

RESOLUTION No. 18-206

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR DORAL RETAIL DEVELOPMENT, GENERALLY LOCATED ON THE SOUTHEAST CORNER OF NW 87 AVENUE AND NW 58 STREET, PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, on November 2, 2016, the City of Doral adopted Ordinance No. 2016-29 amending the City's Land Development Code to establish procedures for the Mayor and City Council site plan review and approval process; and

WHEREAS, Alejandro J. Arias, Esq, representing Doral 87 Group, LLC (the "Applicant") has submitted an application for Mayor and Council site plan review and approval for Doral Retail Development site plan, generally located at the southeast corner of NW 87 Avenue and NW 58 Street, as legally described in Exhibit A; and

WHEREAS, staff recommends approval of the propose site plan provided in Exhibit B; and

WHEREAS, the site plan is consistent with all the requirements and standards set forth in Section 53-184 (3) of the Land Development Code; and

WHEREAS, pursuant to law, notice has been given by publication in a paper of general circulation in the City, notifying the public of this proposed Resolution and of the public hearings; and

WHEREAS, the Mayor and City Council of the City of Doral finds that the adoption and implementation of this Resolution is in the best interest and welfare of the residents of the City.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA THAT:

Section 1. Recitals. The foregoing recitals are confirmed, adopted, and incorporated herein and made a part hereof by this reference.

Section 2. Approval of Site Plan. The City Council hereby approves the site plan for Doral Retail Development provided in Exhibit B. The site plan consists of 48,375 sq. ft. of retail, service, and restaurant uses. The approval of this site plan is subject to the following conditions. Violation of the conditions may result in a code compliance citation or the revocation of this Resolution.

1. All applicable impact fees shall be paid by the Applicant prior to issuance of a building permit.
2. The proposed project shall be built in substantial conformance with the plans entitled "Doral Retail Development" prepared by modis architects, consisting of 21 sheets, dated stamped received August 28, 2018.
3. The Property shall be landscaped in accordance with the landscape plan, prepared by jbc planning & design, date received August 28, 2018, as amended, and included with the site plan submittal.
4. Future identification of a use that requires more parking will result in a site plan modification.
5. Prior to the issuance of the building permit, Miami-Dade County Public Works (MDCPW) Traffic Division approval is required in writing for the Site Plan, for the original Traffic Study (approved by Rita Carbonell in November 2015), and for the Driveway Analysis required by Rita Carbonell for driveway operations and access management.
6. R/W dedication for future right turn/deceleration lanes on NW 87 Avenue and on NW 58 Street shall be completed prior to the issuance of the building permit.
7. R/W improvements on NW 56 Street will be required including, but not limited to, road widening for the addition of left turn lane(s), sidewalk, curb & gutter, drainage, etc. These improvements need to be included on the offsite paving & drainage plans and approved prior to the issuance of the building permit.
8. Certain features have been incorporated into the site plan to mitigate non-
9. compliance certain sections of Chapter 77 of the Land Development Code. Taking these features into consideration, Site Plan approval has been recommended collectively by the plans review staff, and ultimately approved administratively by the Public Works Director. Please be advised that any future changes to any of the features used to mitigate non-compliance of the Code will require a Site Plan Modification. Submit any changes to the Planning & Zoning and Public Works Departments for review.
10. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
11. Approval from Division of Environmental Resources Management (DERM) is required at time of building permit. If DERMs' requirements result in a modification to the approved administrative site plan, which may include but is not limited to, the layout of proposed parking field, the Applicant will be fully responsible to meet those requirements prior to building permit approval.
12. Approval from Miami Dade County Fire Department is required at time of building permit.

13. The applicant shall comply with Ordinance No. 2015-09 "Public Arts Program" requirements.
14. All applicable local, state and federal permits must be obtained before commencement of the development.
15. The project should make every effort to incorporate the city's Low Impact Development Master Plan (LIDMP) and Section 74-881 of the Land Development Code.
16. Provide compliance with the Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City Land Development Code. Project team should contact the City's Floodplain Administrator to review the requirements of the Floodplain Management Ordinance.
17. Applicant shall indicate in building permit plans how the project will meet the requirement of Sec. 77-195 of the Land Development Code, Solar Reflective Index (SRI) of 28 or greater.
18. Applicant shall indicate in building permit plans how the project will meet the City's Green Ordinance requirements in Chapter 63 of the Land Development Code.
19. The Applicant shall comply with applicable conditions and requirements provided by Miami-Dade County Public Works Department, Water and Sewer Department, Fire Rescue Department, and Regulatory and Economics Resources (DRER) prior to issuance of building permit.
20. The hours of operation during the construction shall adhere to as per Noise Ordinance No. 2011-01.
21. The Applicant shall submit a construction staging plan for review and approval prior to commencement of construction. The staging area shall be kept clean at all times, adequately screened and located away from view of existing homes located adjacent to the construction site.
22. Access points for construction vehicles shall be identified as part of the construction plan submitted to the City. Construction vehicles with access to the site shall adhere to existing "no thru truck" areas.
23. The Applicant shall provide a Construction Air Quality Management Plan to the Department prior to the start of construction.
24. A Stormwater Pollution Prevention Plan (SPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where top soil will be removed, and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
25. The Applicant shall preserve existing trees (including native trees) during the development of the project, wherever possible. If the trees must be removed, the Applicant shall be required to mitigate the impact in accordance with Miami-Dade County Regulatory and Economic Resources Department (DRER) requirements. If the relocated trees do not survive, the Applicant shall be required to replace the trees in compliance with DRER requirements.
26. The Applicant shall meet the requirements of the Miami-Dade County Water-Use Efficiency Standards Manual, effective January 2009, as may be amended from time to time.
27. All stormwater shall be retained on site in accordance with applicable law.

28. All stormwater drainage systems shall be maintained in working conditions at all times in order to avoid localize flooding during and after a storm.
29. Parking shall be prohibited on top of any drainage inlet or drainage manhole.
30. Developer shall be responsible for providing the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
31. Noncompliance with the approved site plan and the terms of this approval shall be considered a violation of the City Code.

Section 3. Effective Date. This Resolution shall become effective upon passage by the City Council.

The foregoing Resolution was offered by Councilmember Cabrera who moved its adoption. The motion was seconded by Vice Mayor Mariaca and upon being put to a vote, the vote was as follows:

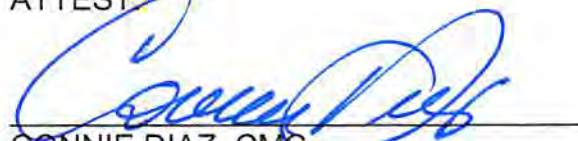
| | |
|----------------------------|-----|
| Mayor Juan Carlos Bermudez | Yes |
| Vice Mayor Claudia Mariaca | Yes |
| Councilman Pete Cabrera | Yes |
| Councilwoman Christi Fraga | Yes |

PASSED AND ADOPTED this 15 day of November, 2018.




JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:



CONNIE DIAZ, CMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



LUIS FIGUEREDO, ESQ.
CITY ATTORNEY

EXHIBIT “A”

Exhibit A
LEGAL DESCRIPTION

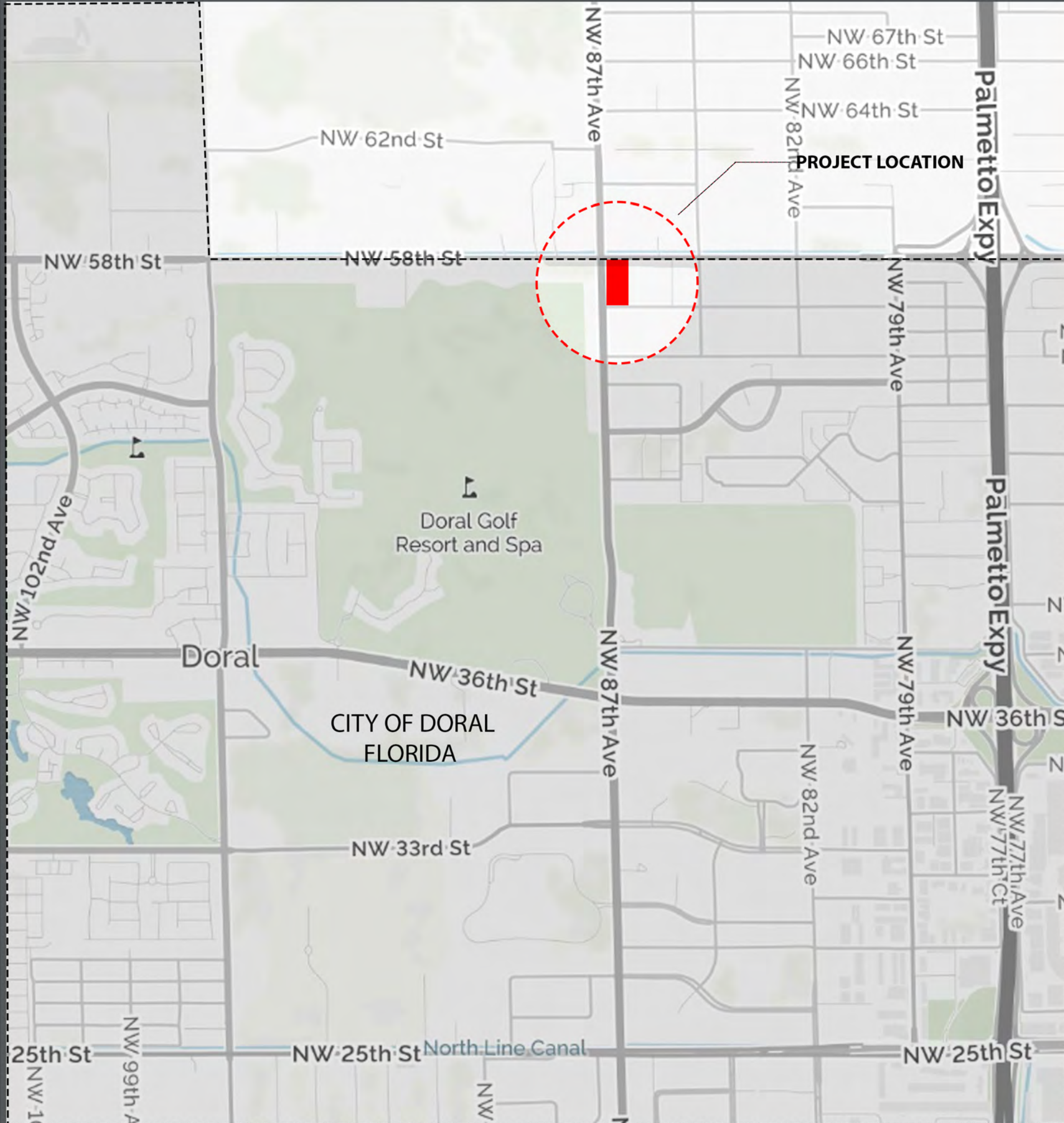
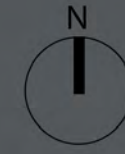
PARCEL A: The West 132.185 feet of the North 1/2 of the North 1/2 of the Northwest 1/4 of the Northwest 1/4 of Section 22 Township 53 South, Range 40 East less the West 35 feet, and less the North 35 feet thereof. PARCEL B: The East 132.185 feet of the West 264.37 feet of the North 1/2 of the North 1/2 of the Northwest 1/4 of Section 22 Township 53 South, Range 40 East, less the North 35 feet thereof. PARCEL C: The East 132.20 feet of the West 264.40 feet of the South 1/2 of the North 1/2 of the Northwest 1/4 of the Northwest 1/4 of Section 22 Township 53 South, Range 40 East less the South 25 feet thereof. PARCEL D: The West 132.20 feet of the South 1/2 of the North 1/2 of the Northwest 1/4 of the Northwest 1/4 of Section 22 Township 53 South, Range 40 East less the South 25 feet and less the West 35 feet thereof. LESS THE FOLLOWING PARCELS: The South 10 feet of the North 45 feet of the West 2/5 of the NW 1/4 of the NW 1/4 of the NW 1/4 of Section 22, Township 53 South, Range 40 East, Miami-Dade County, Florida. AND the East 5 feet of the West 40 feet of the North 1/2 of the NW 1/4 of the NW 1/4 of the NW 1/4 of said Section 22, less the North 35 feet thereof. AND The area bounded by the South line of the North 45 feet of the NW 1/4 of said Section 22 and bounded by the East line of the West 40 feet of the NW 1/4 of said Section 22 and bounded by a 25-foot radius arc concave to the Southeast said arc being tangent to both of the last described lines. AND The East 5 feet of the West 40 feet of the South 1/2 of the NW 1/4 of the NW 1/4 of the NW 1/4 of Section 22, Township 53 South, Range 40 East, Miami-Dade County, Florida, and the North 10 feet of the South 35 feet of the West 2/5 of the NW 1/4 of the NW 1/4 of the NW 1/4 of said Section 22 and the area bounded by the East line of the West 40 feet of the South 1/2 of the NW 1/4 of the NW 1/4 of said Section 22 and bounded by the North line of the South 35 feet of the West 2/5 of the NW 1/4 of the NW 1/4 of the NW 1/4 of said Section 22 and bounded by a 25 foot radius arc concave to the Northeast and being tangent to both the last described lines.

