT-OF-WAY CONSTRUCTION PERMIT.
3. ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOIL MANAGEMENT PLAN, DUST CONTROL PLAN AND HEALTH AND SAFETY PLAN PREPARED BY SGS ENGINEERS AND APPROVED BY THE DEPT OF HEALTH AND HUMAN SERVICES. THE NOTIFICATION IS STIPULATED IN THE APPROVAL LETTER.
4. ALL WORK SHALL FOLLOW APPLICABLE SCAFFOLDING, SHIELDING, QUARRYING (E, C, PHA, ETC) AND NOTIFICATION SHALL BE PROVIDED TO THE APPROPRIATE AGENCIES.
5. CLEAN FILM IMPORTED TO THE SITE SHALL BE FROM DEERMOUNT QUARRY, AS REQUIRED BY SECTION 24-5 OF THE CODE OF MIAMI-DADE COUNTY.



CONTRACTOR NOTE:
CONSTRUCT BERM FOR ENTIRE PERIMETER
OF THE SITE SUCH THAT NO STORMWATER
SHEDS TO ADJACENT PROPERTIES.

