

**RESOLUTION No. 23-141**

**A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN MODIFICATION FOR NAZARI MOBIL, FOR THE PROPERTY LOCATED AT 10895 NW 41 STREET, DORAL, FLORIDA, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, Article III of Chapter 53 of the Land Development Code of the City of Doral ("City") establishes procedures for Mayor and City Council site plan review and approval; and

**WHEREAS**, Nazari Associates VI, LLC, (the "Applicant") is seeking site plan approval to redevelop the north portion of the parcel located at 10895 NW 41th Street, further identified by the Miami-Dade County Property Appraiser by Folio No. 35-3019-030-0010 (the "Property"), as legally described in "Exhibit A" (the "Project"); and

**WHEREAS**, City staff finds that the proposed site plan modification, attached hereto as "Exhibit B," complies with the requirements and standards of the City's Land Development Code and Comprehensive Plan; and

**WHEREAS**, a zoning workshop was held on January 12, 2023, during which the public was afforded an opportunity to examine the Project and provide feedback; and

**WHEREAS**, after notice of public hearing duly published and notifications of all property owners of record within a 500-foot radius of the Property, a public hearing was held before the Mayor and City Council on August 23, 2023, during which all interested persons were afforded the opportunity to be heard, and due and proper consideration was given to the matter, including the recommendations contained in the City's Planning and Zoning Staff Report; and

**WHEREAS**, the City Council reviewed the site plan modification, the written and oral recommendations of the Planning and Zoning Department, including the recommended conditions, and hereby finds competent substantial evidence to find the site plan is in compliance with the City's Comprehensive Plan and Land Development Regulations, and that the site plan maintains the basic intent and purpose of the zoning, subdivision or other land use regulations, which is to protect the general welfare of the public, and further finds that the site plan application should be granted, subject to the conditions described herein.

**NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:**

**Section 1. Recitals.** The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

**Section 2. Findings and Conclusions.** Based upon an analysis of the site plan modification application and standards for approval of a site plan under the City's Land Development Regulations, the City Council hereby finds and concludes that the Applicant's request for site plan modification, as more particularly set forth in "Exhibit B," is in compliance with the Comprehensive Plan and the Land Development Regulations of the City, and there is substantial competent evidence to support approval of the Application.

**Section 3. Approval.** The Mayor and City Council hereby approve the site plan modification for Nazari Mobil for the property located at 10895 NW 41 Street, further identified by a portion of folio number 35-3019-030-0010, as legally described in "Exhibit A." The site plan consists of the addition of a ±689 square foot car wash tunnel and a

copy of the site plan is provided in “Exhibit B.” The approval of the site plan is subject to the following conditions:

1. The Project shall be built in substantial compliance with the plans entitled “Nazari Mobil, Doral,” prepared by OA Architecture, dated stamped received April 20, 2023.
2. The Project shall be landscaped in accordance with the landscape plan, digitally signed by Michael D. Grosswirth, RLA, dated stamped received June 6, 2023 as amended, and included with the site plan submittal.
3. Prior to issuance of building permit, the Applicant shall:
  - I. Obtain review and approval from Miami-Dade County Traffic Engineering Division.
  - II. Obtain review and approval from City of Doral Public Works Department - Plans Review.
  - III. Comply with the applicable sections of Chapter 77 of the City’s Land Development Code.
  - IV. Implement the proposed project dealing with roadway construction work, installation of signage, pavement markings and other needed items in conformance with all applicable requirements, standards, and regulations of the latest version of the Manual on Uniform Traffic Control Devices (MUTCD), City of Doral, Miami-Dade County Department of Transportation and Public Works, and Miami-Dade Fire Rescue Department.
4. That the Applicant comply with Chapter 63, “Green Building Incentives,” of the City’s Land Development Code at the time of building permit.
5. That the Applicant comply with Chapter 75, “Public Arts Program,” of the City’s Land Development Code at the time of building permit.
6. That the Applicant comply with the City’s Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City’s Code.
7. That the Applicant provide the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
8. A Stormwater Pollution Prevention Plan (SWPPP) must be submitted by the Applicant at time of building permit (the “Plan”). The Plan should provide

guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, stormwater and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.

9. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 "Noise Ordinance."
10. That the Applicant comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.
11. That the Applicant comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.
12. All applicable local, state, and federal permits must be obtained before commencement of the development.
13. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
14. That the Applicant obtains a Certificate of Occupancy and a Certificate of Use from the City upon compliance with all terms and conditions. The Certificate of Occupancy and Certificate of Use shall be subject to cancellation upon violation of any of the conditions.
15. Pursuant to Section 53-185, of the City's Land Development Code, the approval provided for herein shall expire after two years from the effective date of this Resolution.

FAILURE BY THE CITY TO TIMELY ENFORCE ANY OF THE ABOVE CONDITIONS DOES NOT CONSTITUTE A WAIVER OF THE SAME AND IF THE APPLICANT, ITS SUCCESSORS, OR, ASSIGNS, DOES NOT PERFORM SUCH CONDITIONS WITHIN FIVE (5) DAYS AFTER WRITTEN NOTICE, THE CITY RETAINS THE RIGHT TO STOP CONSTRUCTION, IF NECESSARY, UNTIL THAT CONDITION IS MET. THE CITY RESERVES THE RIGHT TO ENFORCE THESE CONDITIONS BY ISSUING A CODE COMPLIANCE CITATION, REVOKING THIS RESOLUTION, AND/OR AVAILING ITSELF OF ANY AND ALL REMEDIES AVAILABLE AT LAW OR IN EQUITY. BY

ACTING UNDER THIS APPROVAL, APPLICANT HEREBY CONSENTS TO ALL THESE TERMS AND CONDITIONS.

**Section 4. Effective Date.** This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Councilmember Puig-Corve who moved its adoption. The motion was seconded by Vice Mayor Pineyro and upon being put to a vote, the vote was as follows:

Mayor Christi Fraga	Yes
Vice Mayor Rafael Pineyro	Yes
Councilwoman Digna Cabral	Yes
Councilwoman Maureen Porras	Yes
Councilman Oscar Puig-Corve	Yes

PASSED AND ADOPTED this 23 day of August, 2023.

  
CHRISTI FRAGA, MAYOR

ATTEST:  
  
CONNIE DIAZ, MMC  
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

  
VALERIE VICENTE, ESQ. for  
NABORS, GIBLIN & NICKERSON, P.A.  
CITY ATTORNEY

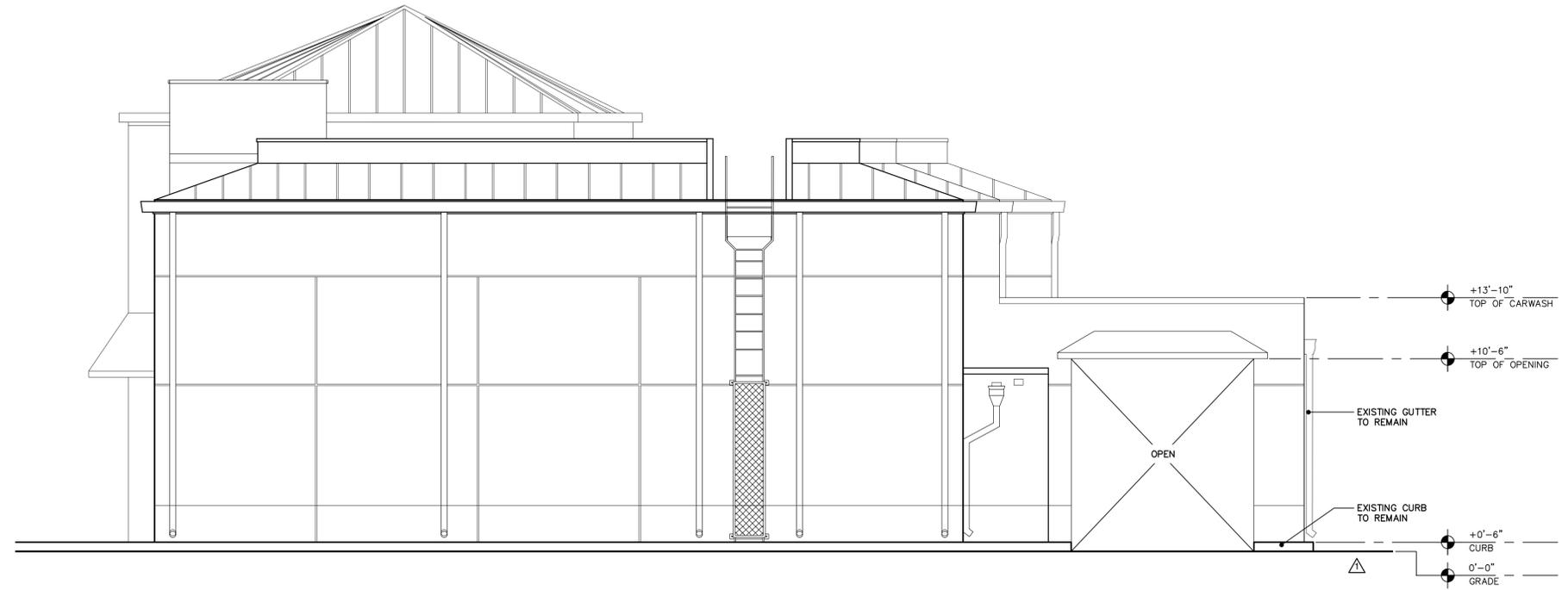
# EXHIBIT “A”

**LEGAL DESCRIPTION**

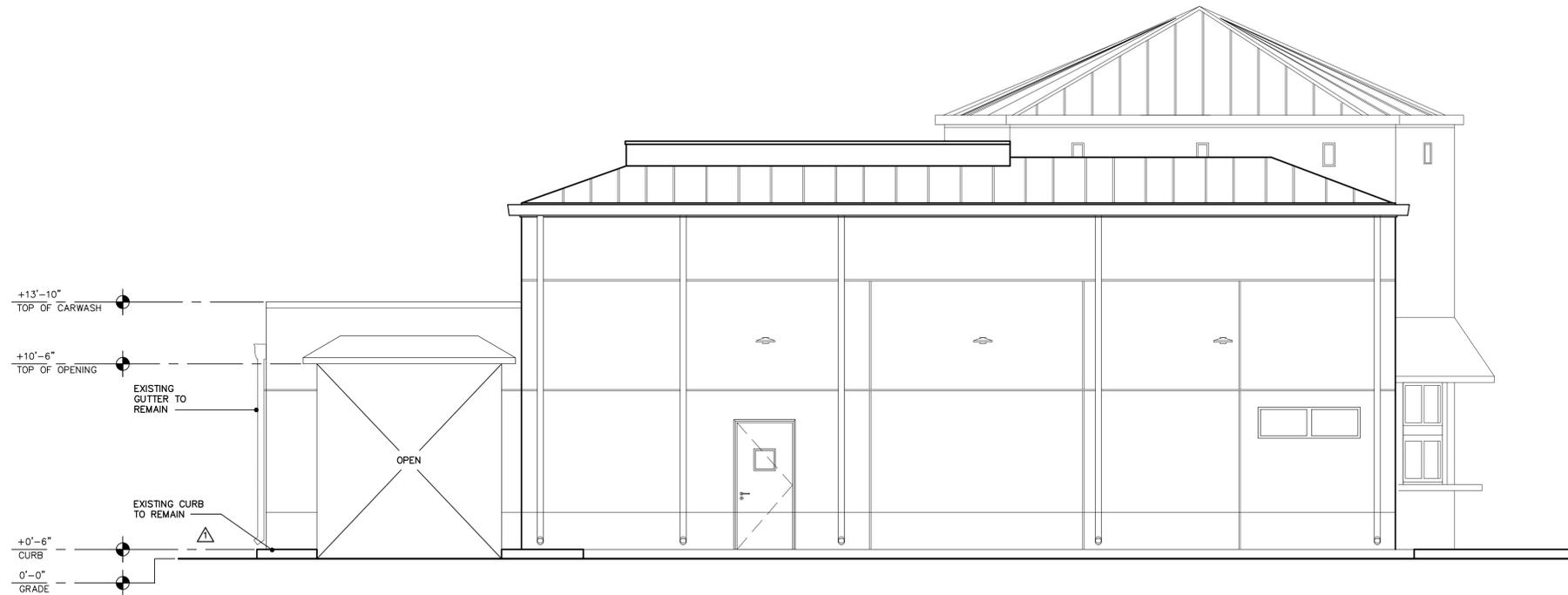
DORAL INTERNATIONAL PARK PB 155-53 T-19693 PORT OF TR A DESC BEG 369.94FTWOF NE COR OF TR  
A CONT N 89 DEG W 254.41FT S 01 DEG W 240.53FT SELY AD 38.71FT S 89 DEG E 224FT N 00 DEG E  
264.91FT TO POB LOT SIZE 1.527 AC M/L F/A/U 30-3019-001-0510 OR 18998-2136 0200 4

# EXHIBIT “B”



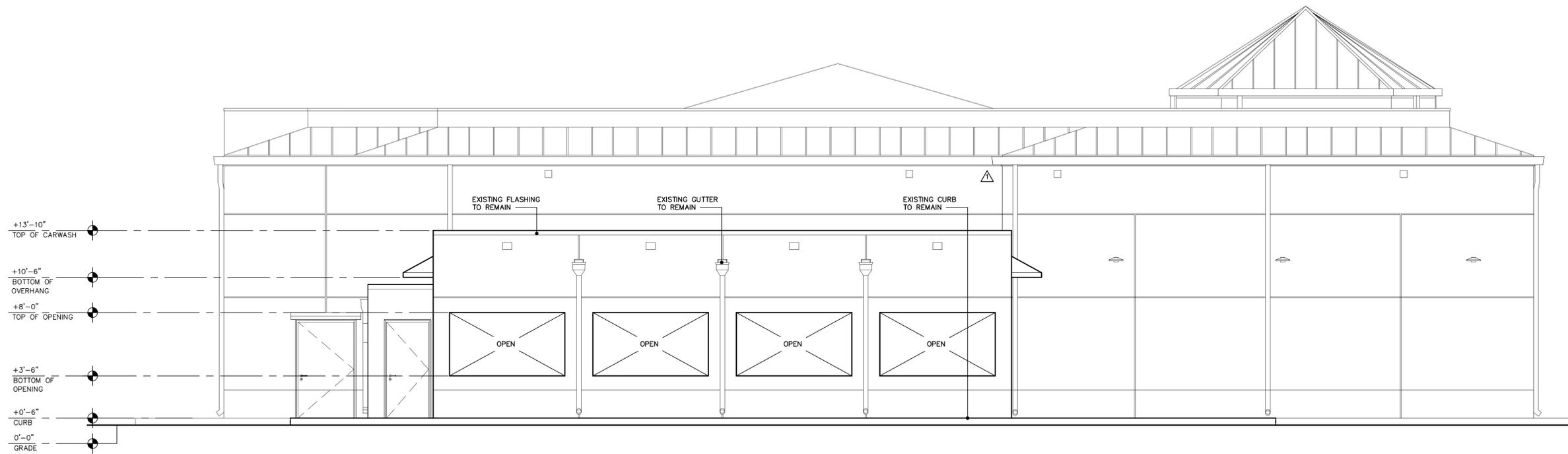


EXISTING / DEMO EAST ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING / DEMO WEST ELEVATION  
SCALE: 1/4" = 1'-0"





EXISTING / DEMO NORTH ELEVATION

SCALE: 1/4" = 1'-0"



Proposed Addition

**Nazari Mobil, Doral**  
 Owner: Nazari Associates VI, LLC  
 10895 NW 41 St, Doral, FL 33178

Consulting Engineer

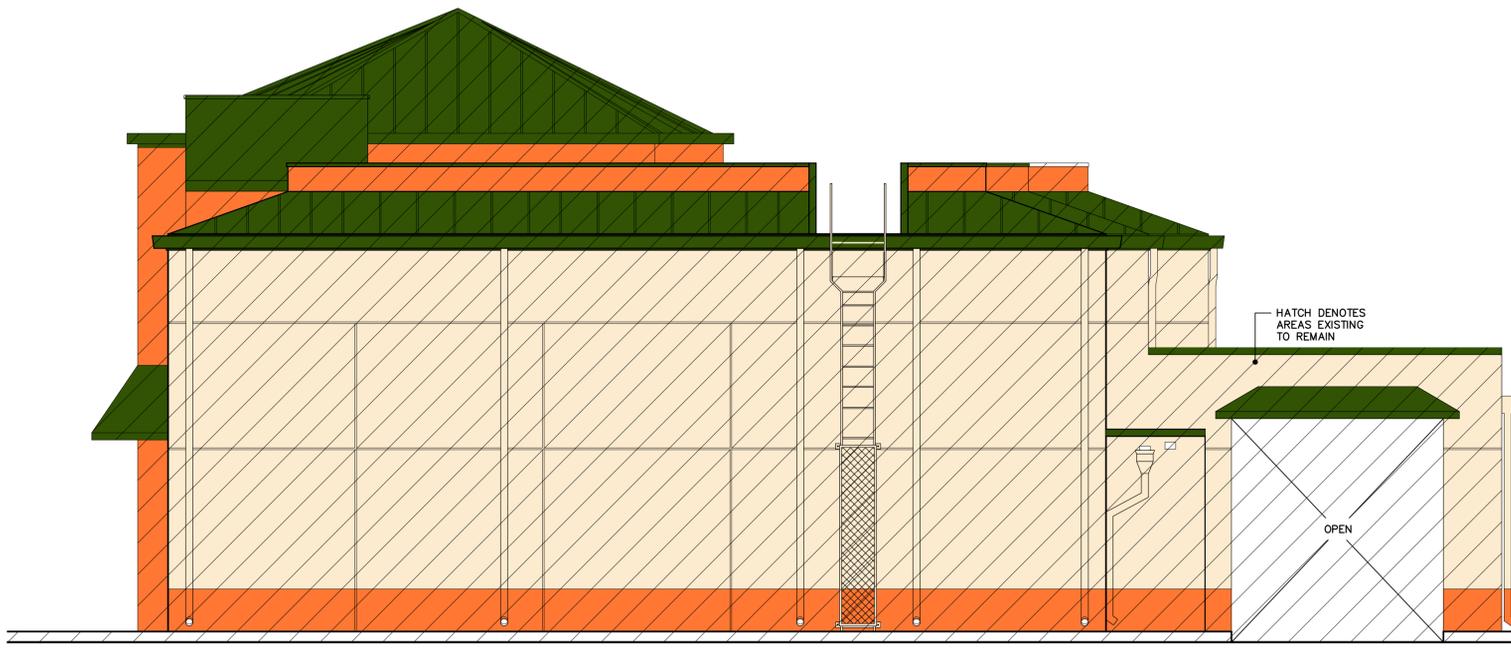
02.09.22 GC DRC Submittal    09.16.22 GC Comment Response