EXHIBIT “B”

PROJECT INDEX

- A0.00- SURVEY
- A0.01- SITE LOCATION
- A0.02A- SITE PLAN COLOR
- A0.02B- LEVEL 2 COLOR
- A0.03- ZONING ANALYSIS
- A0.04- SITE DETAILS
- A0.05- FIRE TRUCK ACCESS PLAN
- A1.01- SITE PLAN
- A1.02- LEVEL 2 PARKING DECK
- A2.01- ARCHITECTURAL EXTERIOR ELEVATION
- A2.02- ARCHITECTURAL EXTERIOR ELEVATION
- A3.01- 3D MODEL IMAGES
- A3.02- 3D MODEL IMAGES
- TD.01- TREE DISPOSITION & INVENTORY PLAN
- TD.02- TREE DISPOSITION & INVENTORY PLAN
- LP-1- LANDSCAPE 1
- LP-2- LANDSCAPE DETAIL
- PHO.01- LEVEL 1 PHOTOMETRIC PLAN
- PHO.02- LEVEL 2 PHOTOMETRIC PLAN

PROJECT LOCATION

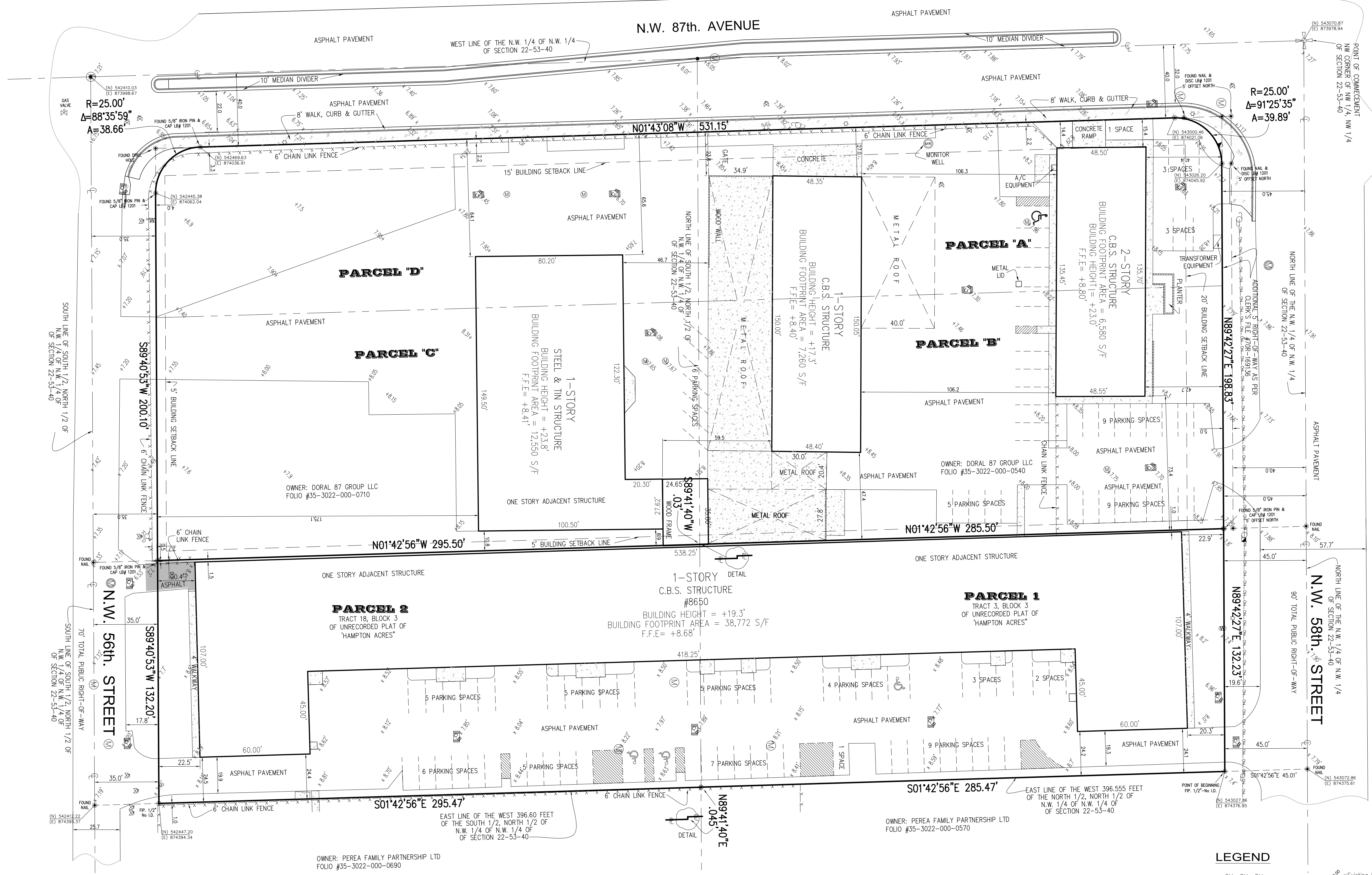
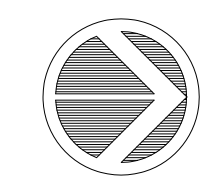
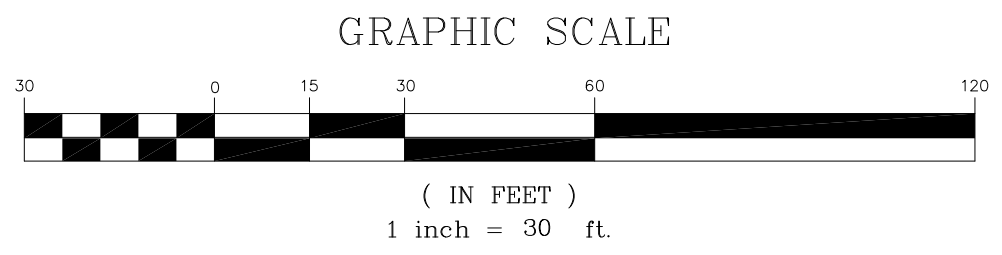


4955 SW 75th Avenue
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 T. 786.879.8882
 F. 786.350.1515

www.modisarchitects.com

DORAL 87TH RETAIL DEVELOPMENT
RETAIL-RESTAURANT-PARKING DECK-BANK

APPLICATION PACKAGE FOR SITE PLAN REVIEW . 08/24/2018 . 14055



LEGEND

- OH — OH — Overhead Wire Line
- - - - - Wood Fence
- X X X Chain Link Fence
- Iron Fence
- — — — — Monument Line
- Centerline
- Property Line
- A=Arc
- BRG=Bearing
- Ch=Chord
- ∠=Delta
- L=Length
- R=Radius
- T=Tangent
- ∅=Diameter
- ⊙=Existing Elevations
- ⊕=Catch Basin
- ⊕=Water Meter
- ⊕=Electric Box
- ⊕=Sanitary Manhole
- ⊕=Sprinkler Pump
- ⊕=Wood Pole
- ⊕=Conc. Pole
- ⊕=Light Pole
- ⊕=Fire Hydrant
- ⊕=Water Valve
- ⊕=Inlet
- ⊕=Cable Tv Box
- ⊕=Electric Meter Box
- ⊕=Traffic Signal Box
- ⊕=Gas Valve
- ⊕=Manhole
- ⊕=Propane Tank
- A/C=Air Conditioner
- Conc.=Concrete
- C.B.S.=Concrete Block & Stucco
- D.E.=Drainage Easement
- D.M.E.=Drainage Maintenance Easement
- F.D.H.=Found Drill Hole
- F.F.E.=Finish Floor Elevation
- F.I.P.=Found Iron Pipe/Pin
- F.I.R.=Found Iron Rebar
- FN=Found Nail
- FN&D=Found Nail & Disc
- F.P.L.=Florida Power Light Transformer
- H=Height
- L.M.E.=Like Maintenance Easement
- (M)=Measured
- (P)=Plotted
- P.O.B.=Point of Beginning
- P.O.C.=Point of Commencement
- (R)=Record
- Res.=Residence
- SIP/R=Set Iron Pin/Rebar
- S=Spread
- U.E.=Utility Easement

| NO. | DATE | DESCRIPTION | BY | APP. |
|-----|------|-------------|----|------|
| | | | | |
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ROYAL POINT
LAND SURVEYORS, INC.
L.B.# 7282

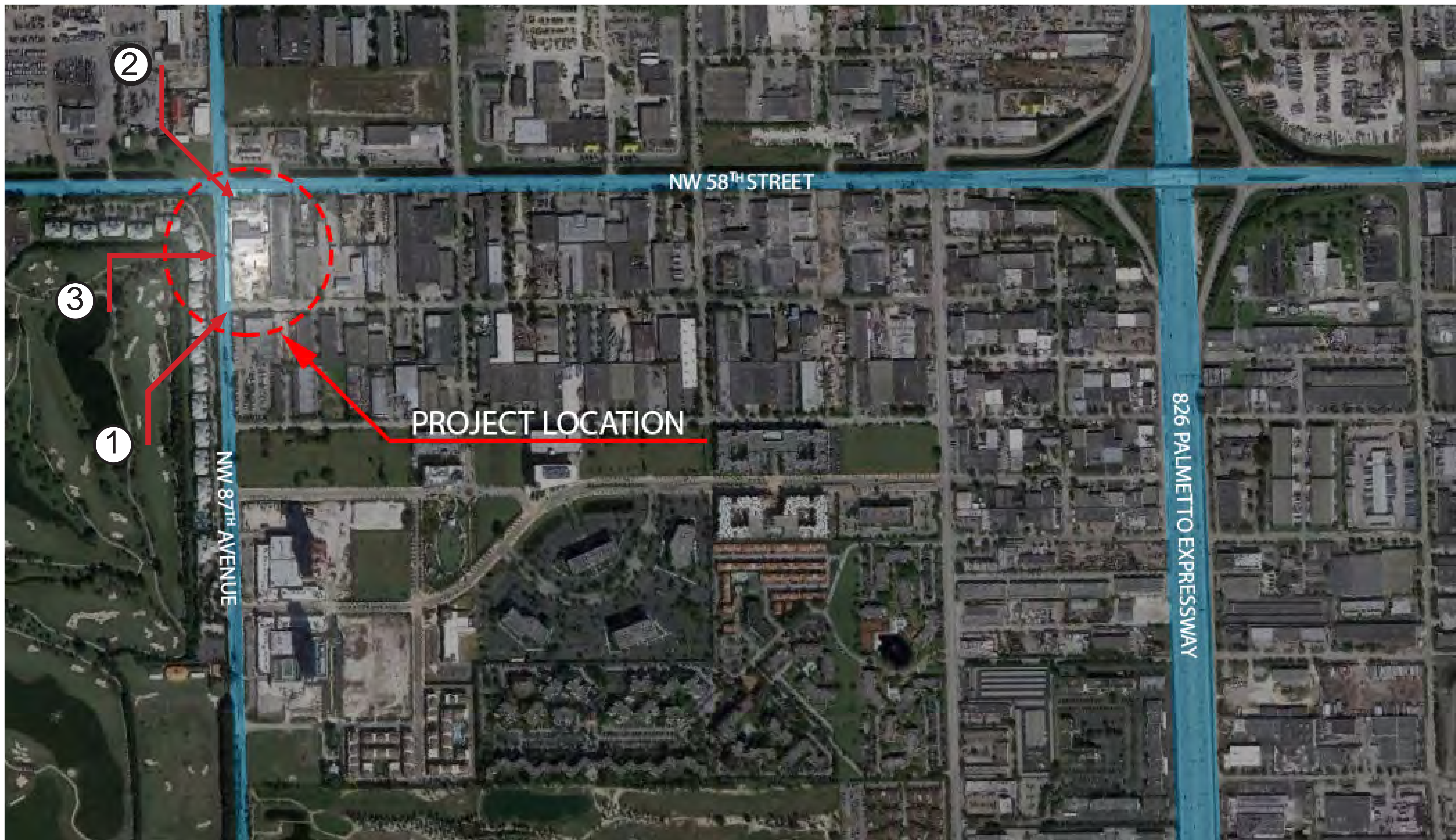
BOUNDARY SURVEY

6175 NW 153 ST., SUITE 321, MIAMI LAKES, FL. 33014 ** TEL.305-822-6062 ** FAX.305-827-9669

PREPARED FOR:
DORAL 87 GROUP LLC
8650-8690 N.W. 58th STREET, DORAL, FLORIDA 33166

TYPE OF PROJECT:
BOUNDARY SURVEY

DRAWN: J.G.
CHECKED: P.J.A.
SCALE: 1" = 30'
FIELD DATE: 4/25/2017
JOB No. RP17-0394
SHEET:
2
OF 2 SHEET



Site Aerial View



①



②



③

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 4955 SW 75th Avenue t. 786.879.8882
 Miami, Florida 33155 f. 786.350.1515
 Florida Corp. AA#26001777
 e. MODIS@MODISarchitects.com

project info :
Doral Retail Development
 5675 NW 87th Avenue,
 8650/8690 NW 58th Street
 Doral, Fl. 33166
 FOLIO NO: 35-3022-000-0540; 35-3022-000-0710;
 35-3022-000-0560

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
 FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

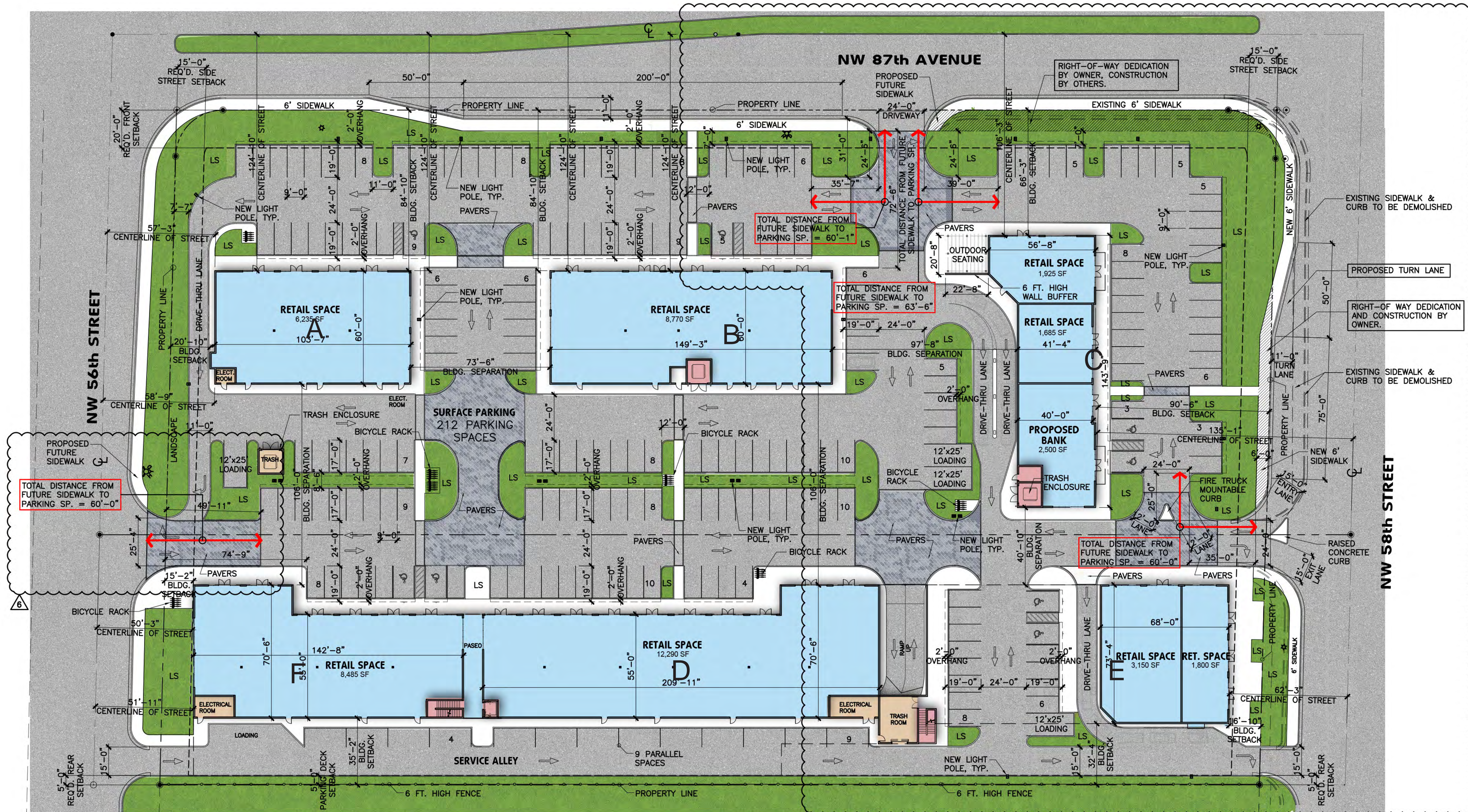
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drawing data :

SITE LOCATION

project number : 14055
drawing scale : As Shown
drawing date : 08-24-2018
phase : Site Plan Review
sheet number : A0.01

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16 Site Plan

SCALE: 1"=30'-0"



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 AA#26001777
 e. MODIS@MODISarchitects.com

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Doral Retail Development
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 Doral, FL 33166
 FOLIO NO: 35-3022-000-0540; 35-3022-000-0710;
 35-3022-000-0560

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
 FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

| | | |
|---|------------|-----------------|
| 5 | 05/30/2018 | REVISION |
| 4 | 04/13/2018 | REVISION |
| 3 | 11/08/2017 | ZONING COMMENTS |
| 2 | 10/13/2017 | ZONING COMMENTS |
| 1 | 09/07/2017 | ZONING COMMENTS |

drawing data :

SITE PLAN

project number : 14055
drawing scale : As Shown
drawing date : 08-24-2018
phase : Site Plan Review
sheet number : A0.02A