Job: A2164    Date: 09.23.2021

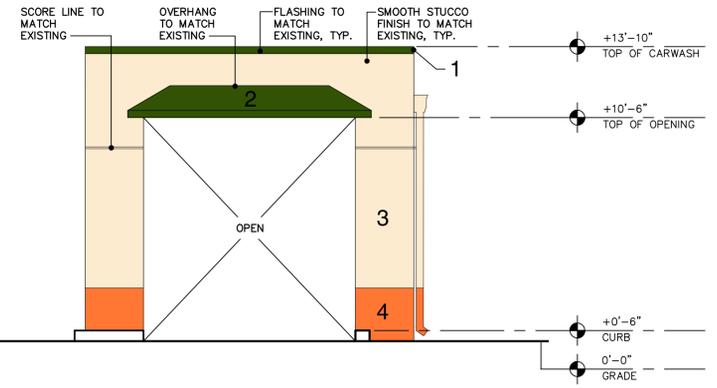
Oslando Alonso, Jr.  
 Florida Registration ARI 14138  
**NOT FOR PERMIT UNLESS  
 SIGNED, SEALED & DATED**



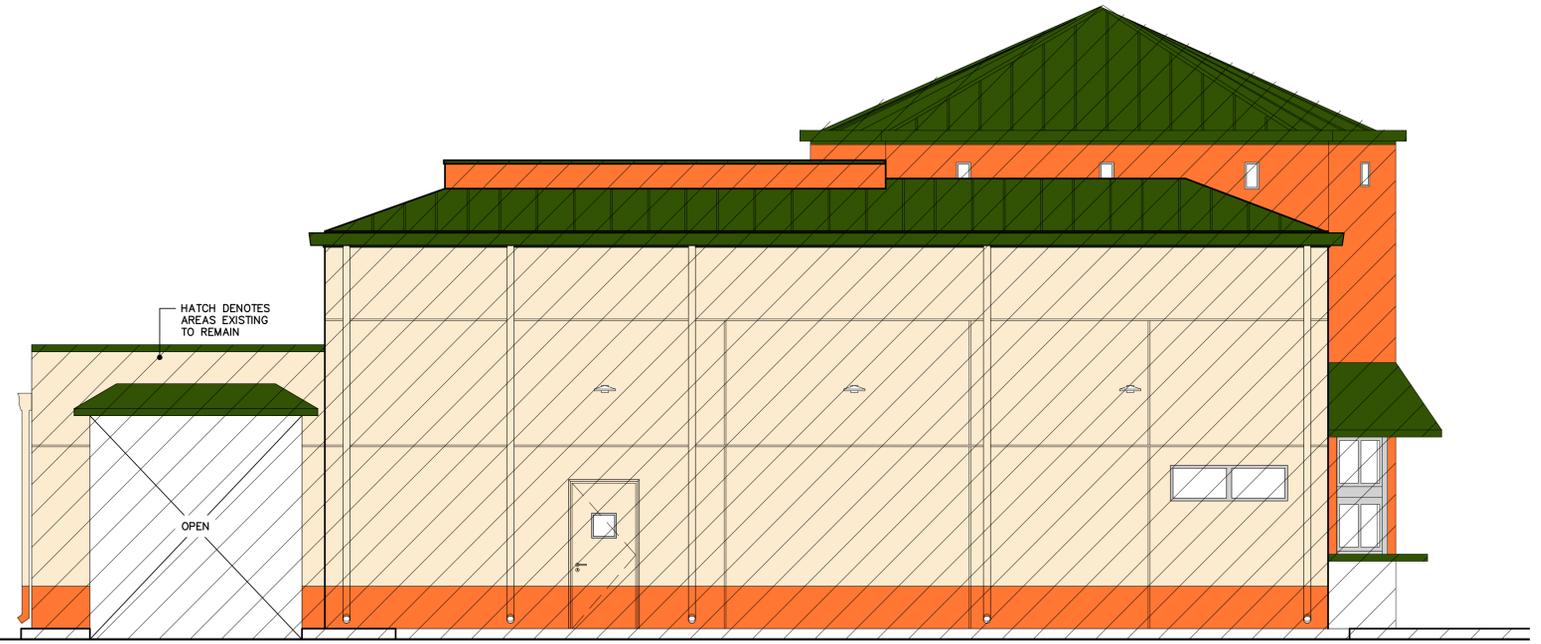
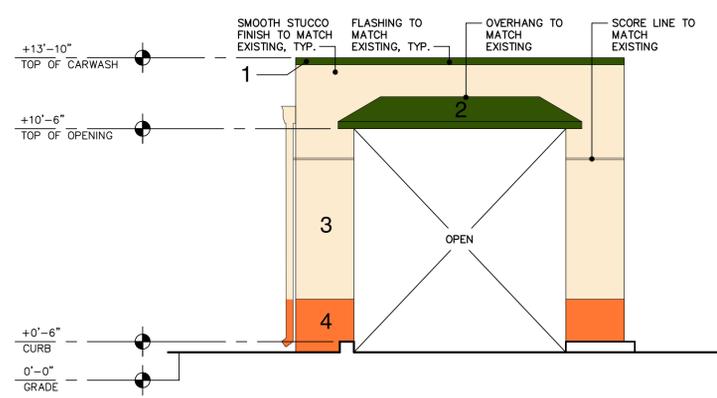
**oa ARCHITECTURE**  
 1201 NW 11th Ave, Suite 101, Miami, FL 33142    305.585.2005    oa-arch.com



MATERIALS LEGEND	
1	METAL FLASHING - GREEN (TO MATCH EXISTING)
2	METAL ROOFING - GREEN (TO MATCH EXISTING)
3	PAINTED STUCCO - BEIGE (TO MATCH EXISTING)
4	PAINTED STUCCO - ORANGE (TO MATCH EXISTING)

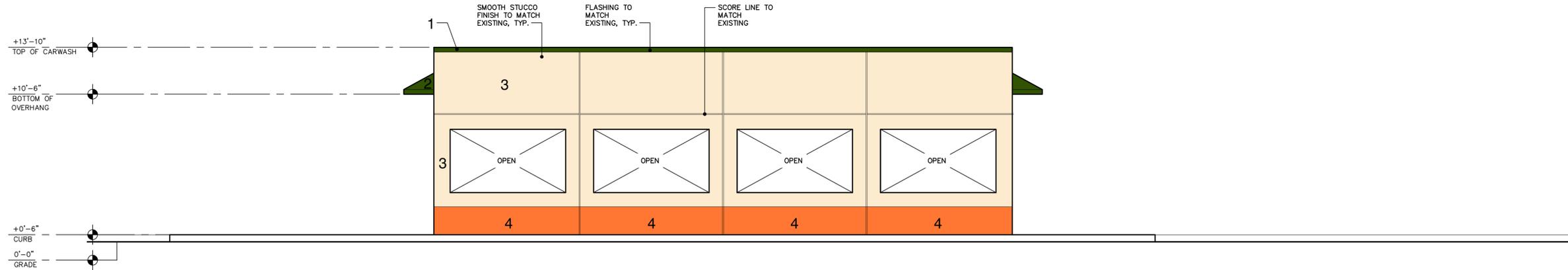


**PROPOSED EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



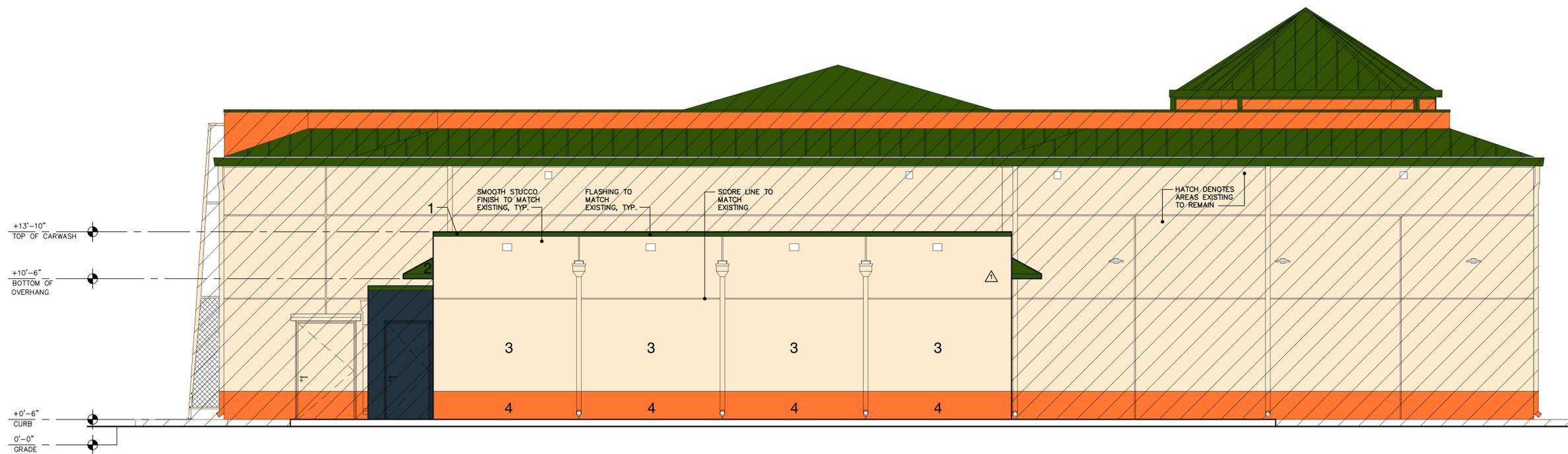
**PROPOSED WEST ELEVATION**  
SCALE: 1/4" = 1'-0"





MATERIALS LEGEND	
1	METAL FLASHING - GREEN (TO MATCH EXISTING)
2	METAL ROOFING - GREEN (TO MATCH EXISTING)
3	PAINTED STUCCO - BEIGE (TO MATCH EXISTING)
4	PAINTED STUCCO - ORANGE (TO MATCH EXISTING)

**PROPOSED SOUTH ELEVATION**



**PROPOSED NORTH ELEVATION**



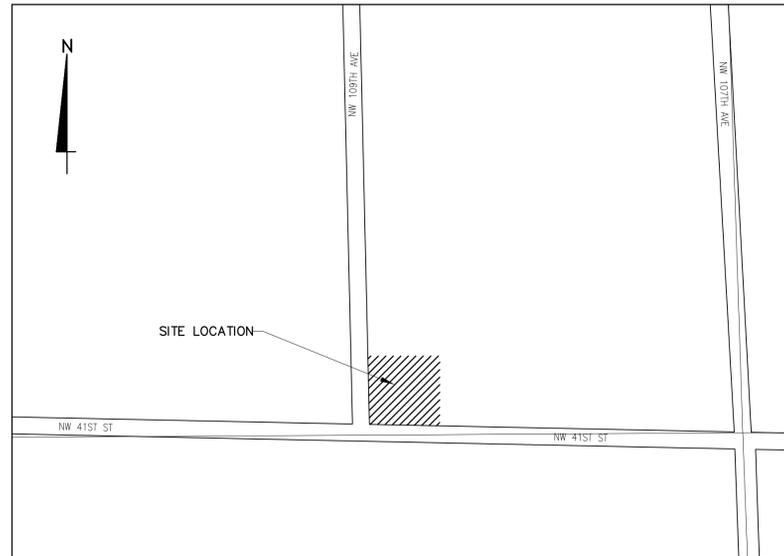
# NAZARI MOBIL, DORAL PROPOSED ADDITION

NAZARI ASSOCIATES VI, LLC  
10895 NW 41ST STREET, DORAL, FLORIDA 33178-4855  
FOLIO: 30-3019-030-0010  
SECTION 19, TOWNSHIP 53 SOUTH, RANGE 40 EAST

## GENERAL NOTES:

(NOT PART OF M-D WASD NOTES NOR APPROVAL)

- ALL BIDDERS ARE REQUIRED TO INSPECT THE PROJECT SITE IN ITS ENTIRETY PRIOR TO SUBMITTING THEIR BID, AND BECOME FAMILIAR WITH ALL CONDITIONS AS THEY MAY AFFECT THEIR BID. CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING THE CONSTRUCTION.
- LOCATIONS OF ANY UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES, PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY OWNER AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
- ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS-BUILT" DRAWINGS.
- ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
- OWNER TO BE RESPONSIBLE FOR MAINTENANCE OF SPEED HUMPS WITHIN PROPERTY LINES. FLA. STAT. §316.0747 STATES THAT SPEED HUMPS AND OTHER TRAFFIC CONTROL DEVICES MUST CONFORM TO THE UNIFORM SYSTEM OF TRAFFIC CONTROL DEVICES ADOPTED BY THE DEPARTMENT OF TRANSPORTATION. OWNERS ARE ENCOURAGED TO BRING TRAFFIC CONTROL DEVICES INTO COMPLIANCE WITH THE MANUAL, AND THOSE WHO DO NOT MAY BE EXPOSED TO INCREASED LIABILITY. ENGINEER NOT TO BE RESPONSIBLE FOR SPEED HUMPS.
- ALL KNOWN EXISTING STATE, COUNTY AND TOWN LOCATION LINES AND PRIVATE PROPERTY LINES HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND ARE INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS, INCLUDING BUT NOT LIMITED TO, THE ERECTION OF TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERING, OR FENCES AS NEEDED.
- THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
- FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
- TREES AND SHRUBS WITHIN THE LIMITS OF WORK SHALL BE REMOVED ONLY UPON THE APPROVAL OF THE ENGINEER OR AS NOTED ON THE PLANS.
- THE CONTRACTOR SHALL REMOVE ALL SURFACE VEGETATION PRIOR TO GRADING THE SITE. STUMPS SHALL BE REMOVED BY THE CONTRACTOR. TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS (INCLUDING SILT FENCE, COMPOST FILTER TUBES, OR SILT SOCKS) SHALL BE INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE PROJECT WHICH COST SHALL BE INCIDENTAL TO THE PROJECT.
- ALL UNSUITABLE UNCONTAMINATED EXCESS SOIL FROM CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OF THE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. REMOVAL ACTIVITIES SHALL BE ACCORDANCE WITH STATE AND LOCAL REGULATIONS AT NO ADDITIONAL COST TO THE OWNER. SUITABLE SOIL EXCAVATION AS PART OF THE PROJECT MUST MEET ONE OR MORE OF THE MATERIAL REQUIREMENTS INCLUDED IN THE PROJECT SPECIFICATIONS. ALL EXCAVATED FILL MATERIAL WHICH DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT NO ADDITIONAL COST.
- CONTRACTOR IS RESPONSIBLE FOR STAKING CONSTRUCTION BASELINES IN FIELD BY A SURVEYOR REGISTERED IN THE STATE OF FLORIDA.
- NO FILL SHALL CONTAIN HAZARDOUS MATERIALS.
- CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND PERIMETER OF WORK AREA (LIMIT OF WORK). FENCE SHALL NOT IMPEDE TRAVEL WAYS.
- ANY QUANTITIES SHOWN ON PLANS ARE FOR COMPARATIVE BIDDING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE PROJECT SITE TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO SUBMITTING BID.
- ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES, INCLUDING BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
- CONTRACTOR'S STAGING AREA MUST BE WITHIN THE CONTRACT LIMIT LINE AND IN AREAS APPROVED BY OWNER. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.
- THE CONTRACTOR SHALL KEEP ALL STREETS, PARKING LOTS AND WALKS THAT ARE NOT RESTRICTED FROM PUBLIC USE DURING CONSTRUCTION BROOM CLEAN AT ALL TIMES. THE CONTRACTOR SHALL USE ACCEPTABLE METHODS AND MATERIALS TO MAINTAIN ADEQUATE DUST CONTROL THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER.
- THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.
- DEEP SUMP CATCH BASINS AND STORMWATER BASIN SHALL BE CLEANED FOLLOWING CONSTRUCTION.
- HAULING OF EARTH MATERIALS TO AND FROM THE SITE SHALL BE RESTRICTED TO THE HOURS AND DAYS TO BE PROVIDED BY OWNER.
- ANY BOULDERS 3 CY OR SMALLER SHALL BE CONSIDERED UNDOCUMENTED FILL AND SHALL BE DISPOSED OF AT NO ADDITIONAL COST TO THE OWNER.
- WORK ON SATURDAYS SHALL ONLY BE CONDUCTED IF PRIOR WRITTEN PERMISSION IS PROVIDED BY THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE FILING AND PREPARATION OF THE NPDES CONSTRUCTION GENERAL PERMIT APPLICATION, INCLUDING THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), PRIOR TO THE START OF WORK.
- THE SUBJECT PROPERTY LIES IN FLOOD ZONE AH, BASE FLOOD ELEV. 7 FEET, AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) COMMUNITY-PANEL NUMBER 120041, MAP NO. 12086C0286, SUFFIX L, REVISED DATE: 09-11-2009. BASE FLOOD ELEVATIONS ON FLOOD INSURANCE RATE MAP (FIRM) FOR MIAMI-DADE COUNTY ARE REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 1929).
- ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL INCLUDE PROPER SIGNAGE COMPLIANT WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA).



## LOCATION MAP

SCALE: 1" = 300'

## INDEX OF SHEETS:

- C-1 COVER SHEET, LOCATION MAP AND NOTES  
C-2 PAVING, GRADING AND DRAINAGE PLAN  
SWPP-1 STORMWATER POLLUTION PREVENTION PLAN

## LEGAL DESCRIPTION

A PORTION OF TRACT "A" OF DORAL INTERNATIONAL PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 155, AT PAGE 53 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGIN AT THE NORTHWEST CORNER OF SAID TRACT "A"; THENCE N89deg34min30secE ALONG THE NORTH LINE OF SAID TRACT "A" FOR A DISTANCE OF 254.41 FEET; THENCE S00deg25min30secE FOR A DISTANCE OF 264.91 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT "A"; THENCE S89deg34min32secW ALONG SAID SOUTHERLY LINE OF TRACT "A", ALSO BEING THE NORTHERLY RIGHT OF WAY LINE OF N.W. 41ST STREET, FOR A DISTANCE OF 224.00 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 25.00 FEET, THROUGH A CENTRAL ANGLE OF 88deg42min51secW ALONG THE WEST LINE OF SAID TRACT "A", ALSO BEING THE EASTERLY RIGHT OF WAY LINE OF N.W. 109TH AVENUE FOR A DISTANCE OF 240.53 FEET TO THE POINT OF BEGINNING.

## LEGEND

ABBREVIATION	SYMBOL	DEFINITION	ABBREVIATION	SYMBOL	DEFINITION	ABBREVIATION	SYMBOL	DEFINITION
		90° BEND			FIRE HYDRANT ASSEMBLY			REDUCER
		45° BEND	FH		FIRE HYDRANT		R/W	RIGHT-OF-WAY
		BUILDING	MH		GATE VALVE			ROUND GRATE CATCH BASIN
BLDG.		CATCH BASIN	SD		MANHOLE	CB		SEWAGE FLOW DIRECTION
CB		CENTERLINE	N.G.V.D.		EXIST. STORM DRAINAGE			TEE
CL		CROSS			NATIONAL GEODETIC VERTICAL DATUM			PLUG & FLUSH VALVE OUTLET
		DRAINAGE FLOW			PLUG & FLUSH VALVE OUTLET	WM		EXIST. WATER MAIN LINE
ELEV.		EXISTING ELEVATION			PROPERTY LINE	NPW		EXIST. NON-POTABLE WATER
CLF		CHAIN LINK FENCE			PROPOSED ELEVATION			EXIST. SANITARY SEWER LINE

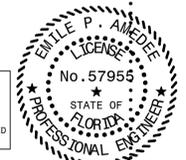
## ENGINEER'S NOTES:

(NOT PART OF M-D WASD NOTES NOR APPROVAL)

- ALL SECTIONS INDICATED HEREIN REFER TO THE PUBLIC WORKS MANUAL OF MIAMI DADE COUNTY, CITY OF DORAL AND OTHER APPLICABLE MIAMI DADE COUNTY STANDARDS AND SPECIFICATIONS.
- ALL UNDERGROUND INFORMATION SHALL BE VERIFIED WITH THE DIFFERENT UTILITY COMPANIES BEFORE THE START OF ANY CONSTRUCTION OR EXCAVATION, NEITHER THE ENGINEER OR OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THIS ITEM.
- ALL UNDERGROUND INSTALLATIONS SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION AND EXCAVATION.
- ALL ELEVATIONS REFER TO N.G.V.D. OF THE 1929 DATUM.
- CONTRACTOR SHALL CALL "811 SUNSHINE", FIELD VERIFY ALL UTILITIES I.E. UTILITY POLES, WATER METERS, SEWER LATERAL INVERT AND FIRE HYDRANTS PRIOR TO BEGIN WORK. SHOULD CONFLICT EXIST CONTACT ENGINEER IMMEDIATELY.
- FOR LOCATION OF ASPHALT, RADIUS RETURNS, PEDESTRIAN RAMP, SIDEWALK, DUMPSTER PAD CONSTRUCTION AND SPECIFICATIONS SEE ARCHITECTS' PLANS.
- FOR DEMOLITION OTHER THAN SPECIFIED IN THIS PLANS SEE ARCHITECTURAL PLANS.
- ENGINEER IS NOT RESPONSIBLE FOR ANY AESTHETIC DEFECTS/DEFICIENCIES FROM THE CONSTRUCTION OF PROPOSED DESIGN AND SHALL BE COORDINATED WITH OWNER AT TIME OF ACCEPTANCE.
- CONTRACTOR TO APPLY SEDIMENT AND EROSION CONTROL MEASURES AROUND ENTIRE PROPERTY, SURROUNDING ALL AREAS OF CONSTRUCTION. SEE DETAILS AND NOTES. CONTRACTOR SHALL VERIFY WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR NPDES PERMIT REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE AN AS-BUILT DRAWING FOR THE CLOSURE OF THE PROJECT PROVIDING ALL THE NECESSARY INVERTS, GRADES AND TRENCH SECTIONS SHOWING DEPTH OF TRENCH. AS-BUILT DRAWING SHALL BE SIGNED AND SEALED BY A LICENSED SURVEYOR AND TO BE CERTIFIED BY THIS OFFICE.
- CONTRACTOR TO FOLLOW RECOMMENDATION BY GEOTECHNICAL ENGINEER FOR SUB-SURFACE PREPARATION.
- PAVEMENT REMOVAL AND REPLACEMENT
  - PAVEMENT SHALL BE MECHANICALLY SAWED.
  - THE REPLACEMENT ASPHALT SHALL MATCH THE EXISTING STRUCTURAL AND FRICTION COURSES FOR TYPE AND THICKNESS IN ACCORDANCE WITH SPECS. OR CURRENT FDOT ASPHALT MIX SPECIFICATIONS.
  - THE NEW BASE MATERIALS SHALL BE EITHER OF THE SAME TYPE AND COMPOSITION AS THE MATERIALS REMOVED OR OF EQUAL OR GREATER STRUCTURAL ADEQUACY (SEE INDEX NO. 514).

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY EMILE P. AMEDEE, P.E. ON THE DATE ADJACENT TO THE SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

10/04/2022



Emile P. Amedeo  
Florida Registration PE 57955

Proposed Addition  
Nazari Mobil, Doral  
Owner: Nazari Associates VI, LLC  
10895 NW 41 St, Doral, FL 33178

C-0



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

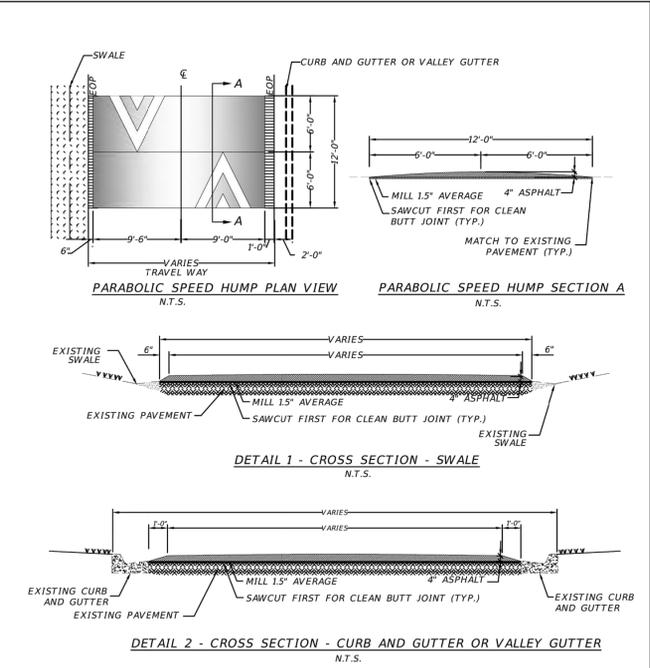
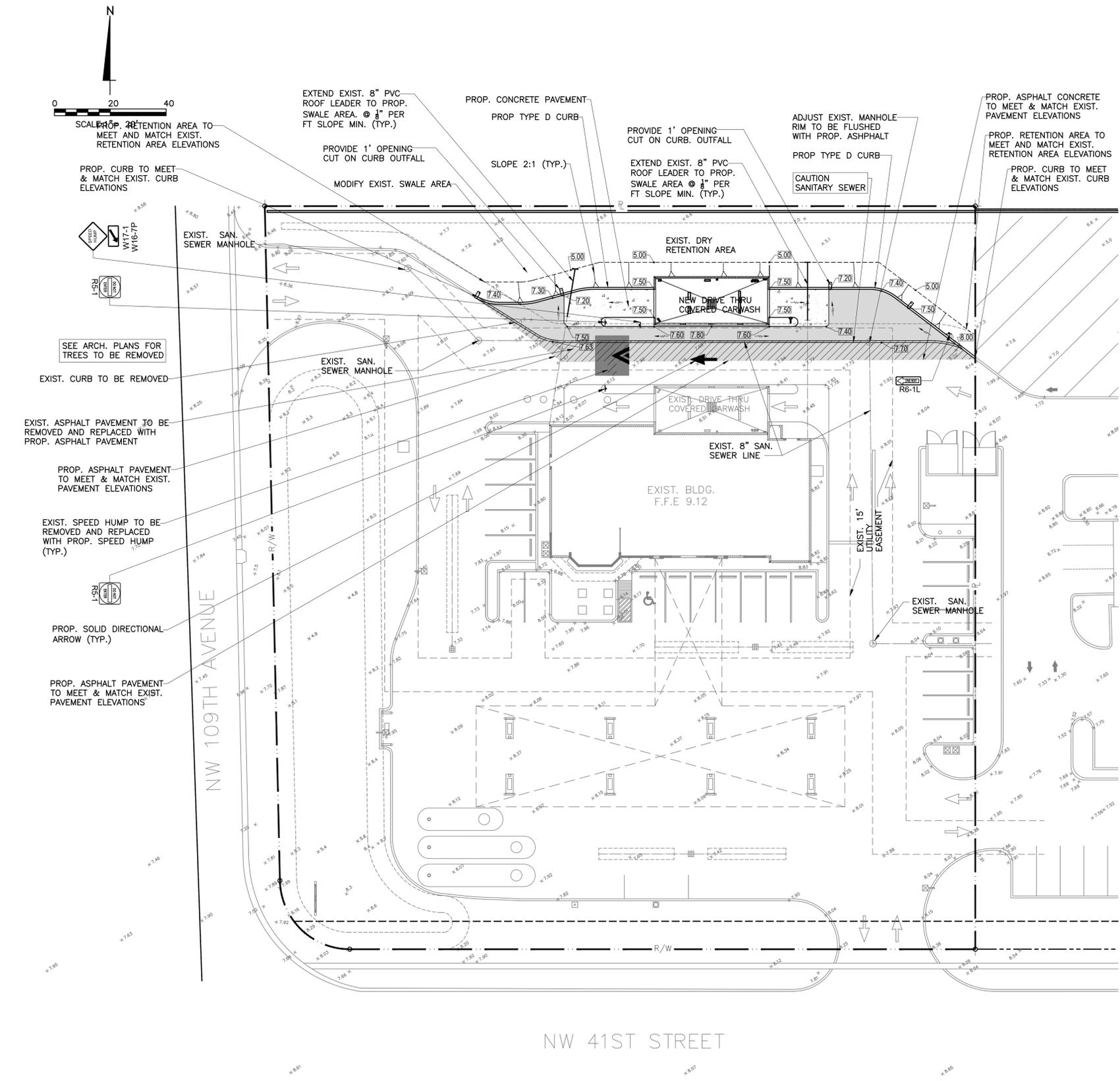
Check positive response codes before you dig!



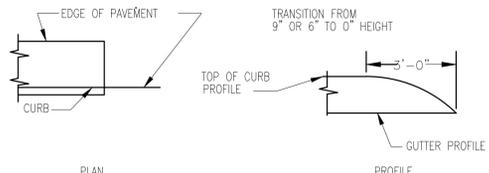
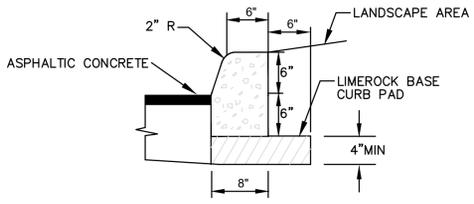
Orlando Alonzo Jr.  
Florida Registration AR 14138  
Professional Engineer  
SIGNED, SEALED & DATED

Job: A2184 Start: 09/23/2021

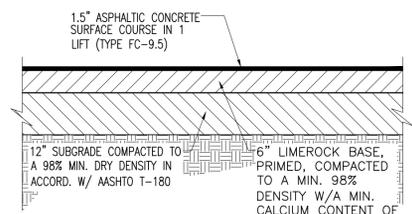
oa-arch.com



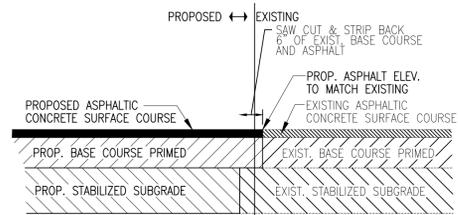
**SPEED HUMP DETAIL**  
N.T.S.



**DETAIL OF STANDARD CURB ENDING**  
N.T.S.



**TYPICAL SECTION**  
N.T.S.



**ASPHALT TIE-IN DETAIL**  
N.T.S.

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10/04/2022

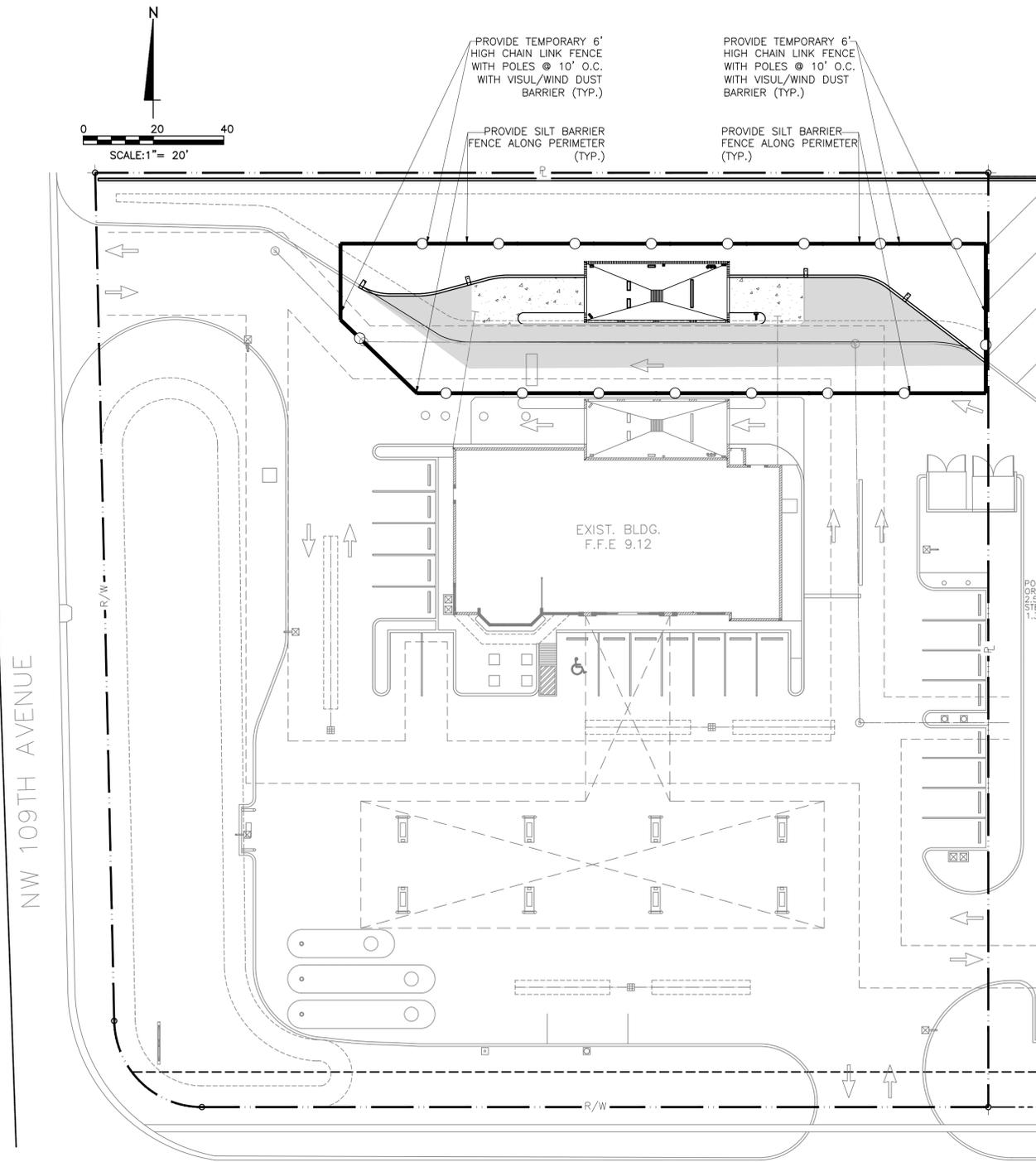
**PAVING, GRADING, AND DRAINAGE PLAN**

SCALE: 1"=20'

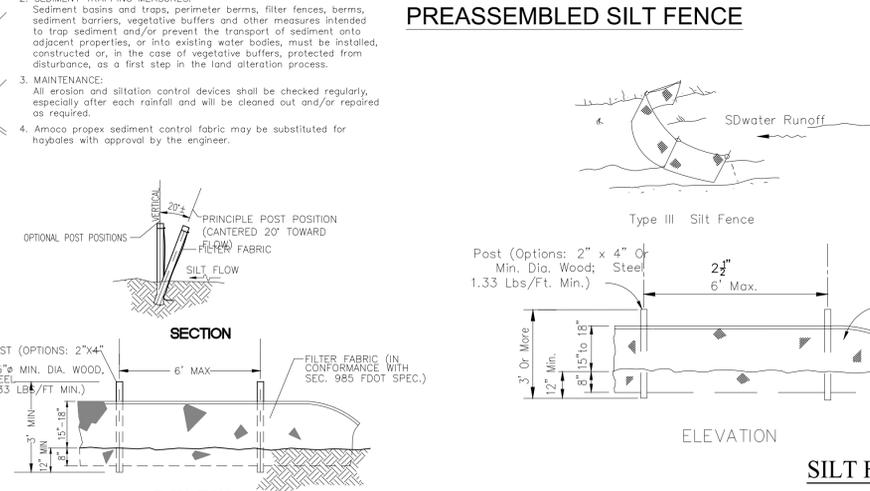
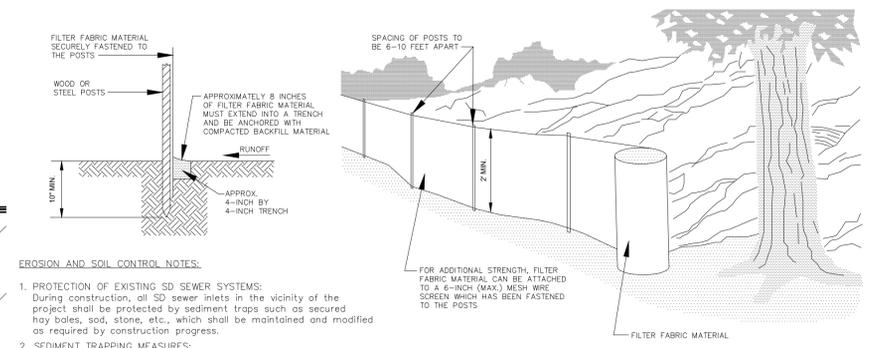
**AMBRO, INC.**  
Consulting Engineers and Planners  
13335 SW 124 STREET, SUITE 111  
MIAMI, FL. 33186  
TEL: (305) 234-7424 -  
www.ambroeng.com

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Check positive response codes before you dig!