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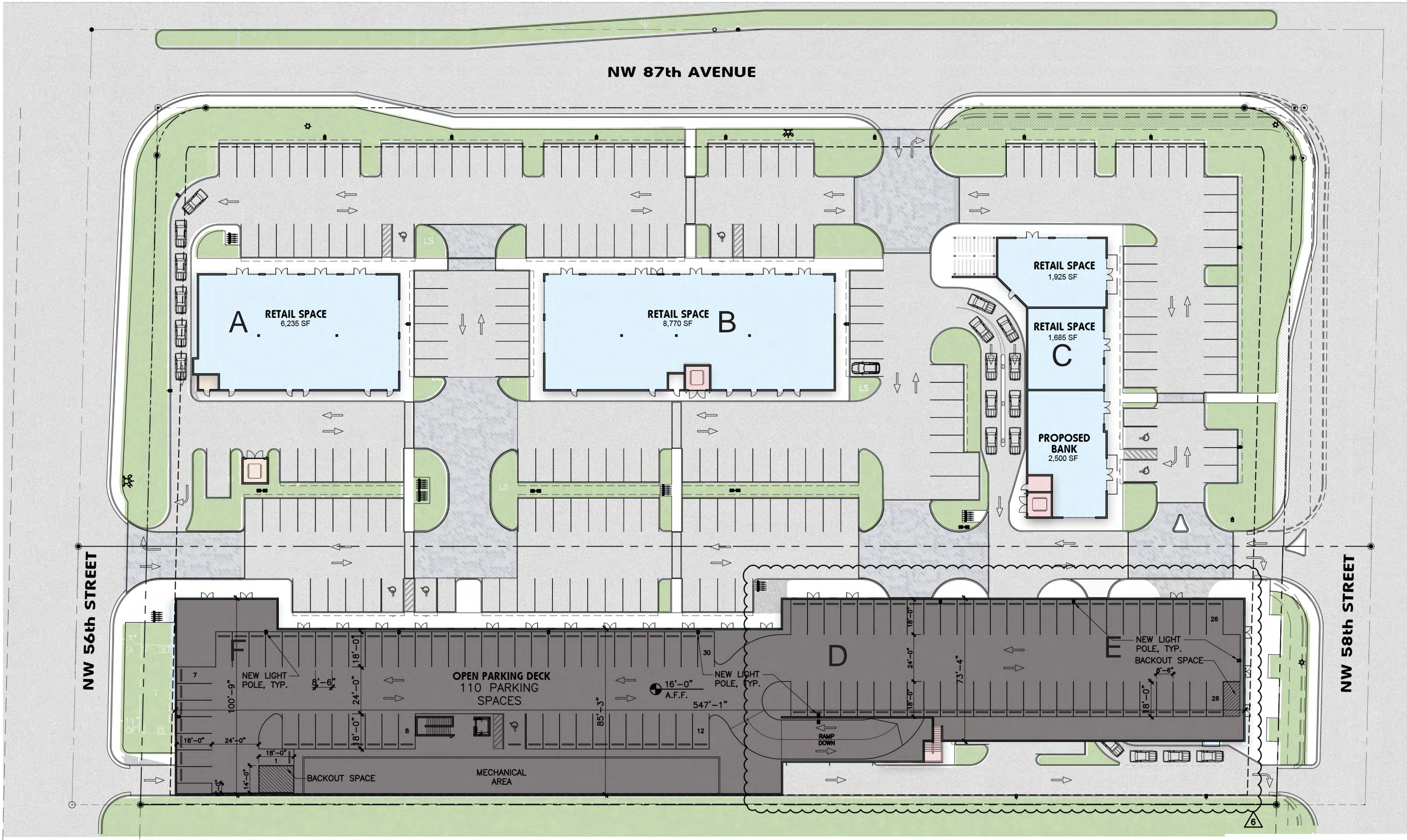
project info :
Doral Retail Development
 5675 NW 87th Avenue,
 8650/8690 NW 58th Street
 Doral, FL 33166
 FOLIO NO: 35-3022-000-0540; 35-3022-000-0710;
 35-3022-000-0560

seal :
 ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
 FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

| | | |
|---|------------|-----------------|
| 5 | 05/30/2018 | REVISION |
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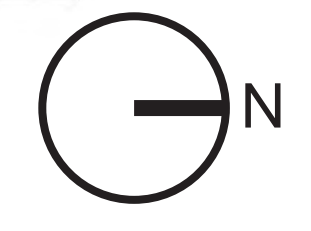
drawing data :
LEVEL 2
 project number : 14055
 drawing scale : As Shown
 drawing date : 08-24-2018
 phase : Site Plan Review
 sheet number : A0.02B



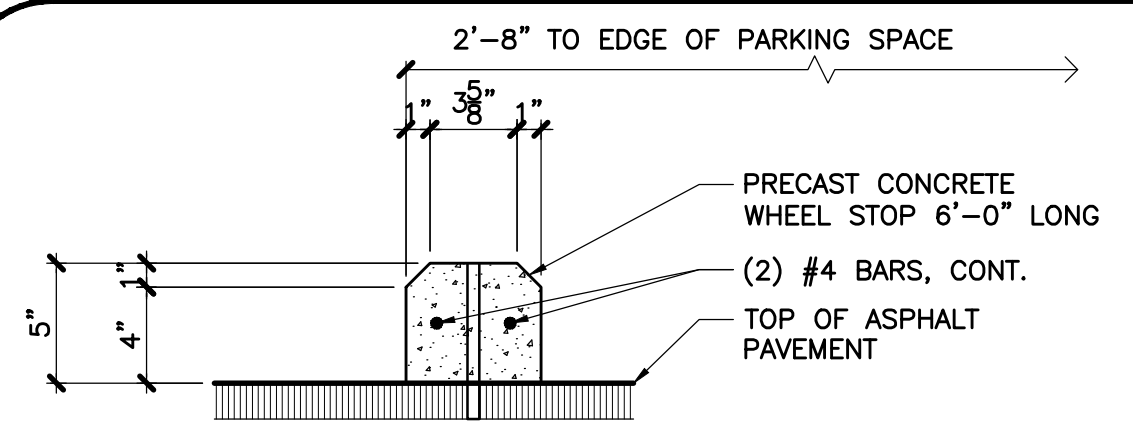
16 Level 2 Parking Deck
 SCALE: 1"=30'-0"

Parking :

| | | |
|-------------------------|---|-------------------|
| 1. SURFACE PARKING | - | 212 SPACES |
| 2. LEVEL 2 PARKING DECK | - | 110 SPACES |
| TOTAL | | 322 SPACES |

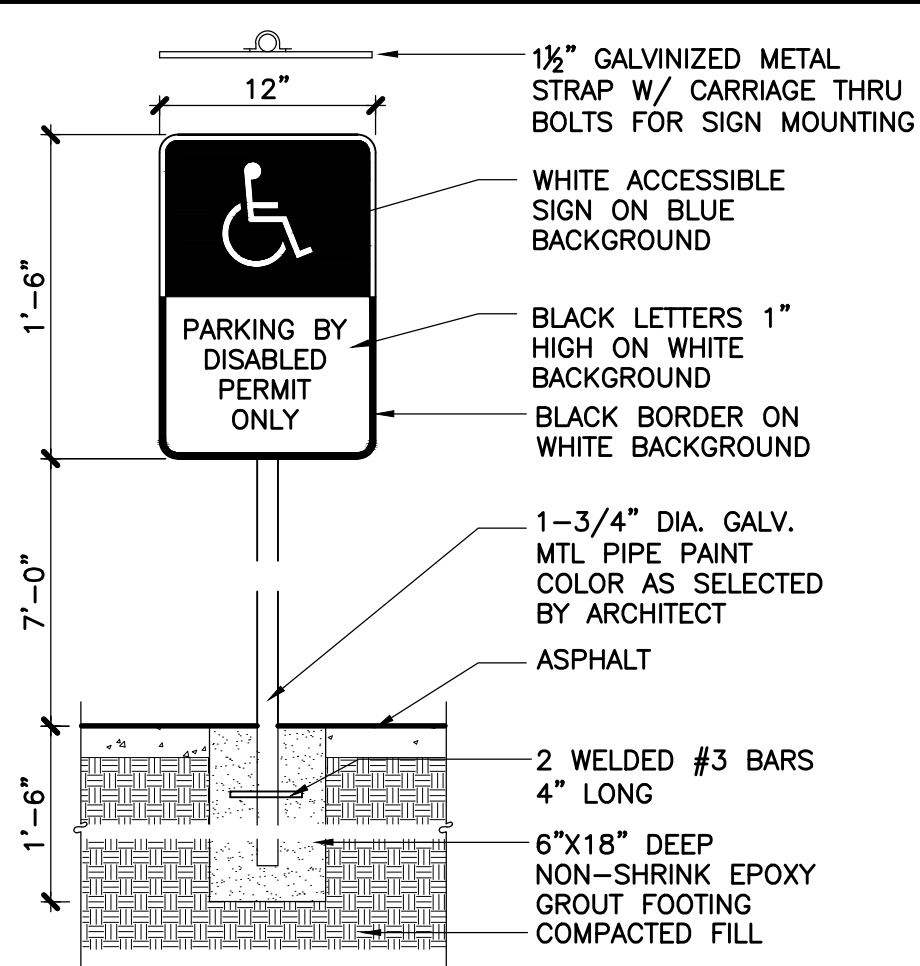


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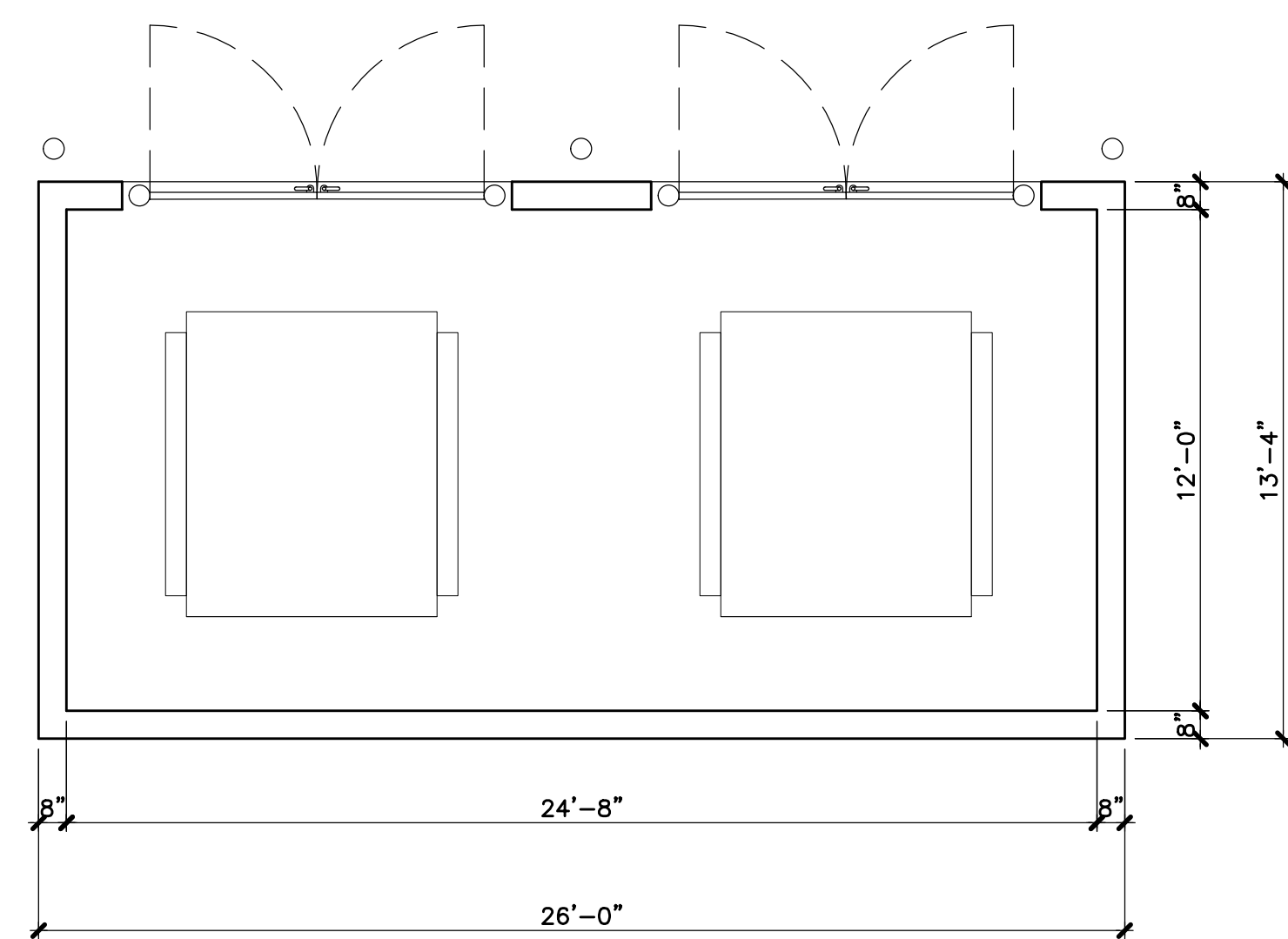
- GENERAL NOTES:
1. PROVIDE WHEEL STOPS SHALL BE PROVIDED AT ALL MARKED STALLS AS DETAILED ON SITE PLAN.
 2. PAINT ALL WHEEL STOPS COLOR TO MATCH STRIPPING OF PARKING STALLS