Orlando Alonso Jr.  
 Florida Registration AR 14138  
 PROFESSIONAL SEAL & SIGNATURE  
 Job: A2184 Start: 09/23/2021  
 Proposed Addition  
 Nazari Mobil, Doral  
 Owner: Nazari Associates VI, LLC  
 10895 NW 41 St, Doral, FL 33178  
 C-1



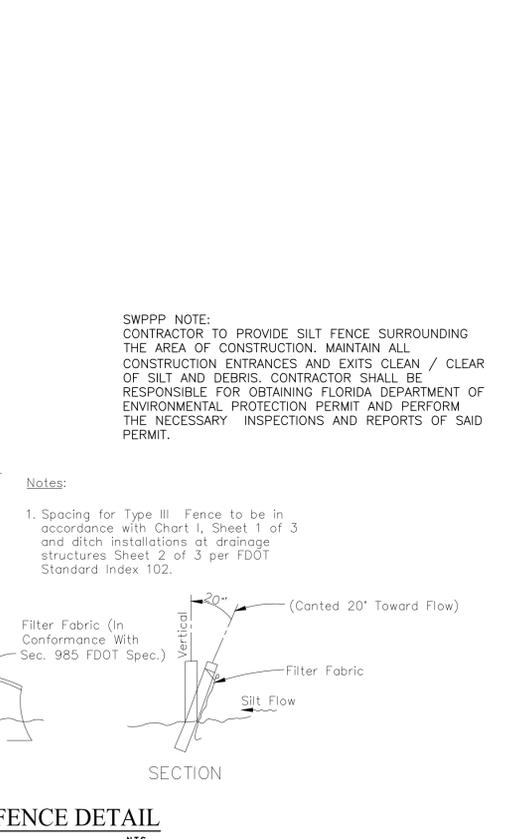
**STORMWATER POLLUTION PREVENTION PLAN**  
SCALE: 1"=20'



**STORMWATER POLLUTION PREVENTION PLAN**

1. TREE PROTECTION AND PRUNING SHALL BE ACCOMPLISHED AS DETAILED IN SPECIAL PROVISIONS, THE CONSTRUCTION PLANS, AND OR PER TREE ORDINANCE 12636.
2. THE SD WATER POLLUTION PREVENTION PLAN, SWPPP, SUBMITTED TO PUBLIC WORKS, SHALL DESCRIBE IN DETAIL HOW THE CONSTRUCTION EFFORT WILL BE PHASED WITH REGARDS TO MINIMIZING EROSION PROBLEMS BY THE USE OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES, FOR THE VARIOUS SEQUENCES OF CONSTRUCTION OPERATIONS. ANY MODIFICATIONS MUST BE APPROVED BY THE CITY OF MIAMI - NPDES SECTION, DEPARTMENT OF PUBLIC WORKS.
3. ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN THE SWPPP, ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM, OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM SILTATION AS DETAILED ON SHEET 2 OF 4 OF MISC. 35-89-6.
4. ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH N.P.D.E.S. REQUIREMENTS. THE CONTRACTOR MUST INSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.
5. ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.
6. ANY DAMAGED OR INEFFECTIVE ROCK BAGS ARE TO BE REPLACED WITH NEW ONES. THE LOCATION OF ROCK BAGS INSTALLATION IS AS MENTIONED IN THE SWPPP PLANS. THE PROJECT ENGINEER MAY SPECIFY OTHER AREAS AS NECESSARY.
7. DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP. COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE.
8. CURB INLETS ALSO SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL EXPOSED SLOPED MATERIAL ADJACENT TO INLET, SHALL BE COVERED WITH EROSION CONTROL MATTING WITH OUTER LIMITS PROTECTED BY ROCK BAGS.
9. STOCKPILED MATERIAL SHALL NOT BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER OR ROCK BAGS.
10. INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES, SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BE NOTED AND CORRECTED.
11. ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPAL SEPARATE SD WATER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES IS NOT ALLOWED. REFER TO PUBLIC WORKS DEPARTMENT BULLETIN No. 25 and City Ordinance 13081.
12. THE USE OF SANITARY SEWERS, FRENCH DRAINS, COVER DITCHES AND/OR ROCK DRAINS FOR THE DISPOSAL OF WASTEWATER IS EXPRESSLY PROHIBITED. REFER TO PUBLIC WORKS DEPARTMENT BULLETIN No. 25 and City Ordinance 13081.

\* NPDES - NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM Authorized by NPDES permit FLS 000002.  
BMP - Best Management Practice.



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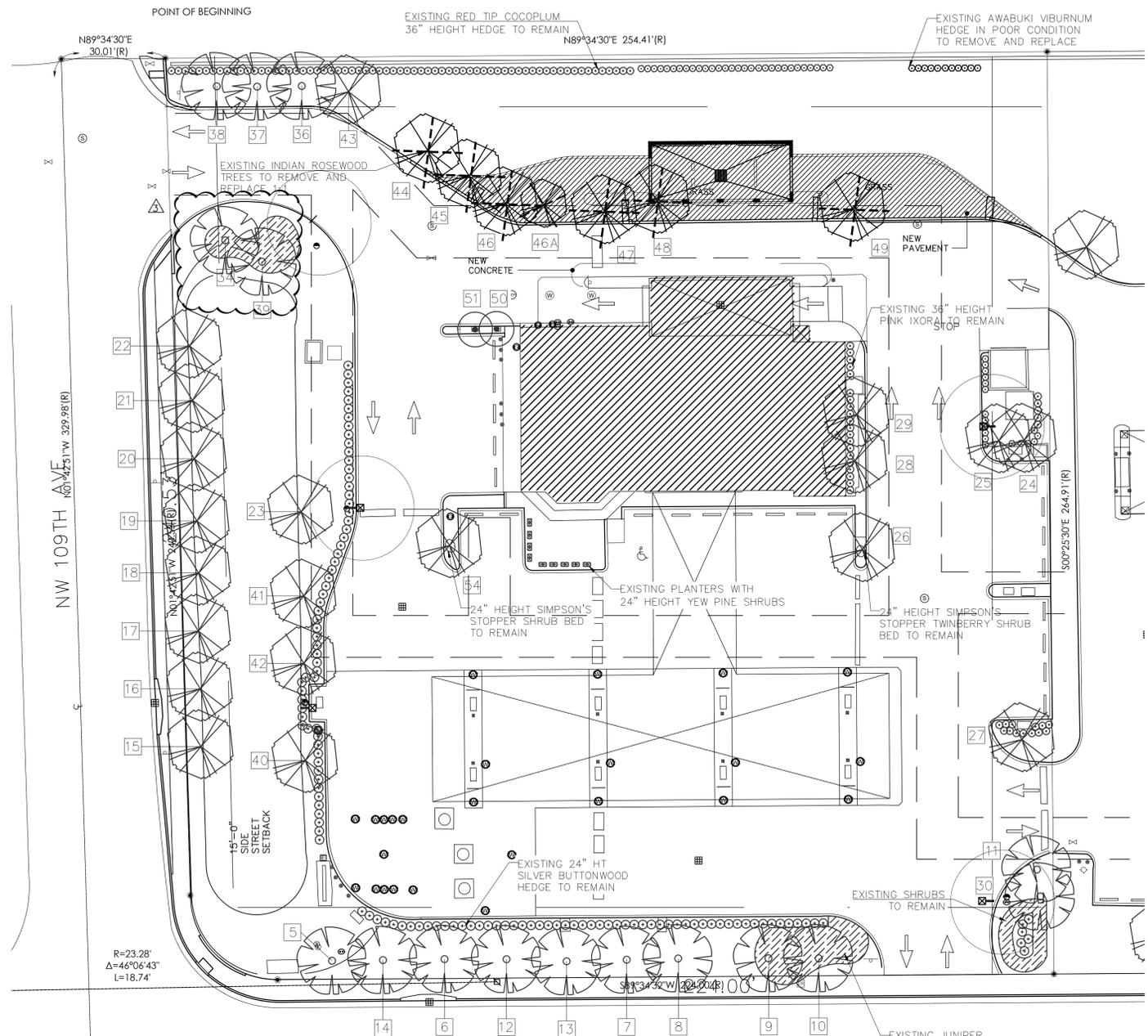
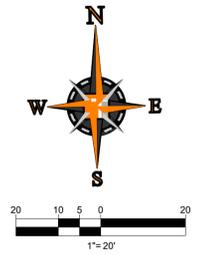
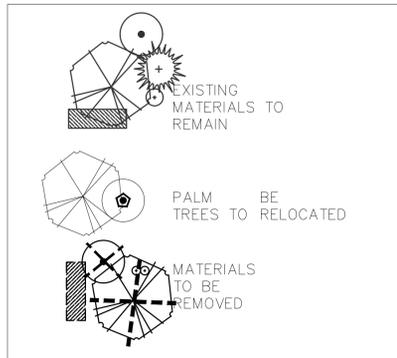
**THOMAS**  
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

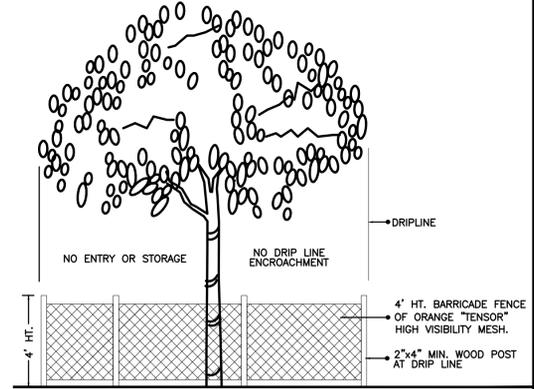
4850 W. KENNEDY BLVD. # 4850 W. KENNEDY BLVD.  
JUPITER, FL 33458  
TAMPA, FL 33609  
P. 561-203-7603  
P. 813-379-4100

6500 NW 31st AVE  
FORT LAUDERDALE, FL 33309  
P. 954-202-7070  
P. 954-202-7070

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- GENERAL NOTES:**
- Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
  - Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4170 Two Full Business Days prior to digging for underground utility locations.
  - Contractor shall be responsible for providing final grading of all associated planting areas.
  - After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off-site.
  - All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 3).
  - No pruning of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.
  - Contractor shall stake & guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during warranty period and removal & disposal of staking after establishment period.
  - WATERING:** All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as needed thereafter for a period of 2 months.
  - No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
  - Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
  - Root-prune all trees a minimum of (8) weeks prior to planting.
  - Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.



**TREE PRESERVATION BARRICADE FENCING DETAIL**  
N.T.S.

REVISIONS

REV.	DATE	COMMENT	BY:
Δ	5/16/23	REV. PER P&Z COMMENTS 05/16	LD

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PROJECT No.: F220006  
DRAWN BY: LD  
CHECKED BY: MDG  
DATE: 01/27/2022  
CAD I.D.: F220006 LANDSCAPE

PROJECT:  
**PROPOSED REMODELING**  
FOR  
**NAZARI ASSOCIATES VI, LLC**

MOBIL 10895 NW 41 ST.  
DORAL, FLORIDA

**THOMAS**  
ENGINEERING GROUP

6300 NW 31st AVE  
FORT LAUDERDALE, FL 33309  
PH: (954) 202-7000  
FX: (954) 202-7070  
www.ThomasEngineeringGroup.com

**MICHAEL D. GROSSWIRTH**  
REGISTERED LANDSCAPE ARCHITECT  
FLORIDA LICENSE NO. 186871  
FLORIDA BUSINESS REGISTRATION NO. 27528

SHEET TITLE:  
**DISPOSITION PLAN & CHART**

SHEET NUMBER:  
**L-1.0**

**EXISTING TREE DISPOSITION CHART**

TREE NO.	BOTANICAL NAME	COMMON NAME	HT (ft)	SPR (ft)	DBH (ins)	CANOPY s.f.	CONDITION	DISPOSITION	COMMENTS
5	Roystonea elata	Royal Palm	30	20	16	314	Fair	REMAIN	
6	Roystonea elata	Royal Palm	30	15	16	177	Fair	REMAIN	
7	Roystonea elata	Royal Palm	30	20	16	314	Fair	REMAIN	
8	Roystonea elata	Royal Palm	30	15	16	177	Fair	REMAIN	
9	Roystonea elata	Royal Palm	30	25	16	491	Fair	REMAIN	
10	Roystonea elata	Royal Palm	30	25	16	491	Fair	REMAIN	
11	Roystonea elata	Royal Palm	30	20	16	314	Fair	REMAIN	
12	Roystonea elata	Royal Palm	30	15	16	177	Fair	REMAIN	
13	Roystonea elata	Royal Palm	30	15	16	177	Fair	REMAIN	
14	Roystonea elata	Royal Palm	25	15	16	177	Fair	REMAIN	Rot at base
15	Quercus virginiana	Live Oak	25	20	16	628	Fair	REMAIN	
16	Quercus virginiana	Live Oak	25	20	16	628	Fair	REMAIN	
17	Quercus virginiana	Live Oak	25	20	10	628	Fair	REMAIN	
18	Quercus virginiana	Live Oak	25	20	14	628	Fair	REMAIN	
19	Quercus virginiana	Live Oak	25	20	9	628	Fair	REMAIN	
20	Quercus virginiana	Live Oak	25	20	14	628	Fair	REMAIN	Flush cuts
21	Quercus virginiana	Live Oak	30	25	16	982	Fair	REMAIN	Flush cuts
22	Quercus virginiana	Live Oak	35	20	16	628	Fair	REMAIN	Included bark, flush cuts
23	Acer rubrum	Red Maple	24	15	12	363	Poor	REMAIN	Included bark, exposed roots
24	Dalbergia sissoo	Indian Rosewood	20	16	14		Poor	REMAIN	INVASIVE - Flush cuts, multi trunk, base of trunk damaged
25	Dalbergia sissoo	Indian Rosewood	18	20	15		Poor	REMAIN	
26	Quercus virginiana	Live Oak	18	15	11	393	Fair	REMAIN	
28	Tabebuia caribaea	Silver Trumpet	30	18	16	509	Fair	REMAIN	
29	Tabebuia caribaea	Silver Trumpet	30	18	14	509	Fair	REMAIN	
30	Roystonea elata	Royal Palm	30	25	12	491	Fair	REMAIN	
34	Roystonea elata	Royal Palm	30	8	16	50	Fair	REMAIN	
36	Roystonea elata	Royal Palm	30	10	16	79	Fair	REMAIN	
37	Roystonea elata	Royal Palm	30	10	16	79	Fair	REMAIN	
38	Roystonea elata	Royal Palm	30	10	16	79	Fair	REMAIN	
39	Roystonea elata	Roystonea elata	30	10	16	79	Fair	REMAIN	Yellowing leaves, signs of rot
40	Ilex cassine	Dahoon Holly	15	10	6	157	Fair	REMAIN	Exposed roots
41	Acer rubrum	Red Maple	25	20	10	628	Poor	REMAIN	Included bark, Triple - trunk, exposed roots
42	Acer rubrum	Red Maple	25	20	10	628	Fair	REMAIN	Exposed roots
43	Dalbergia sissoo	Indian Rosewood	30	10	16		Fair	REMAIN	INVASIVE
44	Dalbergia sissoo	Indian Rosewood	35	30	25		Poor	remove	INVASIVE - Flush cuts, included bark
45	Dalbergia sissoo	Indian Rosewood	28	30	12		Poor	remove	INVASIVE - Flush cuts, poor trunk and structure
46	Dalbergia sissoo	Indian Rosewood	28	20	18		Poor	remove	INVASIVE - Included bark, flush cuts, limb damage
46A	Ilex cassine	Dahoon Holly	12	8	6	101	Poor	remove	Leaning, trunk and limb damage, poor canopy growth
47	Dalbergia sissoo	Indian Rosewood	20	18	18		Poor	remove	INVASIVE - Flush cuts, multi-dominant, included bark
48	Dalbergia sissoo	Indian Rosewood	15	13	11		Poor	remove	INVASIVE - Limb damage, flush cuts
49	Dalbergia sissoo	Indian Rosewood	20	15	13		Poor	remove	INVASIVE - Multi-dominant, limb damage, flush cuts, exposed roots
50	Veitchia arecina	Montgomery Palm	15	10			Poor	REMAIN	Exposed roots, small planting area
51	Veitchia arecina	Montgomery Palm	16	10			Poor	REMAIN	Exposed roots, small planting area
54	Ilex cassine	Dahoon Holly	14	10	5	157	Poor	REMAIN	Poor canopy growth

TOTAL CANOPY IN AFFECTED AREA: 12,439  
TOTAL CANOPY TO REMAIN/RELOCATE: 12,339  
TOTAL CANOPY TO BE REMOVED: 101  
TOTAL CAT 1 TREES FOR REPLACEMENT: 0.20