01 Typ. Wheel Stop Detail
SCALE: 1/2"=1'-0"

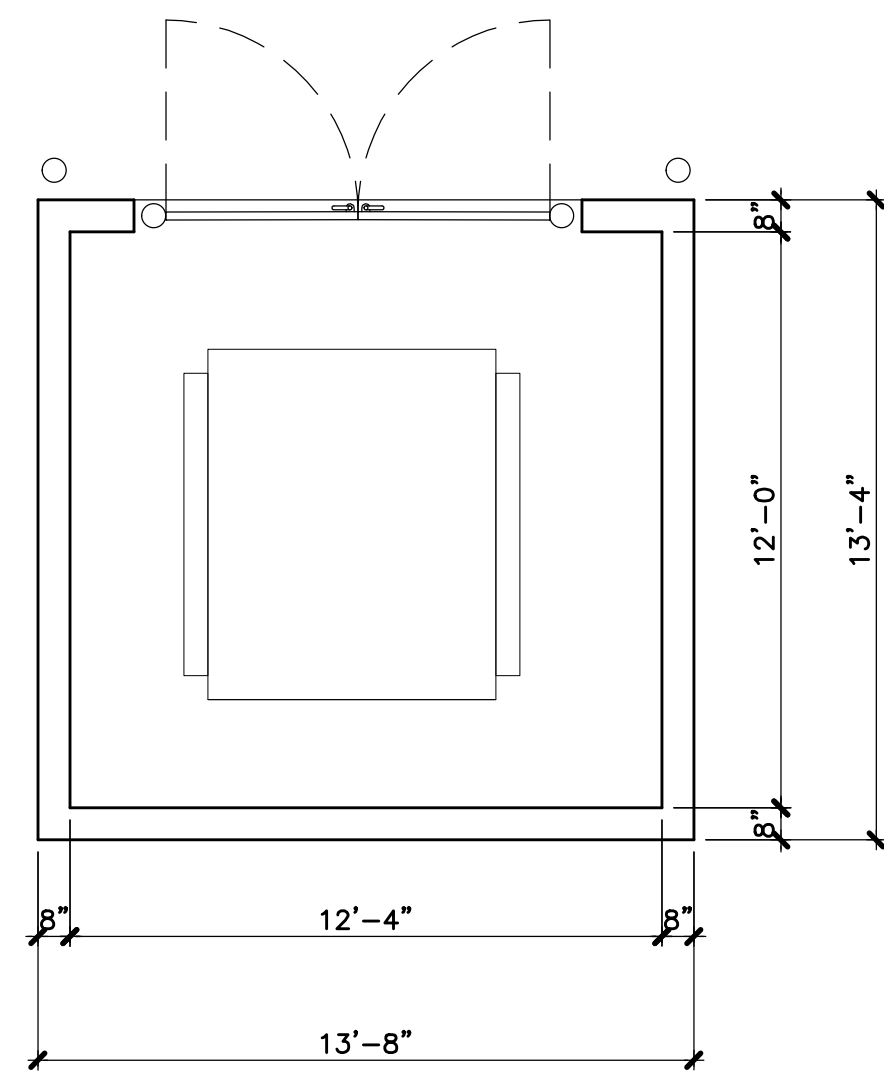


- NOTES :
1. ALL LETTERS TO BE 1" SERIES "C" SPACED 1" BETWEEN TEXT LINES.
 2. TOP SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED H.C. SIGN.
 3. BOTTOM SIGNS SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LETTERS AND BORDER.
 4. SIGN SHALL BE LOCATED IN A MANNER THAT THE LOWEST SIGN DOES NOT PROTRUDE INTO THE REQUIRED HEADROOM CLEARANCE ALONG THE ACCESSIBLE ROUTE SERVING THE PARKING AREAS.
 5. COORDINATE SPECIFIC SIGNAGE REQUIREMENTS WITH LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING, FABRICATION AND INSTALLATION OF SIGNS.

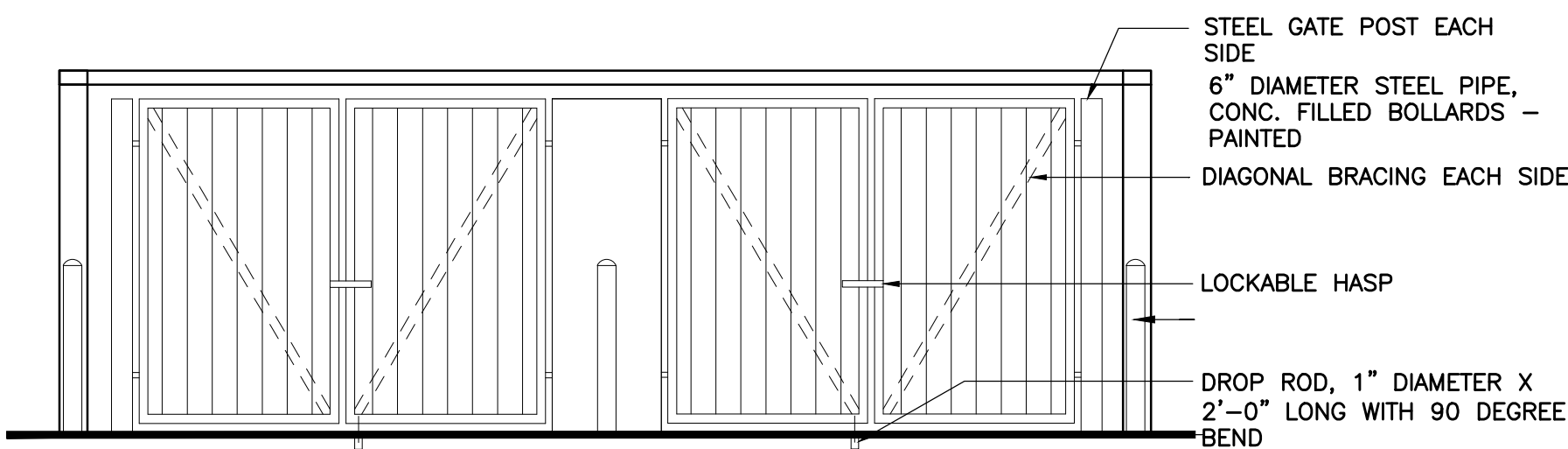
02 Typical Accessible Parking Sign Det.
SCALE: 3/4"=1'-0"



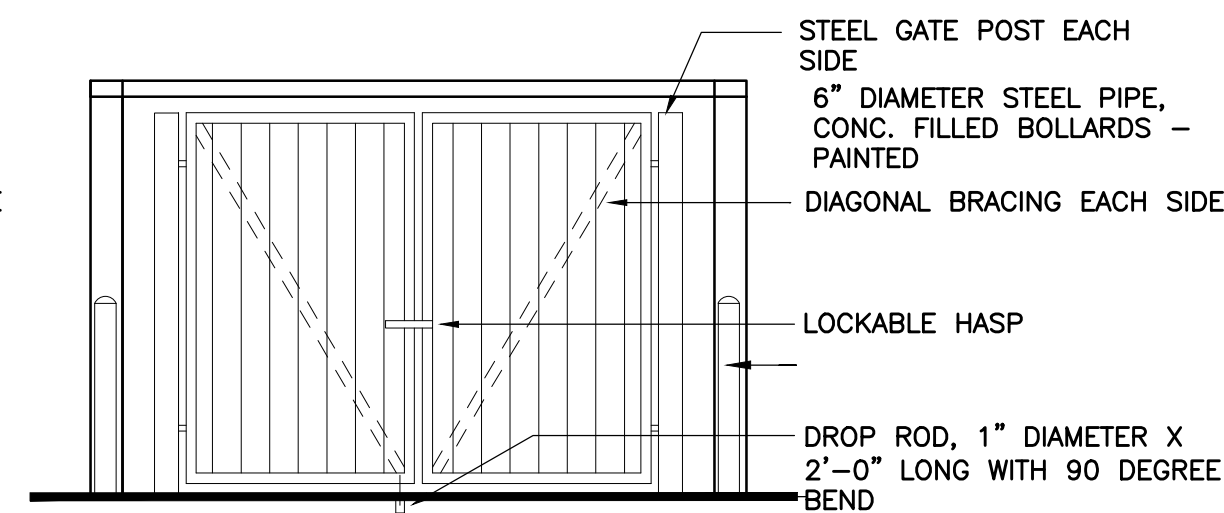
06 Double Trash Enclosure Detail
SCALE: 1/4"=1'-0"



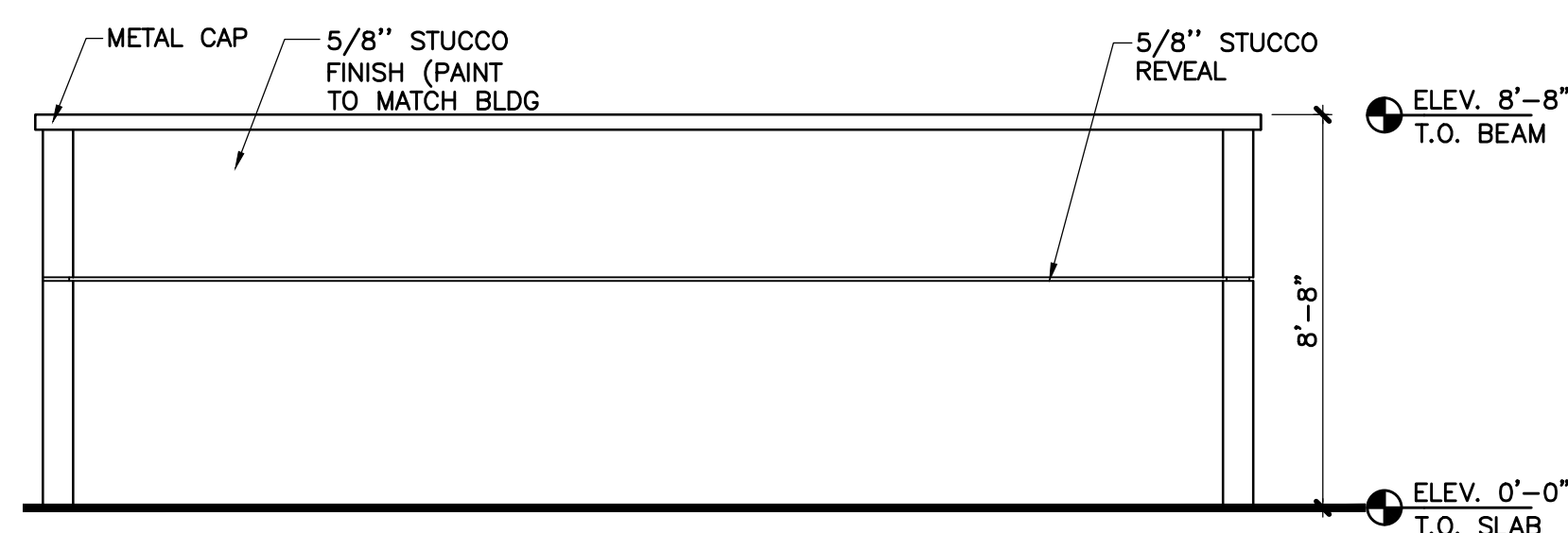
06 Single Trash Enclosure Detail
SCALE: 1/4"=1'-0"