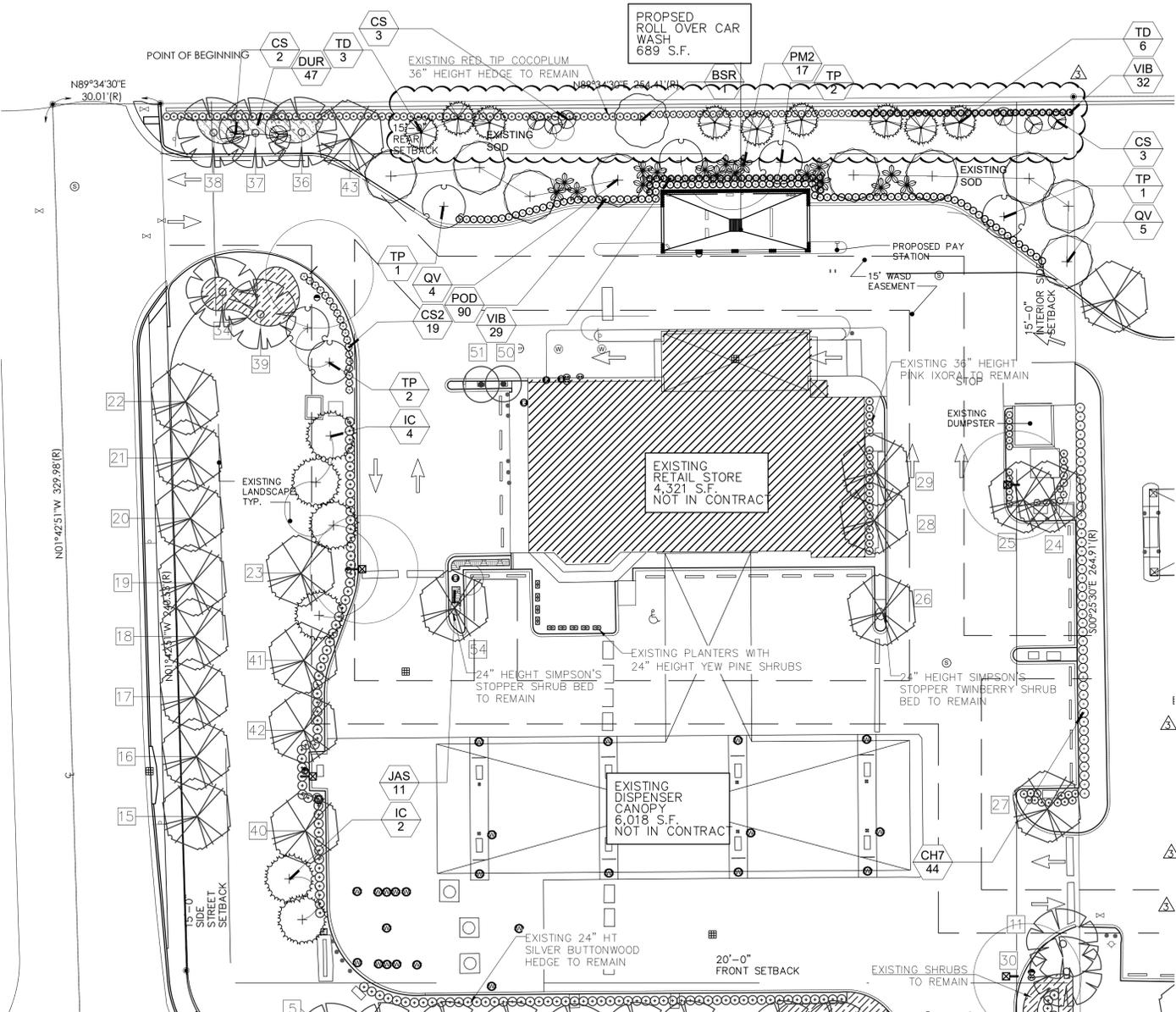
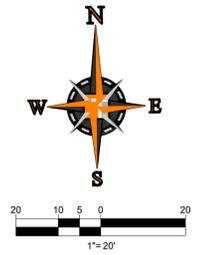
\*Per Miami-Dade County Code of Ordinances, Chapter 24, Article IV, Div. 2, Sec. 24-49.2.4.ii - Specimen Tree Standards: Specimen Trees (trees with 18" or greater dbh, shall be replaced at 2X the required canopy replacement standards.

PER SEC. 71-110 PROHIBITED AND CONTROLLED TREE SPECIES SHALL NOT BE COUNTED TOWARDS FULFILLING MINIMUM TREE REQUIREMENTS. PROHIBITED TREES SHALL BE REMOVED FROM THE SITE.

PLEASE REFER TO SHEET L-2.0 FOR LANDSCAPE PLAN, PLANTING SCHEDULE & DETAILS; AND SHEET L-2.1 FOR LANDSCAPE GENERAL NOTES.

TREE REPLACEMENT SHALL BE AT 1:1 TO MEET MINIMUM PREVIOUSLY APPROVED LANDSCAPE PLAN.

PER SEC. 24-49.9 PROHIBITED PLANT SPECIES PER MIAMI DADE COUNTY CODE, IF INVASIVE SPECIES ARE PRESENT ON SITE, THEY SHALL BE REMOVED PRIOR TO DEVELOPMENT OR REDEVELOPMENT.



**CITY OF DORAL, FLORIDA - LANDSCAPE CODE COMPLIANCE CHART**  
Doral Code of Ordinances - Chapter 71 - Landscaping and Buffers

Sec. 71-101: Tree Size From The Time of Planting 10' height, 2.5" caliper			
Sec. 71-102: Street Tree Size From The Time of Planting 14' ht. Min, 2.5" dbh, 4" c.t.			
Sec. 71-104: Palm Trees 14' ca. Min. and 4" cal. Min			
Sec. 71-111: 30% Max of Required Trees May be Palms (2 Palms : 1 Tree; Palms as Street Trees, 1 Palm: 1 Tree) 50% Min. of required Trees & Shrubs shall be Native species			
Sec. 71-109: Existing trees required by law to be preserved on site... may be counted toward fulfilling the minimum tree requirements.			
Sec. 71-180/71-184 Buffer yards between dissimilar land uses North PUD (Factor 5) and Commercial (Factor 7) 7-5=Type 2 Type 2 - Min. 10' wide 3 Shade trees/3 Understory/30 Shrubs	254.41 lf	8 TREES 8 UNDERSTORY 77 SHRUBS	8 TREES 8 UNDERSTORY 77 SHRUBS
Sec. 71-105: Minimum Number of Trees (22) Trees / Net Lot Acre (Zoning: CC) Gross Site Area - 66,476 sf (1.5 ac)	(1.5 ac * 22)	33 TREES	33 TREES
Maximum Turf Area (20% of Required Open Space)	(13,295 sq.ft. x 20%)	2,659 sq.ft.	1,390.64 sq.ft.
Sec. 71-144: Shrubs 10 Shrubs/Required Tree 50% Native		780 SHRUBS 315 SHRUBS	780 SHRUBS 438 SHRUBS (64.22%)
Sec. 71-213 Landscaping in Parking Lots 10 sq. ft. of landscape area/parking space (38 parking spaces = 380 sq.ft.) 1 Tree Required/80 sq. ft. of landscape area 1 Tree/Parking Island (14', 4" cal.) - 5 Islands		380 sq.ft. 5 TREES 5 TREES	exceeds 5 TREES 5 TREES
Sec. 71-102 Street Trees Street Trees @ 35' oc. w/in 7' of edge of roadway pavement or within 15' wide buffer along public streets 7' of the sidewalk NW 41 Street: 190 lf NW 109 Ave: 310.42 lf	(190 lf/35) (231.89 lf/35)	6 TREES 7 TREES	6 TREES 7 TREES
MITIGATION CANOPY REMOVED ≤ CANOPY REPLACED ONE (1) TREE BEING REMOVED FROM SITE @ 101 SF CANOPY = 1 REPLACEMENT TREE		1 TREE	1 TREE
<b>TOTALS</b>		65 TREES 8 UNDERSTORY 1,172 SHRUBS	65 TREES* 8 UNDERSTORY 1,172 SHRUBS
*35 Existing trees counting towards min. landscape requirements		NATIVE 33 TREES	55/65 TREES (84.6%)

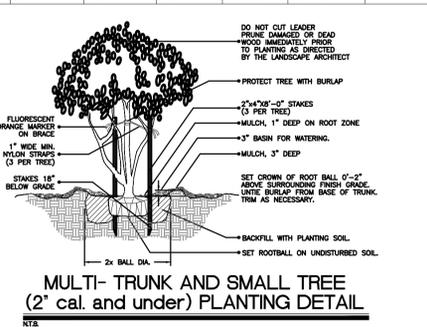
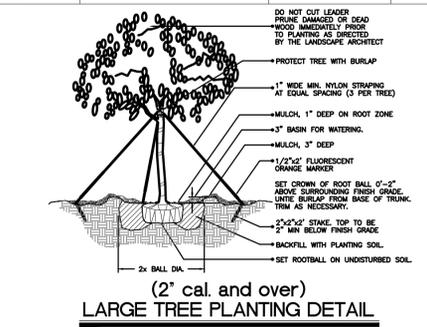
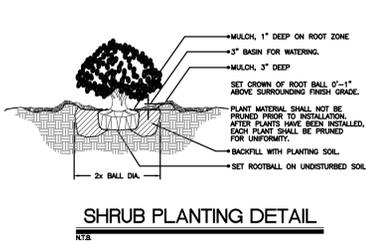
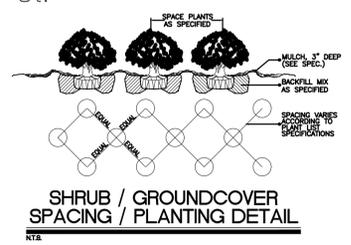
PER SEC. 24-49.4 MIAMI DADE COUNTY REPLACEMENT REQUIREMENTS FOR TREE REMOVAL, ALL REPLACEMENT TREES SHALL HAVE A MINIMUM QUALITY OF FLORIDA NO.1 GRADE OR BETTER.

ALL CATEGORY 1 REPLACEMENT SHADE TREES SHALL BE A MINIMUM OF TWELVE (12) FEET IN HEIGHT AT THE TIME OF PLANTING AND AT MATURITY SHOULD HAVE A CANOPY COVERAGE OF FIVE (500) HUNDRED SQUARE FEET UNDER NORMAL GROWING CONDITIONS.

IF DAMAGED OR DESTROYED, ANY EXISTING PLANT MATERIALS SCHEDULED TO REMAIN, INCLUDING SOD, SHALL BE REPLACED WITH THE SAME SPECIES AT A SIMILAR SIZE.

TREE REPLACEMENT SHALL BE AT 1:1 TO MEET MINIMUM PREVIOUSLY APPROVED LANDSCAPE PLAN. (7 TREES REMOVED EQUAL 7 TREES REQUIRED FOR REPLACEMENT ON SITE.)

PLEASE REFER TO SHEET L-1.0 FOR DISPOSITION PLAN & DISPOSITION CHART; AND SHEET L-2.1 FOR LANDSCAPE GENERAL NOTES.



**PLANT SCHEDULE**

TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
CS	8	Orange Geiger Tree	Cordia sebestena	B & B	2.5" Cal	10-12' Ht	5'	Yes	High	4' CT
IC	6	Dahoon Holly	Ilex cassine	B & B	4" Cal	14' Ht	5'	Yes	High	4' CT
QV	9	Southern Live Oak	Quercus virginiana	B & B	4" Cal	14-16' ht.	6-8'	Yes	High	
TD	9	Bald Cypress	Taxodium distichum	B & B	4" Cal	14-16' ht.	5-6'	Yes	High	
TP	6	Pink Tabebuia	Tabebuia pallida	B & B	2.5" Cal	10-12' Ht	8'	No	High	5' CT

REPLACEMENT TREES	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
BSR	1	Gumbo Limbo	Bursera simaruba	B & B	4" Cal	14' Ht	5-6'	Yes	High	5' CT

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	REMARKS
CH7	44	Red Tip Cocoplum	Chrysobalanus icaco 'Red Tip'	-	30"	42"	30"	Yes	High	full to base
CS2	19	Silver Buttonwood	Conocarpus erectus sericeus	NA	24"	24"	24"	Yes	High	
PM2	17	Pygmy Date Palm Multi-Trunk	Phoenix roebelenii	25 gal	As Shown	5-6' Ht	3-4'	No	High	Accent
POD	90	Shrubby Yew	Podocarpus macrophyllus maki	-	24"	42"	24"	No	Medium	
VIB	61	Sandankwa Viburnum	Viburnum suspensum	NA	24"	24"	24"	No	High	Full to base

SHRUB AREAS	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC	SPACING	REMARKS
DUR	47	Sky Flower	Duranta repens 'Dwarf Golden'	n/a	24"	16-18"	16-18"	Yes	High	24" o.c.	
JAS	11	Southern Wax Jasmine	Jasminum simplicifolium	n/a	24"	18"	18"	No	Medium	24" o.c.	

REVISIONS

REV.	DATE	COMMENT	BY
Δ 1	5/16/23	REV. PER P&Z COMMENTS 05/16	LD

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PROJECT No.: F220006  
DRAWN BY: LD  
CHECKED BY: MDG  
DATE: 01/27/2022  
CAD I.D.: F220006 LANDSCAPE

**PROPOSED REMODELING**  
FOR  
**NAZARI ASSOCIATES VI, LLC**

MOBIL 10895 NW 41 ST.  
DORAL, FLORIDA

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SHEET TITLE:  
**LANDSCAPE PLAN & CODE CHART**  
SHEET NUMBER:  
**L-2.0**

LANDSCAPE GENERAL NOTES

A. SCOPE OF WORK
1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS, EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP - LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELERIOUS MATERIALS WITHIN THE DRIP - LINE.

2. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT, TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY PERCENT (20%) PER INCH ABOVE FOUR INCHES (4") CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES, OR AS MAY BE REQUIRED BY THE REGULATING GOVERNMENT AGENCY, WHICHEVER IS GREATER. CALIPER SHALL BE MEASURED AT BRANCH HEIGHT OR FOUR FEET (4') ABOVE SURROUNDING GROUND.

D. MATERIALS

1. SUBMITTALS: GENERAL SAMPLES OF PLANTING MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER, UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS SAMPLE SUBMITTALS

MULCH ONE (1) CUBIC FOOT

TOPSOIL ONE (1) CUBIC FOOT

PLANTS ONE (1) REPRESENTATIVE SAMPLE OF EACH VARIETY

2. PLANT MATERIALS

A) GENERAL: PLANT SPECIES, SIZES, & QUANTITIES SHALL, AT A MINIMUM, CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION, ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" PARTS I AND II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA NO. 1 AS AN ABSOLUTE MINIMUM UNLESS OTHERWISE SUPERSEDED BY A FLORIDA FANCY DESIGNATION, AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL - BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER, WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B) MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE TOP OF ROOT BALL (TRUNK FLARE) AND/OR ACROSS THE AVERAGE SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C) INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH PRELIMINARY APPROVAL SHALL NOT SUPERSEDE THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES, PRESENCE OF INSECTS, AND OTHER CONDITIONS THAT MAY HAVE OCCURRED SINCE THE INSURERY INSPECTION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

D) AMENDED PLANTING SOIL: PLANTING SOIL FOR USE IN BACK FILLING PLANTING HOLES SHALL BE FORTY PERCENT (40%) TOPSOIL AND SIXTY PERCENT (60%) SAND AND BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL-DRAINED, ARABLE SITE. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, COARSE SAND, STONES, LIMES, LUMPS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, OR NOXIOUS WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. PH RANGE SHALL BE 5.0 TO 7.0 INCLUSIVE.

E) SAND SHALL BE CLEAN, WELL DRAINING NATIVE SAND. IF REQUESTED, CONTRACTOR SHALL AT ANY TIME AND AT NO COST TO THE OWNER, THE RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY OWNER.

F. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

F. COMMERCIAL FERTILIZER

1. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.

2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14 - 14 - 14
3. SOD - 9 - 9 - 9
IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24 - 10 - 5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT THE RATE AND DEPTH SPECIFIED BY MANUFACTURER.

G. MULCH

1. MULCH SHALL BE FROM SHREDDED WOOD DERIVED FROM MELALEUCA OR OTHER INVASIVE TREE SPECIES AND SHALL BE STERILIZED TO EFFECTIVELY ELIMINATE ALL SEEDS, SPORES, ETC. AND RENDER THEM BARREN.

2. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF THREE INCHES (3"). MULCH IS TO BE KEPT 2-3" FROM THE STEM OF ALL GROUNDCOVERS & 3-6" FROM THE TRUNK OF ALL TREES & PALMS.

3. MULCH SHALL BE GRADE "B" SHREDDED, AND SHALL BE APPLIED EVENLY AND SMOOTH TO PLANTED AREAS.

4. NO RED OR COLORED MULCH SHALL BE ACCEPTED UNLESS SPECIFIED ACCORDINGLY. NO CYPRESS MULCH OR PINE BARK SHALL BE USED.

H. DIGGING AND HANDLING

1. PROTECT ROOT SYSTEMS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER EROSION, AND OTHER HARMFUL CRITERIA AS NECESSARY. PLANTING PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKING AND DRYING OUT DURING LOADING, TRANSIT, AND UNLOADING/PLANTING. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAWED WITH AN ANTITRANSPIRANT PRODUCT ("WILTRIPR" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS, AND IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. NO PLANT WITH A ROOTBALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BT" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS BY

"GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. PRUNING PRACTICES OTHER THAN MINIMAL PRUNING OF FRONDS, PRIMARILY TO REACH A "CLEAR TRUNK" SPECIFICATION, MAY CONSTITUTE REJECTION, OF ALL PALMS SUBJECT TO SUCH PRACTICE. LIKEWISE, EXCESSIVE PRUNING OR "SHAVING" OF ROOT BALLS TO MEET "CLEAR TRUNK" CRITERIA MAY CONSTITUTE REJECTION ON SITE. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL ON THE PLANTING DETAILS SHEET.

5. EXCAVATION OF PLANTING HOLES SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS, AND PREPARED SUB-BASES.

I. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL - ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, AND SHALL MEET MINIMUM SPECIFICATIONS IN THE PLANT LIST.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS OR WITH CIRCLING ROOTS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NEED AUTHORIZATION FROM THE OWNER. LIKEWISE, SUBSTITUTION OF CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE BALLED AND BURLAPPED/FIELD GROWN WILL NEED AUTHORIZATION FROM THE OWNER AND A LOG OF RECORD PRIOR TO THE ORDERING OF ANY MATERIALS.

5. ALL PLANT MATERIALS SHALL MEET THE MINIMUM SPECIFICATIONS LISTED IN THE PLANT SCHEDULE. SIZE (HEIGHT/SPREAD) SPECIFICATIONS TAKE PRECEDENCE OVER GALLON SIZES (IF GALLON SIZES ARE SPECIFIED).

J. COLLECTED STOCK

1. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOT BALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

K. NATIVE STOCK

1. PLANTS COLLECTED FROM WILD OR NATIVE STAND SHALL BE CONSIDERED GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSLANTING INTO THE NURSERY ROW.

L. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN A BIDDER'S TAKE OFF AND THE PLANT LIST SPECIFICATIONS, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSION OF BIDS. DRAWINGS SHALL TAKE PRECEDENCE. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE. WHERE NO GALLON SIZE IS SPECIFIED ON CONTAINERIZED SHRUBS OR GROUNDCOVERS, THE HEIGHT & SPREAD SPECIFICATIONS SHALL PREVAIL.

M. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOIL AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

N. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY AFFECT THE VIABILITY OF THE PLANTS TO BE INSTALLED, HE/SHE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S CONSTRUCTION MANAGER OR DESIGNER.

2. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE PROHIBITED TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE JURISDICTIONAL MUNICIPALITY.

3. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES. INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORM WATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

4. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUBSUE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF APPROXIMATELY 20% GREATER THAN THE RECOMMENDED PLANTING SOIL DEPTH - UNLESS OTHERWISE SPECIFIED BY JURISDICTIONAL CODE. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ONSITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK CONDITIONS OCCUR IN PLANTED AREAS AFTER 38" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE OR CONTACT OWNER'S CONSTRUCTION MANAGER OR DESIGNER FOR RESOLUTION.

CONTRACTOR IS TO ENSURE THAT ALL COMPACTED SOIL, ROAD ROCK, & EXCESS DEBRIS SHALL BE REMOVED & A 24" LAYER OF NON-LIMEROCK PLANTING SOIL FAVORABLE TO SHRUB GROWTH & SUSTAINABILITY EXISTS OVER ALL PLANTING AREAS. TREE PITS SHALL BE EXCAVATED & BACKFILLED WITH PLANTING SOIL TO A MINIMUM DEPTH OF 30".

5. RECOMMENDED PLANTING SOIL DEPTH IS GENERALLY AS FOLLOWS: ALL TREES AND TALL SHRUBS (INDICATED AS 'SHRUBS' & 'SHRUBS OR' ON THE PLANT SCHEDULE) SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL ABOVE AND BENEATH THE ROOTBALL; MINIMUM TOPSOIL SHALL BE 6" FOR LOW SHRUBS/GROUNDCOVER AREAS AND 2" FOR SODDED GRASS AREAS.

THE MINIMUM TOPSOIL DEPTHS ARE IN ADDITION TO A MINIMUM NON-LIMEROCK SOIL DEPTH OF 10"-18", CONSISTING OF EXISTING UNDISTURBED OR NATIVE SOIL THAT WAS STORED/STOCKPILED ON SITE AND REUSED, OR CLEAN IMPORTED PLANTING SOIL WITH A RANGE OF ORGANIC MATTER BETWEEN 3-5% CONTAINING NO STONES GREATER THAN AN INCH AND A HALF IN DIAMETER IN ANY DIRECTION. TOPSOIL DEPTHS PLUS PLANTING SOIL/EXISTING NATIVE SOIL MINIMUM DEPTHS ARE IN ADDITION TO ANY LIMESTONE/LIMEROCK SUBGRADE, & IN ADDITION TO EXCAVATION WIDTHS REQUIRED FOR TREE PITS AS SHOWN ON THE PLANTING DETAILS.

PURSUANT TO THE ABOVE, THE TOTAL MINIMUM DEPTH OF VIALBE NON-LIMEROCK PLANTING SOIL, INCLUDING EXISTING VIABLE UNDISTURBED/OR STOCKPILED SOIL (IF PRESENT), REQUIRED TO BE PROVIDED ABOVE ANY LIMESTONE/LIMEROCK SUBGRADE CONDITION SHALL BE 12" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR SOD AREAS, 16" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR SHRUBS/GROUNDCOVERS, 24" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR SHRUBS/SHRUB AREAS, AND 30" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR TREE PITS. DESIGNATION OF 'TREES', 'SHRUBS', 'SHRUB AREAS', AND 'GROUNDCOVERS' SHALL BE CONSISTENT WITH THE LABELING OF PLANTS SHOWN ON THE LANDSCAPE PLAN'S PLANT SCHEDULE, WITH THE EXCEPTION OF COMMON TUBEROUSGRASSES WHICH MAY BE INDICATED AS 'GROUNDCOVERS'. NOTE OF THE ABOVE MINIMUMS SHALL PRECLUDE THE CONTRACTOR FROM EXCAVATING & PROVIDING SOIL IN ACCORDANCE WITH NOTE N.4 OR N.9. IMPORTED PLANTING SOIL SHALL BE IN ACCORDANCE WITH NOTE D.2.

IT IS THE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE & TAKE REASONABLE MEASURES AS PART OF DUE DILIGENCE TO DETERMINE THE EXTENT OF EXCAVATION REQUIRED & TO DETERMINE THE AMOUNT OF PLANTING SOIL NECESSARY TO ENSURE LONG-TERM SUSTAINABILITY & SURVIVAL OF THE PLANT MATERIALS IN ACCORDANCE WITH THIS CONTRACT.

6. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HERIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

7. GENERAL: COMPLY WITH FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

8. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

9. ALL PLANTING HOLES SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD TO NURSERY STOCK 280.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE [SEE MATERIALS, SECTION D]. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE

FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. POOR DRAINAGE CONDITIONS TYPICALLY HAVE A PERCOLATION RATE OF 4" OR LESS PER HOUR, AS DETERMINED BY THE GEOTECHNICAL ENGINEER. TREES SHALL BE SET PLUMBS AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JIT STICK" OR EQUAL RECOMMENDED.

10. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS, CURBS, PAVING, AND OTHER HARDSCAPE MATERIALS WHILE INSTALLING TREES.

11. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION D (MATERIALS) OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING HOLE SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS: -TWO (2) TABLETS PER 1 GAL. PLANT -THREE (3) TABLETS PER 3 GAL. PLANT -FOUR (4) TABLETS PER 10 GAL. PLANT LARGER MATERIAL.

-TWO (2) TABLETS PER HALF INCH (1/2") OF TRUNK CALIPER

12. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE TOP OF THE ROOT SYSTEM (FOR SHRUBS AND GROUNDCOVER) OR TRUNK FLARE (TREES AND PALMS) WILL STAND ONE (1) TO TWO (2) INCHES ABOVE FINAL GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PLANTING HOLE. PLANTING SOIL MIXTURES SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

13. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, TURNING SOIL, IF NECESSARY TO GET SOIL THOROUGHLY WET. CAUTION LIGHTLY WITH FEET OR OTHER TAMPING DEVICE. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE PULLED FROM UNDERNEATH.

14. PRUNING: FOR DAMAGED OR BROKEN LIMBS, EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE SPECIES. ALL SUCKER GROWTH SHALL BE COMPLETELY REMOVED PRIOR TO DIGGING.

15. SHRUBS AND GROUNDCOVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED IN THE PLANT LIST. CULTIVATE ALL MASS PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE OF ALL DEBRIS, TILL 4" OF PLANTING SOIL MIX INTO THE NEWLY TILLED PLANTING BED FOR GENERAL NUTRIENT DISBURSEMENT. MASS PLANTING BEDS IS NOW READY TO RECEIVE HOLES FOR NEW PLANTS. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

16. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO ENSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. TREES SHALL USE ABORTIVE AS PER DETAIL SHEET. PALMS SHALL USE WOOD BRACING PER DETAIL SHEET.

17. MULCHING: PROVIDE A THREE INCH (3") MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUNDCOVER AND VINE BED AND TREE PIT (FOR TREES AND PALMS, MIN. THREE INCH (3") FROM EDGE OF TRUNKS) - UNLESS OTHERWISE REQUIRED BY LOCAL CODES AND SPECIFIED AS SUCH.

18. SYSTEMIC HERBICIDE WEEF CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER OR THEIR DESIGNER, A SYSTEMIC HERBICIDE SHALL BE APPLIED FOR WEEF CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. AFTER MULCH HAS BEEN APPLIED TO PLANTING BEDS AND TREE RINGS, TREAT ALL MULCHED AREAS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

19. LAWN SODDING STENOTAPHRIUM SECUNDATUM, V. 'FLORITAM' UNLESS OTHERWISE NOTED. (ST. AUGUSTINE SOLID SOD).

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING: COMPLETE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER AND GOVERNING AGENCIES.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND OTHER DEBRIS, AND THE SOIL BROUGHT TO AN EVEN PREPARED GRADE TO ALLOW FOR SOIL PREPARATION BELOW.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR INCHES (4") DEEP. APPLY FERTILIZER AT A RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING COMMERCIAL BROADCAST SPREADERS, MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE INCHES (3"). HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY TO PREPARE FOR SOD INSTALLATION.

4. SODDING: THE CONTRACTOR SHALL SOD ALL THE PVIOUS AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS TO CREATE A UNIFORM, NEW TURF BLANKET OVER ALL PERVIOUS AREAS TO REMAIN THAT ARE DISTURBED BY CONSTRUCTION & NOT SHOWN TO HAVE SHRUBS OR GROUNDCOVER ON THE LANDSCAPE PLAN SHALL BE SODDED BY CONTRACTOR. ALL SOD OFF-SITE OR IN THE RIGHT-OF-WAY (DEDICATED OR OTHERWISE) SHALL BE BAHIA 'ARGENTINE' SOLID SOD UNLESS OTHERWISE NOTED.

5. SOD SHALL BE LAID IN ROWS WITH JOINTS OF OTHER ROW STAGGERED HALFWAY BETWEEN THE NEXT TO INSURE NO CONTINUOUS STACKED JOINTS. SEW EVERY TWO TO INSURE A TIGHT FIT AT JOINTS, WITH GAPS NO GREATER THAN 1" BETWEEN SOD PANELS.

C) SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH (4") MULCH STRIP SHALL BE PROVIDED IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMERLY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED TO THOROUGHLY MOISTEN THE SOIL BENEATH. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOIL, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

5. DURING DELIVERY, PRIOR TO ADD DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE INSTALLED DURING THE DAY OF ITS ARRIVAL.

6. LAWN MAINTENANCE: A) WITHIN THE SITE, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY OWNER OR AS IN THE ORIGINAL WORK SCOPE AND PROCESS (INCLUDING REGRAIDDING IF NECESSARY).

B) WATER EVERY DAY FOR FOURTEEN (14) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) UNTIL FULLY ESTABLISHED OR UNTIL AUTOMATIC IRRIGATION SYSTEM IS FULLY OPERATIONAL AND PROGRAMMED ACCORDINGLY. COORDINATE WATERING SCHEDULE WITH NATURAL RAINFALL. RAINFALL EVENTS IN DURATION OF TWENTY (20) MINUTES OR MORE THAT PRODUCE MORE THAN A HALF INCH (1/2") OF PRECIPITATION WILL NEGATE THE NEED FOR WATERING OF THE FOLLOWING DAY IF PREVIOUSLY SCHEDULED. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO A DEPTH OF FOUR INCHES (4").

7. CLEANUP UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

8. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

9. ALL PLANTING HOLES SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD TO NURSERY STOCK 280.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE [SEE MATERIALS, SECTION D]. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE

S. GUARANTEE

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNER. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CARE & MAINTENANCE OF THE PLANT MATERIAL UNTIL THE END OF ESTABLISHMENT OR 60 DAYS AFTER FINAL LANDSCAPE CERTIFICATION BY THE LANDSCAPE ARCHITECT, WHICHEVER IS LATER, & SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AS NEEDED TO ENSURE ADEQUATE WATER IS SUPPLIED TO THE PLANT MATERIALS DURING ESTABLISHMENT. AT THE END OF THE ESTABLISHMENT PERIOD, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE IRRIGATION TIME/CLOCK IS ADJUSTED TO A NORMAL WATERING CYCLE PER THE IRRIGATION WATERING SCHEDULE SHOWN ON THE IRRIGATION PLANS.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL SOD INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF NINETY (90) CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNERS OR OWNERS DESIGNER.

3. REPLACEMENT: ANY PLANT NOT IN A HEALTHY, THRIVING GROWING CONDITION SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. SHOULD THE OWNER ELECT, TREES AND PALMS MAY BE GIVEN A PERIOD OF NINETY (90) DAYS BEFORE REMOVAL TO ALLOW THE CONTRACTOR TO RESURRECT THE TREE OR PALM IN QUESTION AND BRING IT TO A THRIVING, HEALTHY CONDITION. ALL REPLACEMENTS SHALL BE PLANTS OF LIKE KIND, CONDITION AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED, AND MULCHED AS SPECIFIED WITHIN THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER. ANY REPAIRS FROM THIS REPLACEMENT MATERIAL SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY. REPLACEMENT MATERIAL SHALL BE GUARANTEED TO A ONE (1) YEAR PERIOD FROM THE DAY OF PLANTING. REPLACEMENT MATERIAL SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

4. IN THE EVENT THE OWNER ELECTS NOT TO CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER OR THEIR DESIGNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH OF ITEMS UNDER REPLACEMENT WARRANTY. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

5. FINAL INSPECTION AND ACCEPTANCE OF WORK 1. FINAL INSPECTION BY OWNER OR THEIR DESIGNEE AT THE END OF THE GUARANTEE PERIOD SHALL INCLUDE PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY PLANTS NOT MEETING THE CRITERIA OF HEALTHY, VIGOROUS, AND THRIVING AT THIS TIME, AND THAT HAVE NOT ALREADY BEEN REPLACED PREVIOUSLY UNDER SAID WARRANTY, SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE OR AS SPECIFIED BY THE OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

6. GRADING AND DRAINAGE NOTES 1. PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE "DIG SAFE" NOTIFICATION PROCEDURES PROMOTED BY THE RESPECTIVE UTILITY COMPANIES IN FLORIDA, CAL FLORIDA SUNSHINE AT 811.

2. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDINGS AT ALL TOP AND BOTTOM OF SLOPES.

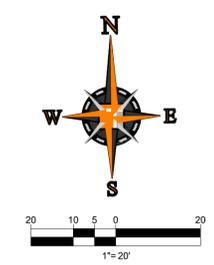
3. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH INCH (1/8") PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.

4. WHERE NEW PAVING OR EARTHWORK MEETS EXISTING PAVING OR EARTHWORK, SMOOTHLY BLEND LINE AND GRADE OF EXISTING WITH NEW, WHERE EXISTING VEGETATION IS TO REMAIN, MEET EXISTING GRADES; DO NOT FILL ABOVE BASAL FLARE OF EXISTING TREES.

5. UTILITY PLANT NOTES 1. CONTRACTOR SHALL INSTALL SCHEDULE 80 PVC CONDUIT (SLEEVES) FOR ALL IRRIGATION PIPING UNDER ALL PAVEMENT AREAS TO CONNECT ALL LANDSCAPE AREAS.

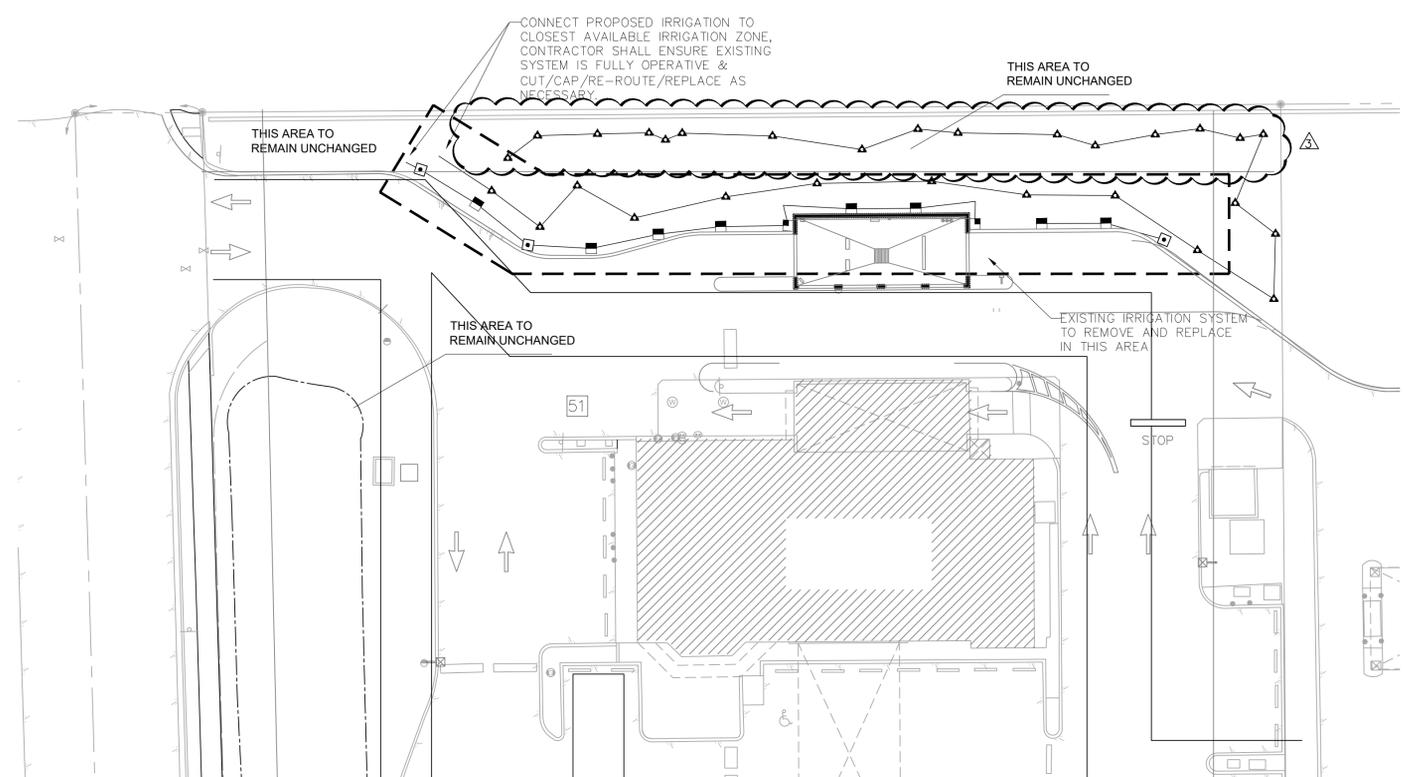
6. SITE PREPARATION BEFORE CONSTRUCTION, THE CONTRACTOR SHALL MEET THE OWNER AND IDENTIFY TREES AND SHRUBS WHICH ARE TO BE PROTECTED AS WELL AS THOSE WHICH ARE TO BE REMOVED. DO NOT CLEARING WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.