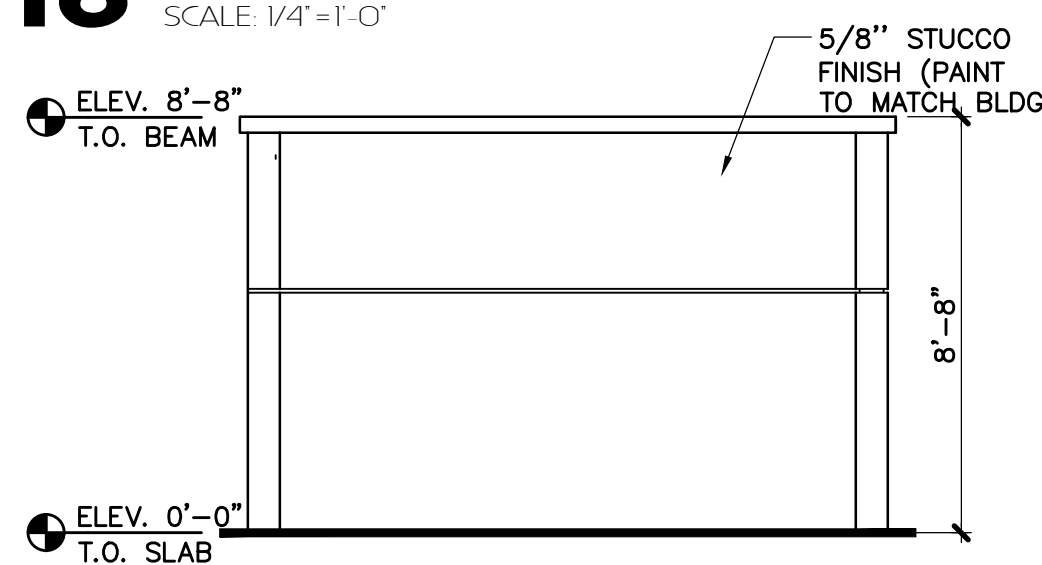
11 Front Elevation
SCALE: 1/4"=1'-0"



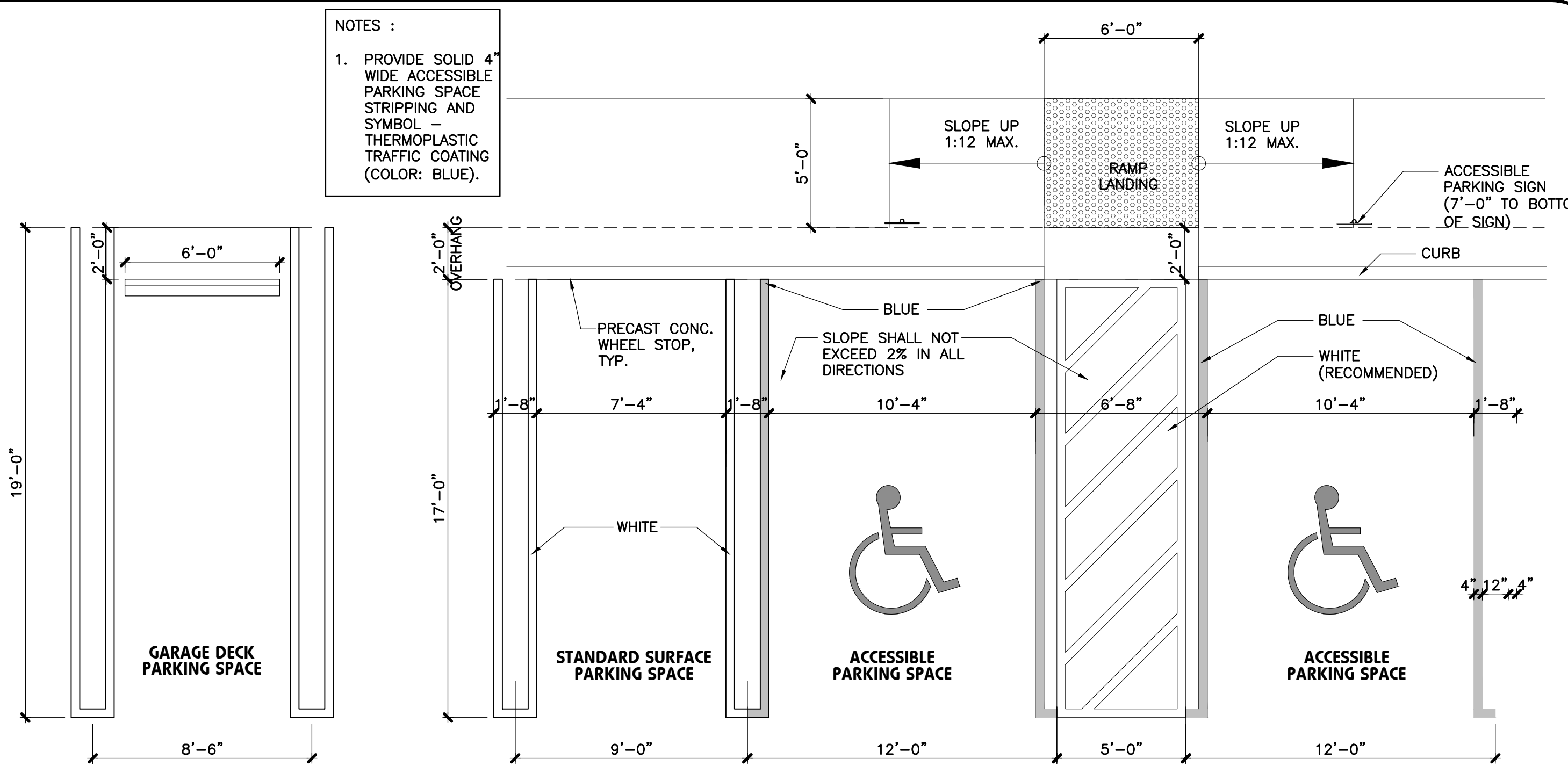
11 Front Elevation
SCALE: 1/4"=1'-0"



16 Rear Elevation
SCALE: 1/4"=1'-0"

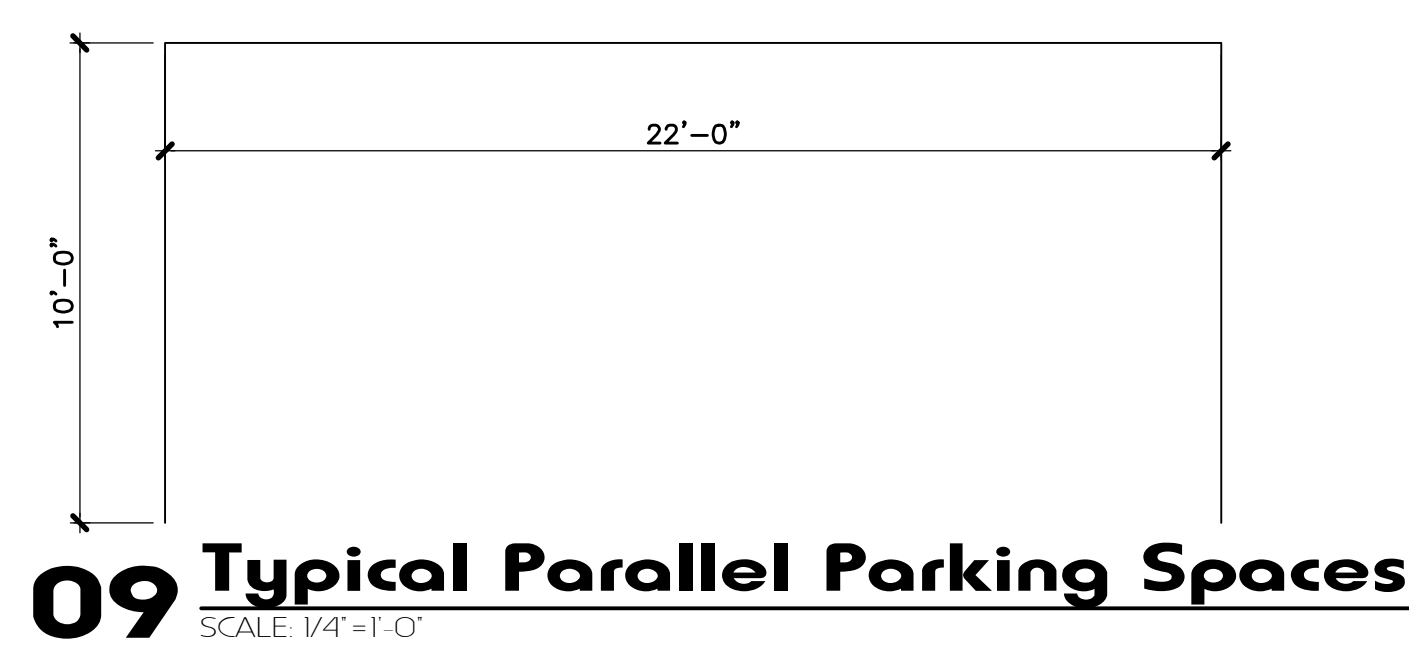


17 Typical Side Elevations
SCALE: 1/4"=1'-0"

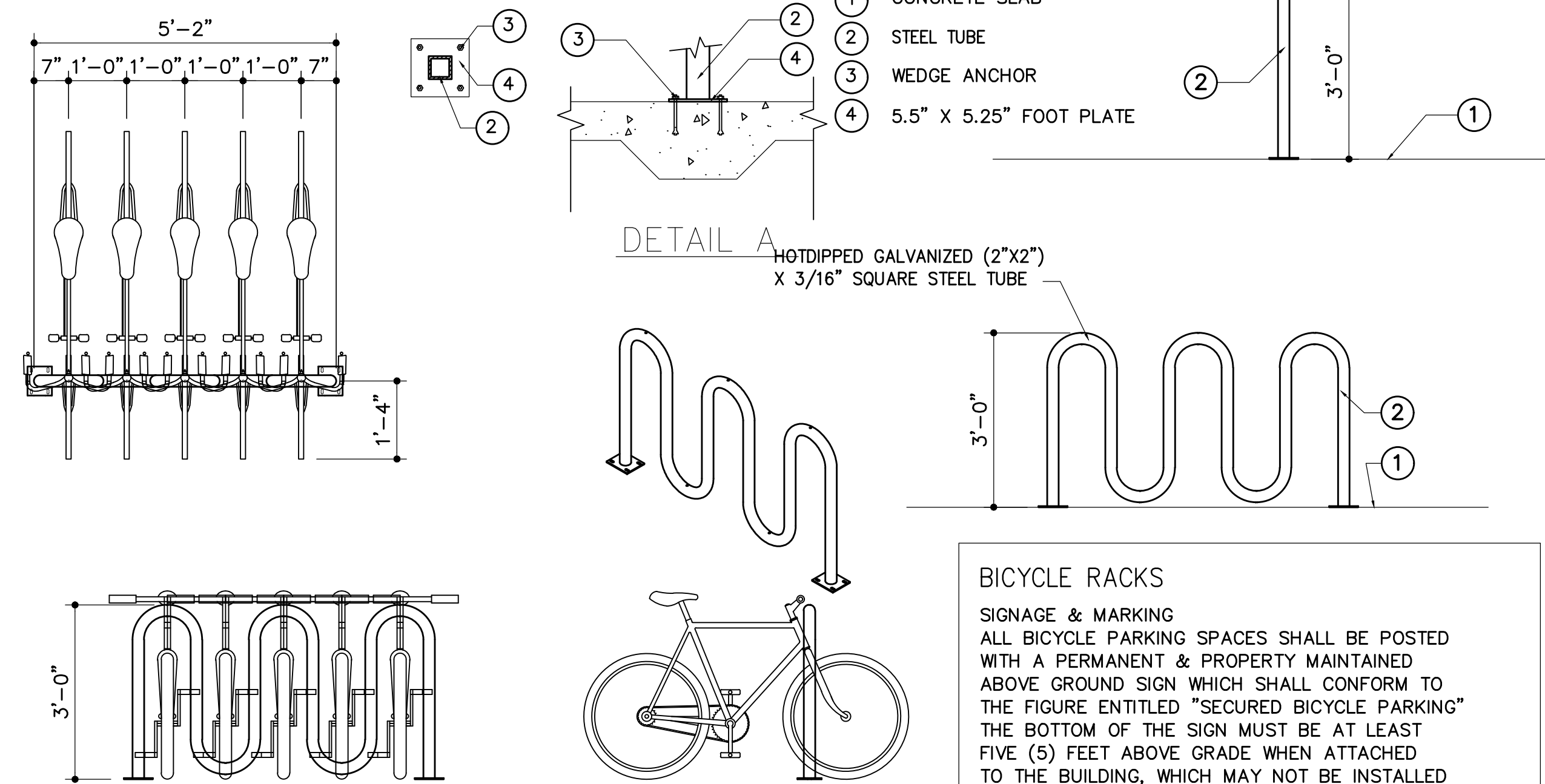


08 Typical Garage Deck Parking Space
SCALE: 1/4"=1'-0"

09 Typical Standard & Accessible Surface Parking Spaces
SCALE: 1/4"=1'-0"



09 Typical Parallel Parking Spaces
SCALE: 1/4"=1'-0"



18 Bicycle Rack Detail
SCALE: N.T.S.

BICYCLE RACKS
SIGNAGE & MARKING
ALL BICYCLE PARKING SPACES SHALL BE POSTED WITH A PERMANENT & PROPERTY MAINTAINED ABOVE GROUND SIGN WHICH SHALL CONFORM TO THE FIGURE ENTITLED "SECURED BICYCLE PARKING" THE BOTTOM OF THE SIGN MUST BE AT LEAST FIVE (5) FEET ABOVE GRADE WHEN ATTACHED TO THE BUILDING, WHICH MAY NOT BE INSTALLED IN THE COUNTY MAINTAINED RIGHT-OF-WAY. NOT PERMIT SHOULD BE REQUIRED FOR SUCH SIGN.
NOTE: INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

MODIS
4955 SW 75th Avenue
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Doral Retail Development
5675 NW 87th Avenue,
8650/8690 NW 58th Street
Doral, FL 33166
project info:
FOLIO NO: 35-3022-000-0540; 35-3022-000-0710;
35-3022-000-0580

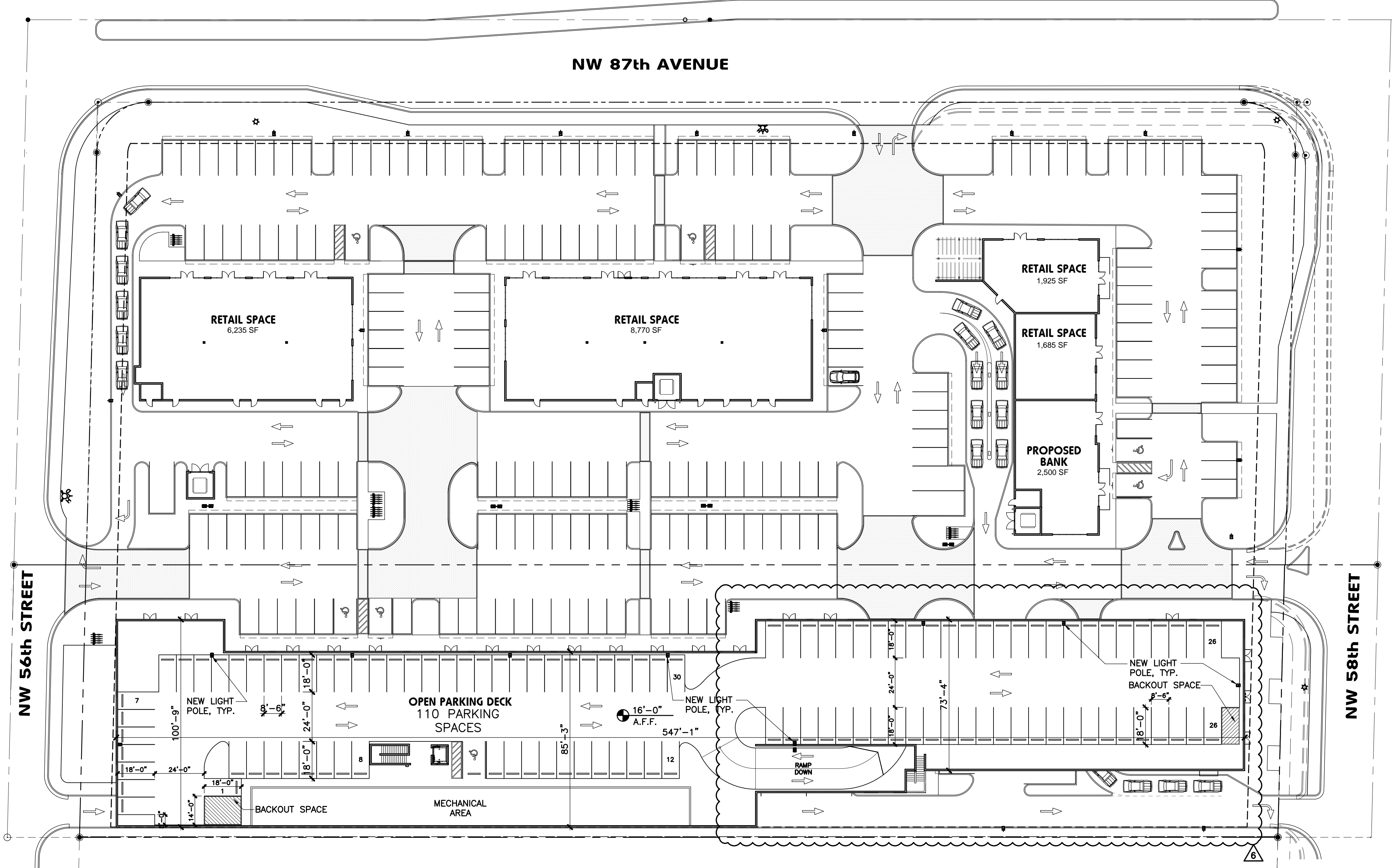
seal:
ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions:
drawing data:
SITE DETAILS
project number: 14055
drawing scale: As Shown
drawing date: 06/27/2017
phase: Site Plan Review
sheet number: A0.04

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16 Level 2 Parking Deck
SCALE: 1"=30'-0"

Parking :

| | |
|---------------------------|-------------------|
| 1. SURFACE PARKING - | 212 SPACES |
| 2. LEVEL 2 PARKING DECK - | 110 SPACES |
| TOTAL | 322 SPACES |

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revisions :

| | | |
|---|------------|-----------------|
| 6 | 08/07/2018 | ZONING COMMENTS |
| 5 | 05/30/2018 | ZONING COMMENTS |
| 4 | 04/13/2018 | ZONING COMMENTS |
| 3 | 11/08/2017 | ZONING COMMENTS |
| 1 | 09/06/2017 | ZONING COMMENTS |

drawing data :

LEVEL 2 PARKING DECK

project number : 14055

drawing scale : As Shown

drawing date : 06/27/2017

phase : Site Plan Review

sheet number : A1.02

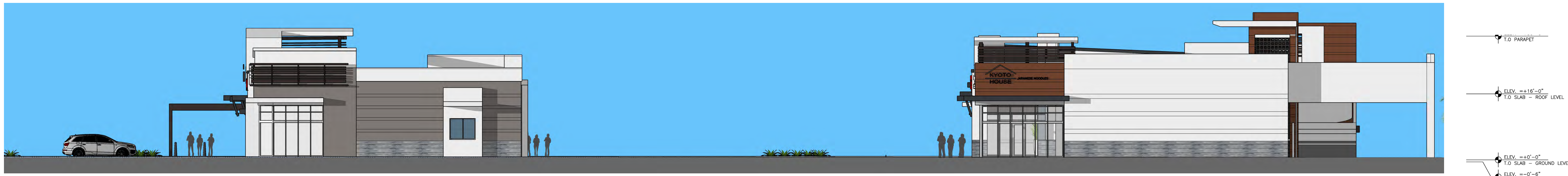
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North Elevation (Building E,C)



South Elevation (Building A,F)



South Elevation (Building C,E)

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| 6 | 08/24/2018 | ZONING COMMENTS |
| 3 | 11/08/2017 | ZONING COMMENTS |
| 1 | 09/07/2017 | ZONING COMMENTS |

drawing data :
Architectural Exterior Elevations

project number : 14055
drawing scale : As Shown
drawing date : 08-24-2018
phase : Site Plan Review
sheet number : A2.01