**THOMAS ENGINEERING GROUP**  
CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
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### IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
Q T H TT TO F	Rain Bird 1806-PRS 15 Series MPR Turf Spray 6" pop-up with pressure regulator.	10	30
4 6 8 10 12 15 18	Rain Bird 1806-PRS ADJ Turf Spray 6" pop-up with pressure regulator.	3	30
1402 1408 1401 1404	Rain Bird 1804-1400 Flood Flood Bubbler 4" pop-up	29	40
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Irrigation Lateral Line: Polyethylene and PVC Class 160 Polyethylene SDR-7 up to 1-1/4, then PVC Class 160 SDR 26 for 1-1/2" and larger. Only lateral transition pipe sizes 3/4" and above are indicated on the plan, with all others being 1/2" in size.	630.6 l.f.	



### IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. THOMAS ENGINEERING GROUP RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.

PLEASE REFER TO SHEET L-1.0 FOR DISPOSITION PLAN & DISPOSITION CHART; AND SHEET L-2.0 FOR LANDSCAPE PLAN.

NOTE: THIS SITE CONTAINS AN EXISTING AND FUNCTIONING IRRIGATION SYSTEM. THIS SYSTEM IS TO BE MODIFIED, WHERE NECESSARY TO CONFORM TO ADDED AND/OR REMOVED GREEN AREAS AND PROVIDE 100% COVERAGE WITH 50% OVERLAP. CONTRACTOR TO VERIFY CONDITION OF EXISTING SYSTEM.

<p><b>A POP-UP SPRINKLER</b></p>	<p><b>C FLOW SENSOR</b></p>	<p><b>D BALL VALVE</b></p>	<p><b>E QUICK COUPLER VALVE</b></p>
<p><b>F REMOTE CONTROL VALVE</b></p>	<p><b>G DRIP RCV ASSEMBLY</b></p>	<p><b>I GROUND ROD INSTALLATION</b></p>	<p><b>J DRIPLINE TUBING</b></p>
<p><b>K DRIPLINE CONNECTION (SECTION)</b></p>	<p><b>L DRIPLINE CONNECTION (PLAN)</b></p>	<p><b>M DRIP FLUSH VALVE</b></p>	<p><b>N DRIP AIR RELIEF VALVE</b></p>
<p><b>O PIPE INSTALLATION</b></p>	<p><b>P SLEEVE INSTALLATION</b></p>	<p><b>Q WIRE CONNECTION</b></p>	<p><b>R THRUST BLOCKING</b></p>

REVISIONS

REV.	DATE	COMMENT	P&Z	BY:
Δ 1	5/16/23	REV. PER P&Z COMMENTS 05/16		LD

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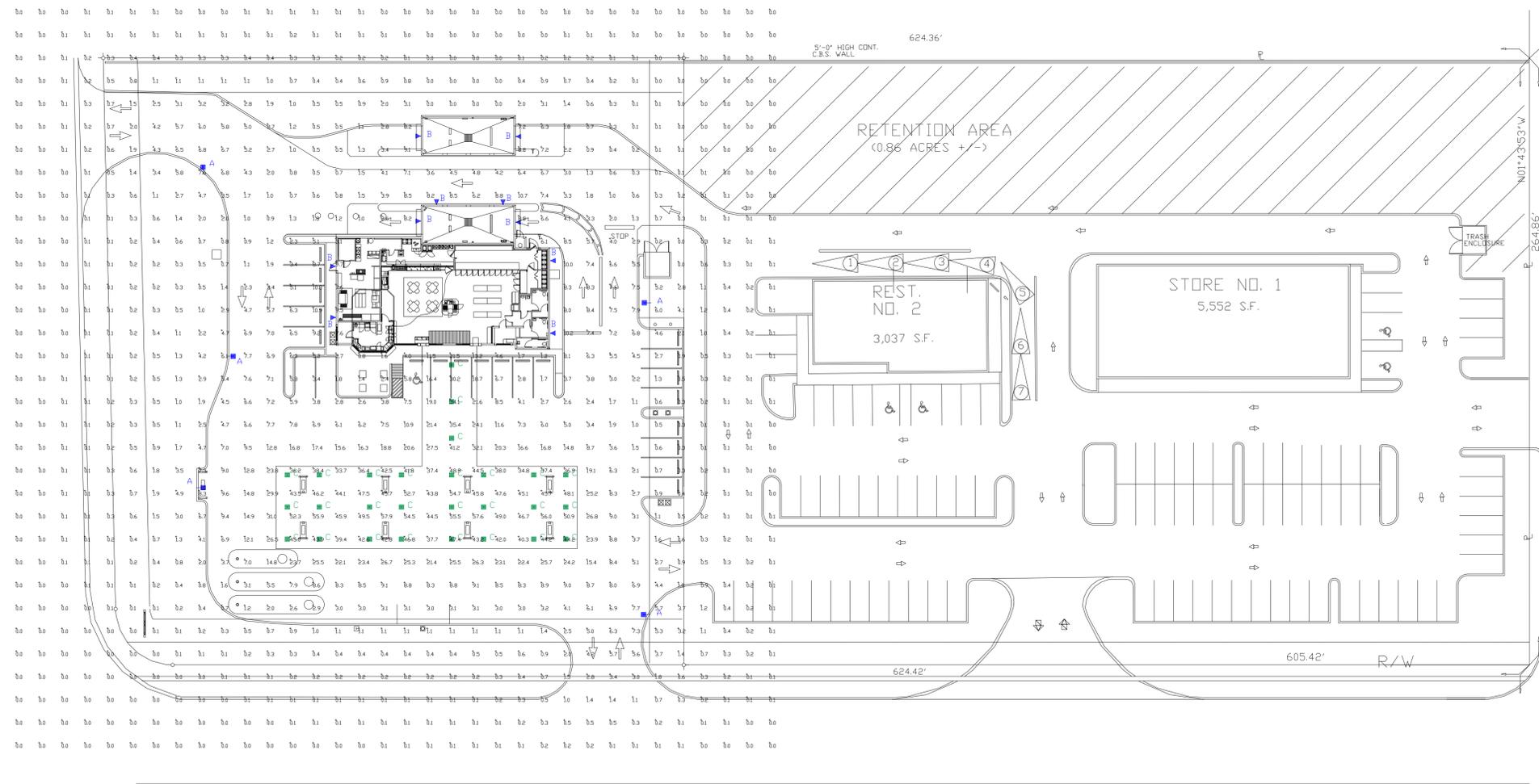
PROJECT No.:	F220006
DRAWN BY:	LD
CHECKED BY:	MDG
DATE:	01/27/2022
CAD I.D.:	F220006 IRRIGATION

PROJECT: **PROPOSED REMODELING**  
FOR **NAZARI ASSOCIATES VI, LLC**  
MOBIL 10895 NW 41 ST, DORAL, FLORIDA

**THOMAS ENGINEERING GROUP**  
6300 NW 31st AVE. FORT LAUDERDALE, FL 33309  
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**MICHAEL D. GROSSWIRTH**  
REGISTERED LANDSCAPE ARCHITECT  
FLORIDA BUSINESS LICENSE # 100000017  
FLORIDA BUSINESS LICENSE # 100000017

SHEET TITLE: **IRRIGATION PLAN, DETAILS & NOTES**  
SHEET NUMBER: **L-3.0**



SCV



XWM



MRS

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	5	A	SINGLE	MRS-LED-18L-SIL-FT-50-70CRI-SINGLE16'POLE+2'BASE	1.000	1.000	1.000	16890	135
	10	B	SINGLE	XWM-FT-LED-06L-50 MTD @ 10'	1.000	1.000	1.000	6557	47
	27	C	SINGLE	SCV-LED-15L-SC-50	1.000	1.000	1.000	14963	102

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL_CALC_POINTS	Illuminance	Fc	4.85	57.9	0.0	N.A.	N.A.
CANDPY	Illuminance	Fc	40.61	57.9	11.5	3.53	5.03
INSIDE_CURB	Illuminance	Fc	6.54	31.0	0.1	65.40	310.00

PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 3899



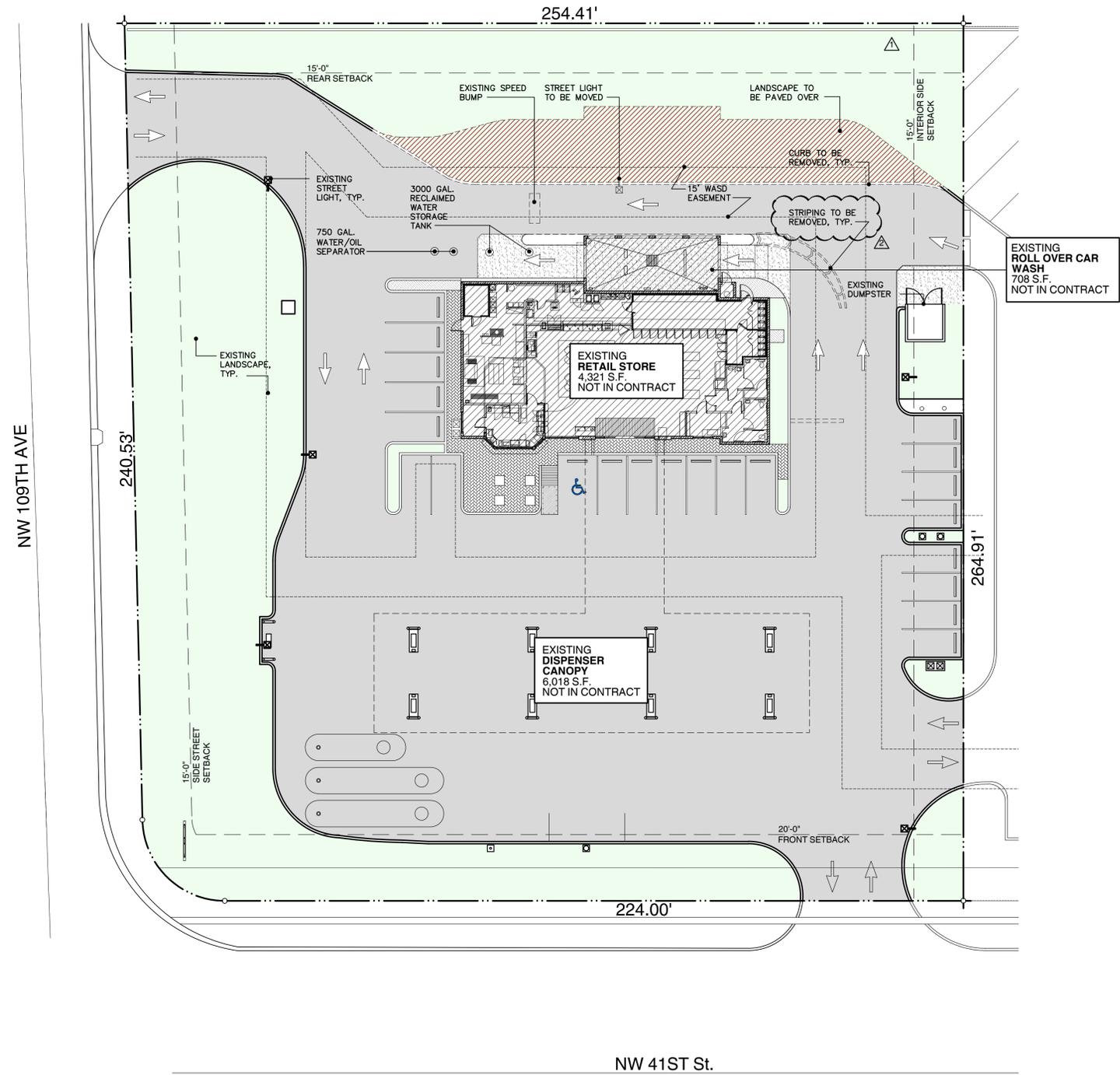
LIGHTING PROPOSAL LD-156876

HAZARI MOBIL  
10892 NW 41 ST  
DORAL, FL

BY: MVE DATE: 08-26-22 REV. SHEET 1 OF 1

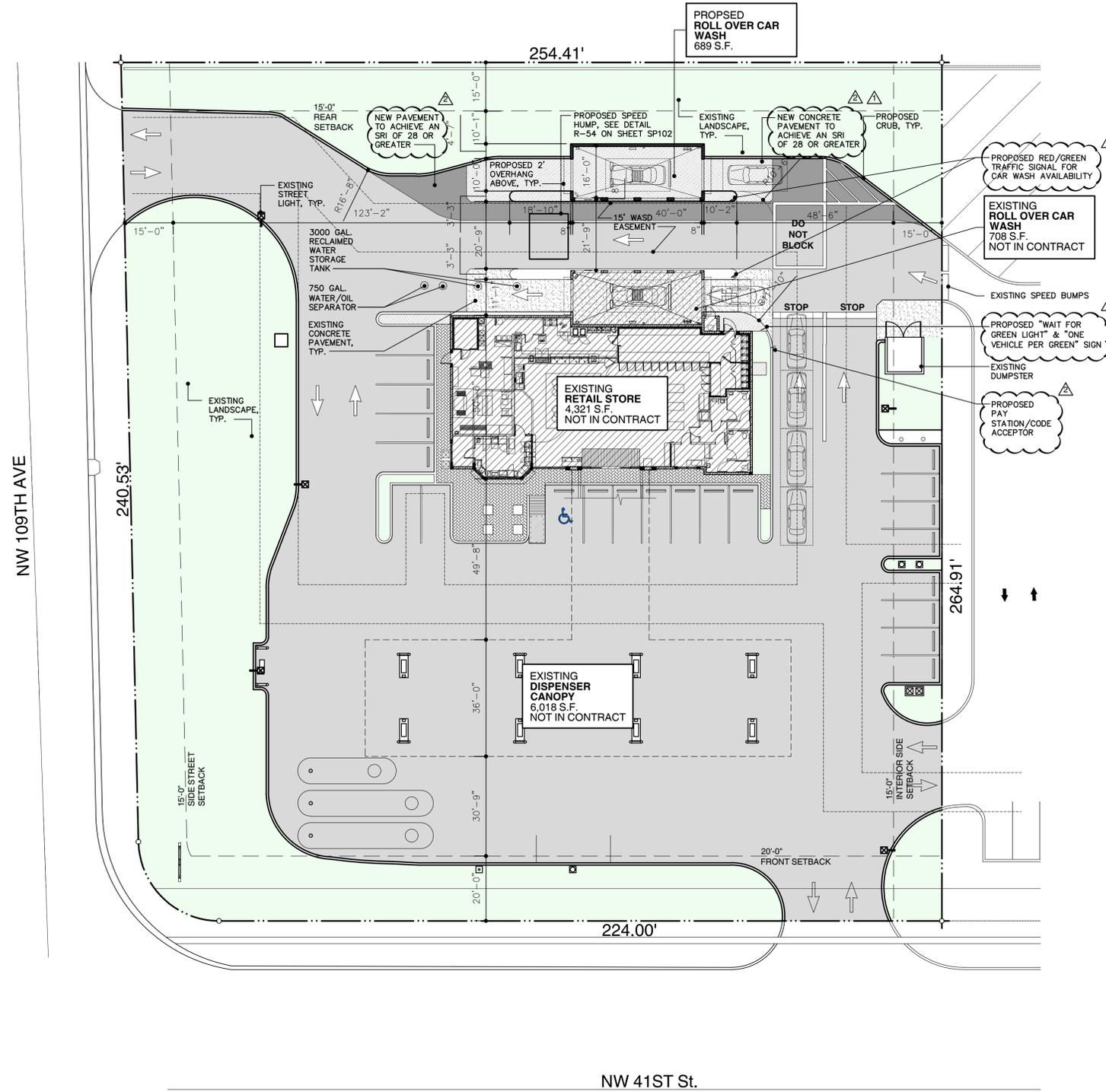
SCALE: 1"=30'

RECEIVED  
By Stephanie Puglia at 2:07 pm, Apr 20, 2023



EXISTING / DEMO SITE PLAN  
SCALE: 1" = 10'-0"





**PROPOSED SITE PLAN**



**ZONING INFORMATION**

**LEGAL DESCRIPTION:**  
 DORAL INTERNATIONAL PARK P8 155-53 T-19693 PORT OF TR A DESC BEG 369.94FTWOF NE COR OF TR A CONTN 89 DEG W 254.41FT S 01 DEG W 240.53FT SELY AD 38.71FT S 89 DEG E 224FT N 00 DEG E 264.91FT TO POB LOT SIZE 1.527 AC M/L F/A/U 30-3019-001-0510 OR 18998-2136 0200 4

**FOLIO:** 35-3019-030-0010      **LOT AREA:** 66,476 sf      1.53 acres  
**JURISDICTION:** DORAL  
**ZONING:** CC / COMMERCIAL CORRIDOR  
**FLOOD ZONE:** X AND AH  
**BASE FLOOD ELEVATION:** NONE AND 7.00ft

CATEGORIES	REQUIRED / ALLOWED	EXISTING	PROVIDED
<b>LOT OCCUPATION</b>			
LOT COVERAGE	(50.00% max.)	5,029 sf (7.56%)	5,718 sf (8.60%)
<b>LANDSCAPE</b>			
OPEN SPACE	(20.00% min.)	23,250 sf (35.00%)	21,606 sf (32.50%)
<b>SETBACKS</b>			
FRONT	20'-0"	50'-9"	50'-9"
INTERIOR SIDE	15'-0"	58'-9"	58'-9"
SIDE STREET	15'-0"	99'-4"	99'-4"
REAR	15'-0"	64'-2"	47'-6"
<b>HEIGHT</b>			
CONVENIENCE STORE (MERCANTILE)	6-story (max)	1-story	1-story (no change)
CAR WASH	6-story (max)	1-story	1-story (no change)
<b>AREAS</b>			
CONVENIENCE STORE	-	4,321 sf	4,321 sf
FUEL DISPENSERS CANOPY	-	6,018 sf	6,018 sf
CAR WASH	-	708 sf	1,397 sf
<b>TOTAL</b>	-	<b>11,047 sf</b>	<b>11,736 sf</b>
<b>PARKING</b>			
CONVENIENCE STORE (MERCANTILE)	1 per 250	17.28	22 stalls
<b>TOTAL</b>	-	<b>18 stalls</b>	<b>22 stalls</b>
HANDICAP	-	1 stall	1 stall

# Nazari Car Wash Noise Study PostDevelopment

## Signs and symbols

- Wall
- ▨ Main building
- \* Point source

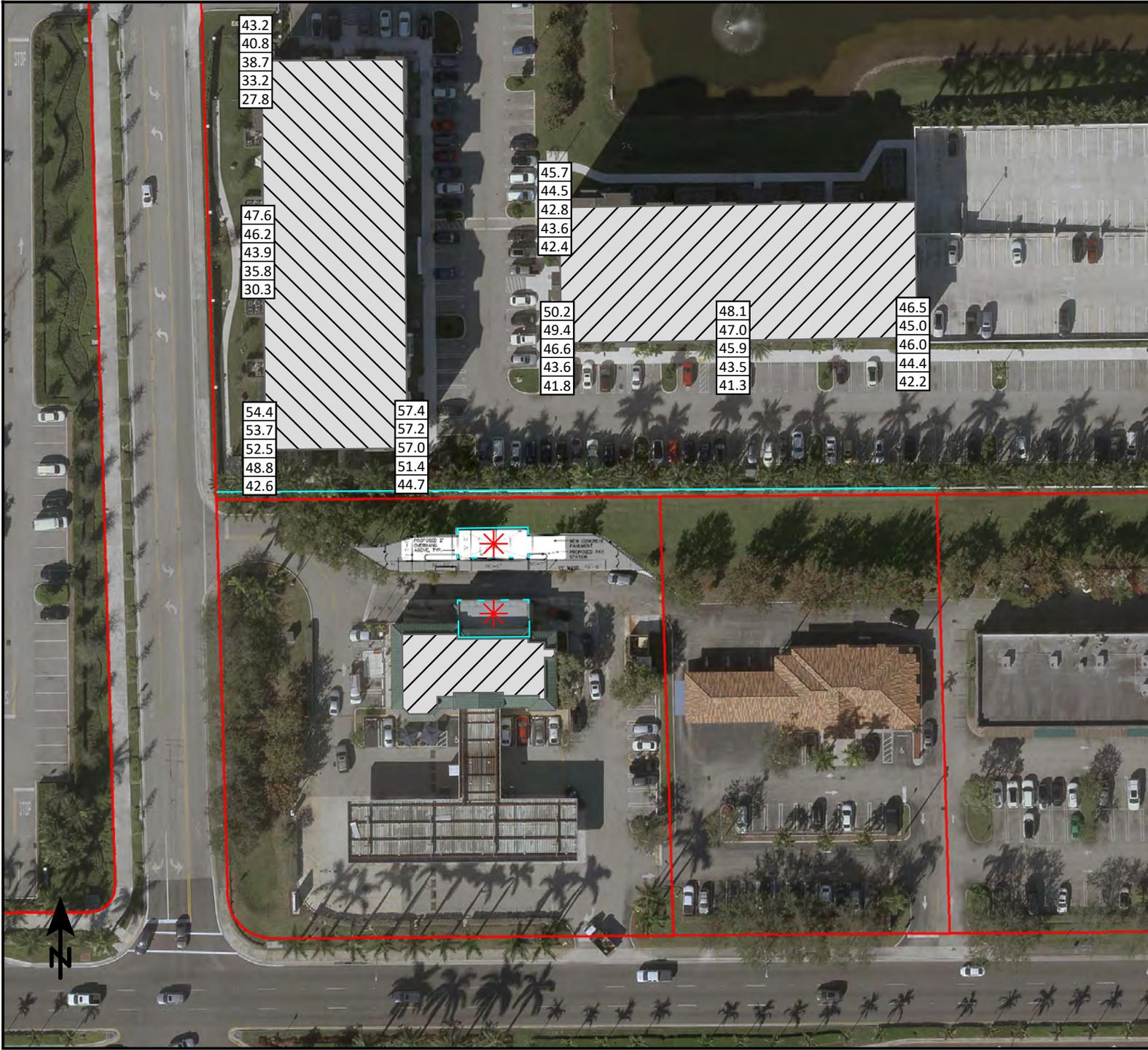
## Levels in dB(A)

	< 50
	50 - 55
	55 - 60
	60 - 65
	65 - 70
	70 - 75
	>= 75

1 : 80



# Nazari Car Wash Noise Study PostDevelopment



## Signs and symbols

-  Wall
-  Main building
-  Receiver
-  Point source

1 : 80



# Nazari Car Wash Noise Study Existing Condition

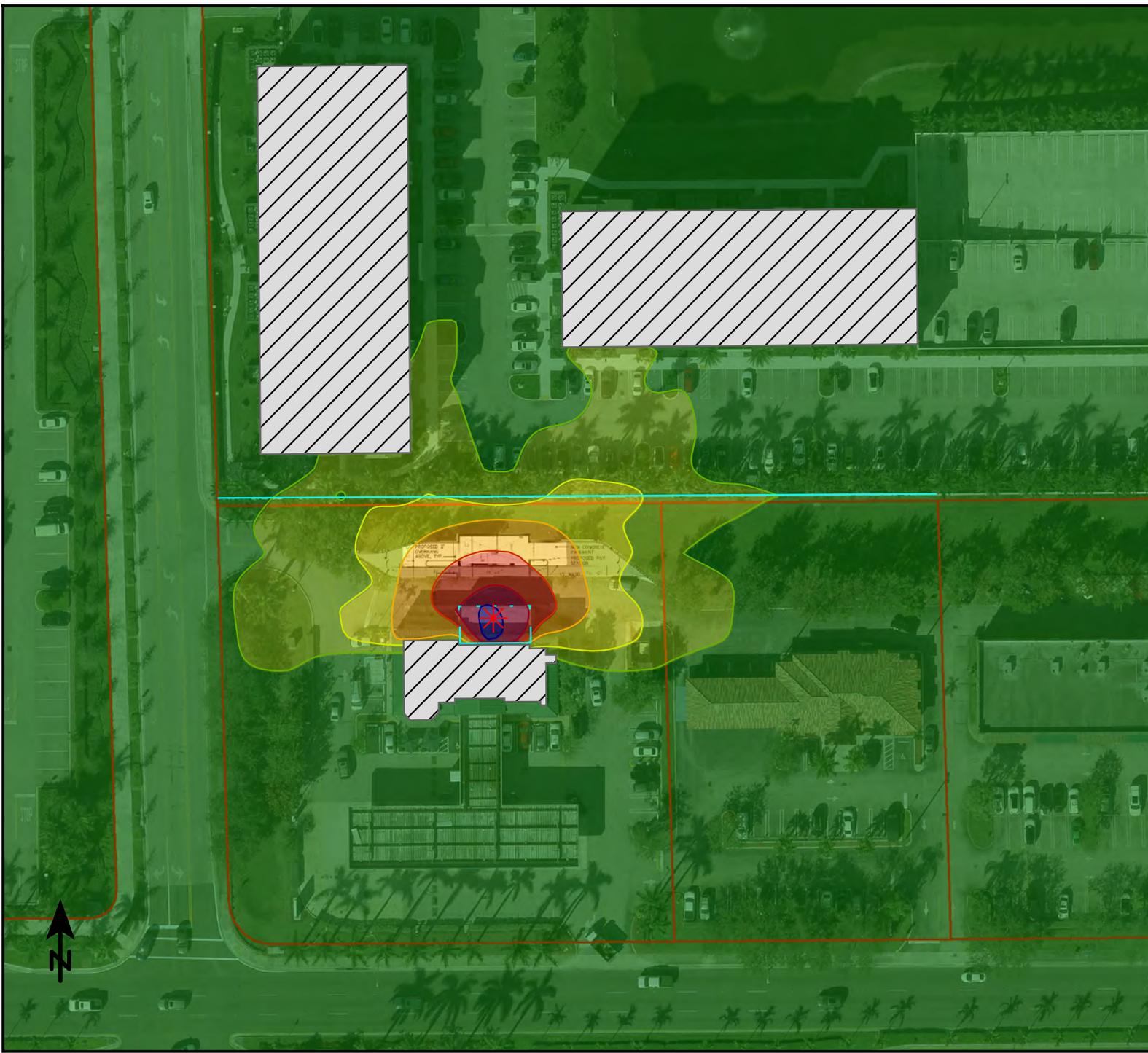
## Signs and symbols

- Wall
- ▨ Main building
- \* Point source

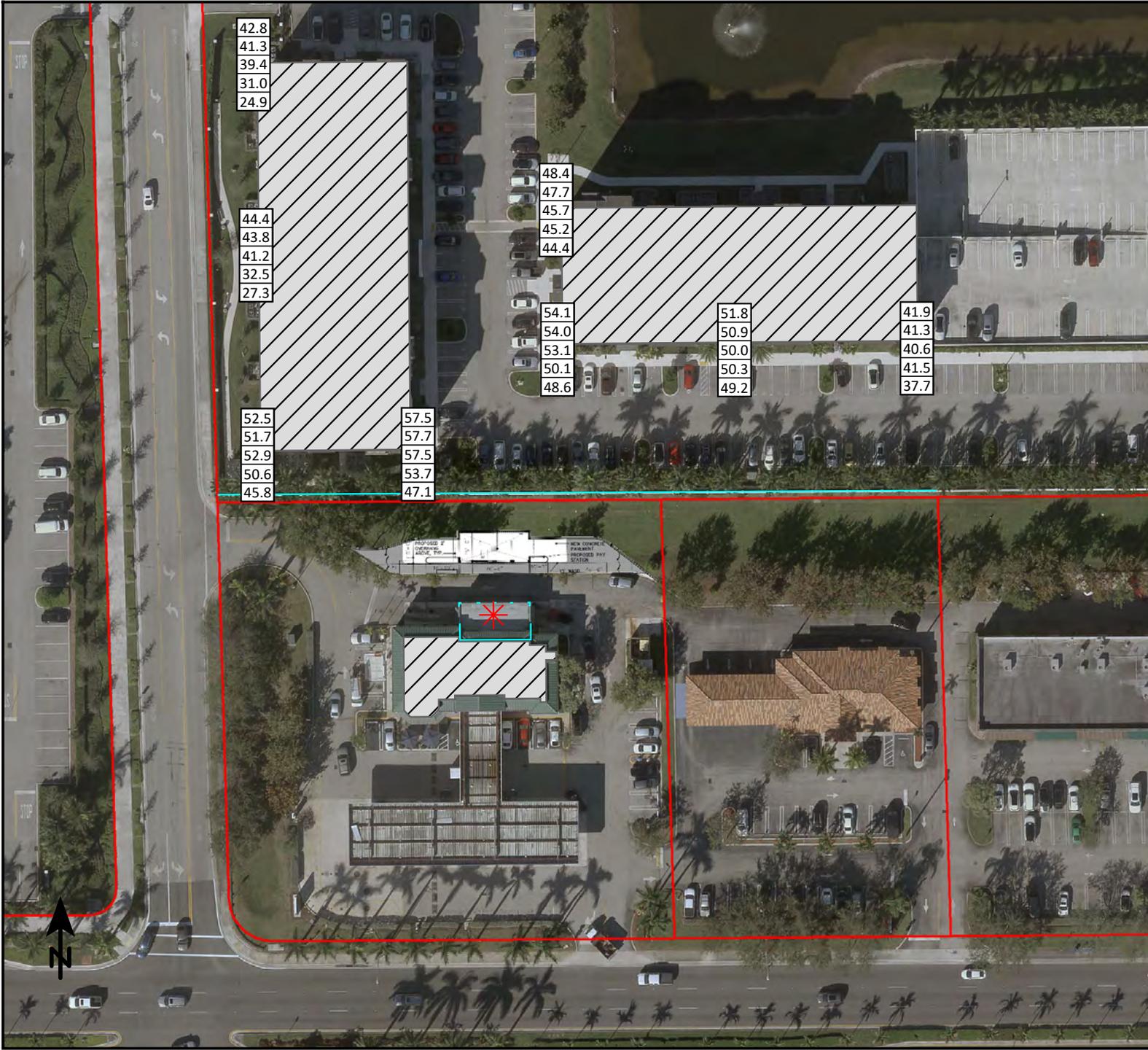
## Levels in dB(A)

Green	< 50
Light Green	50 - 55
Yellow	55 - 60
Orange	60 - 65
Red	65 - 70
Dark Red	70 - 75
Blue	>= 75

1 : 80



Nazari Car Wash  
 Noise Study  
 Existing Condition

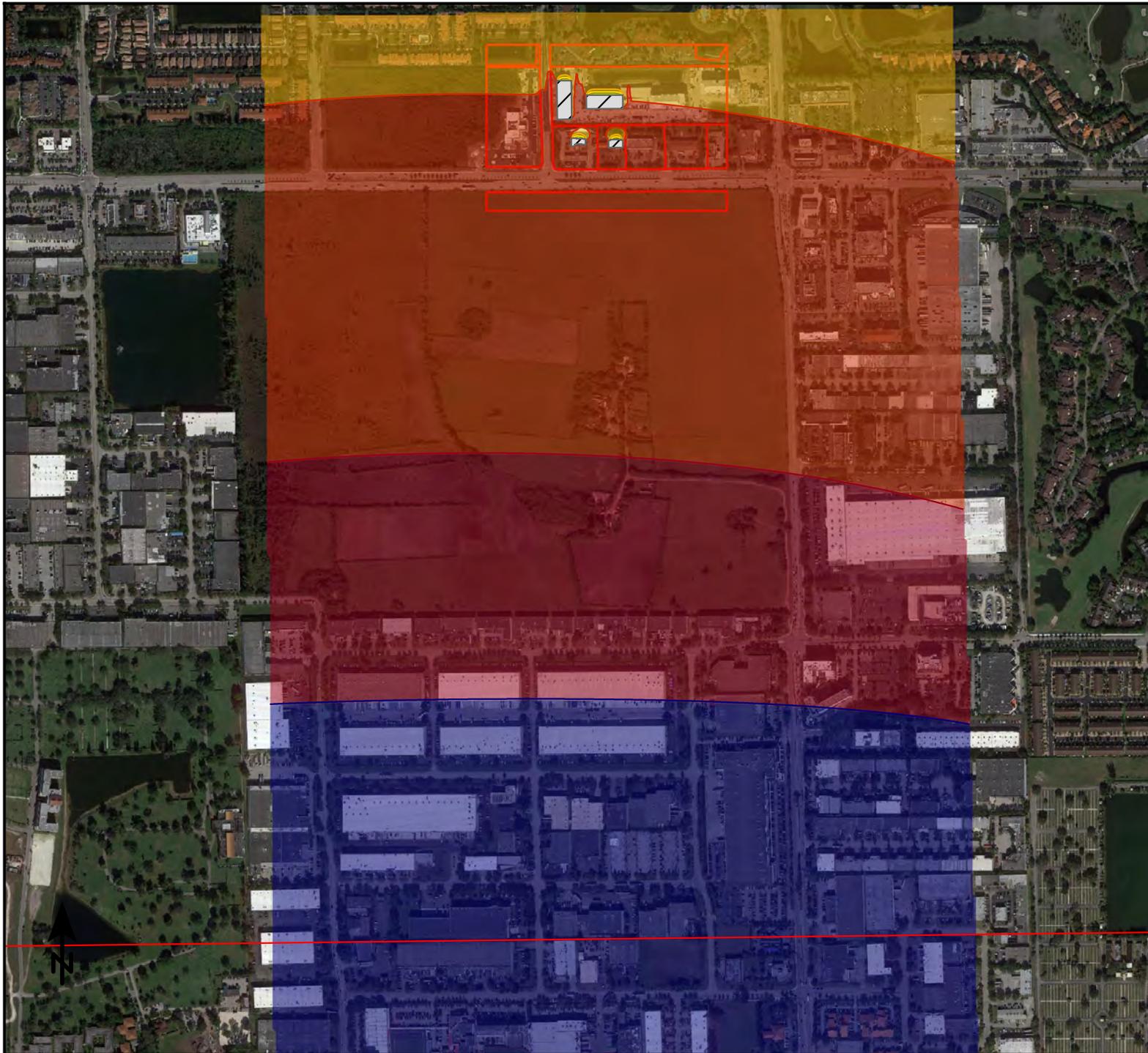


Signs and symbols

-  Wall
-  Main building
-  Receiver
-  Point source

1 : 80



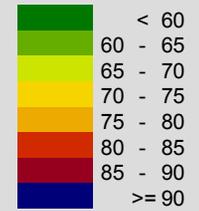


# Nazari Car Wash Airplane Noise - Existing Condition

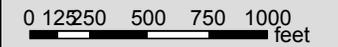
## Signs and symbols

-  Main building
-  Line source

## Levels in dB(A)



1 : 800





Nazari Car Wash  
Airplane Noise -  
Existing Condition

Signs and symbols

-  Main building
-  Receiver
-  Line source

1 : 800



# Nazari Car Wash Roadway Noise - Existing Condition

## Signs and symbols

- Wall
- Main building
- Road
- Emission line
- Surface

## Levels in dB(A)

< 50
50 - 55
55 - 60
60 - 65
65 - 70
70 - 75
>= 75

1 : 80