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View From NW 87th Avenue



Entrance From NW 87th Avenue



Entrance From NW 56th Street



Center Area View

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| 1 | 09/07/2017 | ZONING COMMENTS |

drawing data :
3D Model Images
 project number : 14055
 drawing scale : As Shown
 drawing date : 08-24-2018
 phase : Site Plan Review
 sheet number : A3.01

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Corner of NW 87th Avenue & NW 56th Street



Corner of NW 58th Street & NW 87th Avenue

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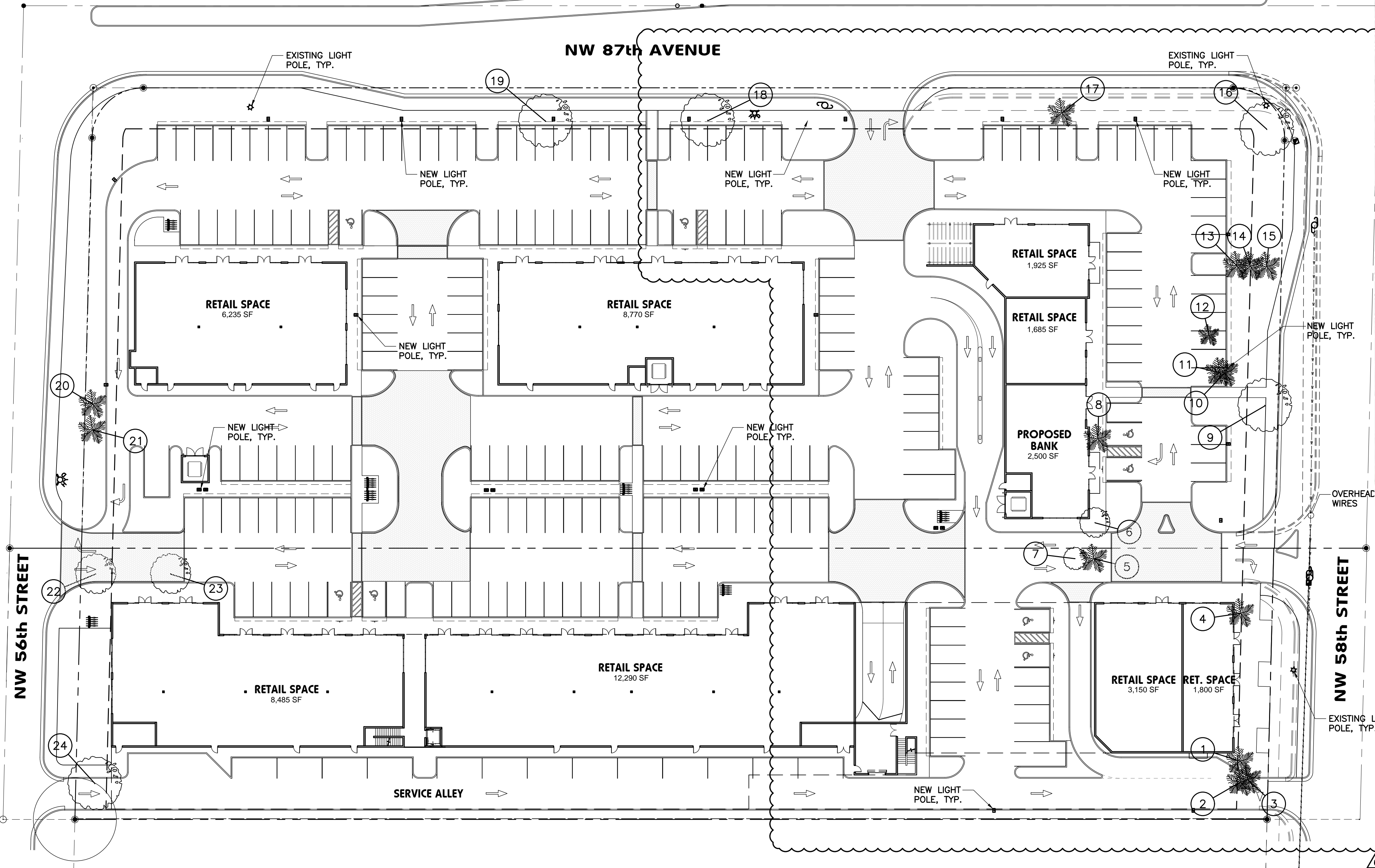
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drawing data :
3D Model Images
project number : 14055
drawing scale : As Shown
drawing date : 08-24-2018
phase : Site Plan Review
sheet number : A3.02

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Project: 14055-87th Avenue Doral - Photos of Existing Trees (Photos taken on February 17, 2017) Project: 14055-87th Avenue Doral - Photos of Existing Trees (Photos taken on February 17, 2017) Project: 14055-87th Avenue Doral - Photos of Existing Trees (Photos taken on February 17, 2017) Project: 14055-87th Avenue Doral - Photos of Existing Trees (Photos taken on February 17, 2017) Project: 14055-87th Avenue Doral - Photos of Existing Trees (Photos taken on February 17, 2017) Project: 14055-87th Avenue Doral - Photos of Existing Trees (Photos taken on February 17, 2017) Project: 14055-87th Avenue Doral - Photos of Existing Trees (Photos taken on February 17, 2017) Project: 14055-87th Avenue Doral - Photos of Existing Trees (Photos taken on February 17, 2017)



| Doral Retail Development | | | | | | | |
|--------------------------|-------------------------|----------------|-------|--------|--------|-------------|--|
| Tree | Botanical Name | Common Name | DBH | Height | Spread | Disposition | Condition |
| ON-SITE TREES | | | | | | | |
| 1 | Sabal palmetto | Sabal Palm | 10 | 19 | 8 | Relocate | Fair |
| 2 | Sabal palmetto | Sabal Palm | 10 | 23 | 6 | Relocate | Fair |
| 3 | Sabal palmetto | Sabal Palm | 10 | 25 | 8 | Relocate | Fair |
| 4 | Sabal palmetto | Sabal Palm | 10 | 30 | 8 | Relocate | Fair |
| 5 | Sabal palmetto | Sabal Palm | 10 | 16 | 8 | Relocate | Fair |
| 6 | Lysiloma sabicu | Lysiloma | 10 | 12 | 12 | Remove | No leader * multi areas of damage to the trunk of the tree * hazardous |
| 7 | Citrus sinensis | Orange tree | 5 | 20 | 10 | Remove | Good |
| 8 | Sabal palmetto | Sabal Palm | 5 | 30 | 16 | Remove | Poor, tree unhealthy |
| 9 | Lysiloma sabicu | Lysiloma | 22 | 25-30 | 25-30 | Remain | Good, OHW |
| 10 | Sabal palmetto | Sabal Palm | 10 | 20 | 6 | Remove | Poor, not viable for relocation in cluster |
| 11 | Sabal palmetto | Sabal Palm | 10 | 26 | 6 | Remove | Poor, not viable for relocation in cluster * choked with strangler fig and schefflera |
| 12 | Ptyosperman elegans | Alexander Palm | 4 | 18 | 6 | Remove | No viable for relocation * tapered trunk to small to relocate * the trunk will snap |
| 13 | Sabal palmetto | Sabal Palm | 5 | 12 | 8 | Relocate | Good |
| 14 | Sabal palmetto | Sabal Palm | 10 | 45 | 12 | Remove | Poor, not viable for relocation * strangler fig and schefflera damage |
| 15 | Acoelorrhaphes wrightii | Faurotis Palm | multi | 25 | 25 | Remove | Poor, not viable for relocation in cluster * rootball is under dumpster pad * multiple dead canes throughout |
| 16 | Bursera simaruba | Gumbo Limbo | 31 | 30 | 30 | Remove | Not a viable candidate for preservation or relocation * large tree with multiple wounds at the base from repeatedly vehicular accidents * girdled roots * multi leaders * decay in the lower section of the tree and on top of a sewer or water line * |
| 17 | Sabal palmetto | Sabal Palm | 14 | 25 | 10 | Relocate | Good * root is growing over the sidewalk but health is good |
| 18 | Bucida buceras | Black Olive | 16 | 35 | 30 | Remove | On property line and fence; in proposed turn lane |
| 19 | Bucida buceras | Black Olive | 16 | 35 | 30 | Remove | On property line and fence; in proposed turn lane & sidewalk |
| 20 | Sabal palmetto | Sabal Palm | 8 | 20 | 6 | Remain | Fair, needs pruning & fertilizing Sabal palm with strangler fig * if allowed to remain the strangler fig will cause damage to the property and sidewalk |
| 21 | Sabal palmetto | Sabal Palm | 10 | 20 | 6 | Remove | Hazardous tree * half dead * leaning onto the sidewalk and road * decay throughout the canopy |
| 22 | Cassia sp. | Cassia | 14" | 30 | 25 | Remove | Growing against the building * probably a volunteer * co-dominant * severe lean * roots are under building * not a viable candidate for preservation or relocation |
| 23 | Cassia sp. | Cassia | 14" | 30 | 25 | Remove | Hazardous tree * half dead * leaning onto the sidewalk and road * decay throughout the canopy * invasive exotic |
| 24 | Acacia auriculiformis | Acacia | 14" | 30 | 30 | Remove | |

Last Revised: June 25, 2017

Date of Tree Inventory: June 25, 2017

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drawing data :

TREE DISPOSITION & INVENTORY PLAN

project number : 14055

drawing scale : As Shown

drawing date : 06/27/2017

phase : Site Plan Review

sheet number : TD.01

Seal

JBS planning & design
planning, landscape architecture & sustainable design
1312 Hagan Terrace Weston, Florida 33327
(954) 803-4292 www.jbsplanning.com

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TREE RELOCATION NOTES:

THE WORK AND MATERIALS NECESSARY FOR MEETING THESE SPECIFICATIONS SHALL BE INCLUDED IN THE UNIT COST OF TREE AND/OR PALM RELOCATION.

THE CONTRACTOR SHALL PERFORM ALL TREE REMOVAL AND PRESERVATION ACTIVITIES IN COMPLIANCE WITH ALL FEDERAL AND STATE LAWS AND LOCAL CODE REQUIREMENTS.

TREE RELOCATION ACTIVITIES MAY BE REQUIRED PRIOR TO, DURING OR FOLLOWING CONSTRUCTION TO ENSURE COMPLIANCE WITH THE OWNER'S COMMITMENTS.

1.00 LOCATION
A. TREES SHALL BE RELOCATED ONCE FROM THEIR PRESENT LOCATION TO A LOCATION ON THE PROJECT SITE SPECIFIED ON THE PLANS.

1.01 ROOT PRUNING, WATERING BEFORE TRANSPLANTING:

A. TREE RELOCATION, ROOT PRUNING AND TRIMMING, SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED & LICENSED ARBORIST.

B. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO MOVING THEM. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER, 2 TO 3 DAYS PRIOR TO ROOT PRUNING. IF THE TREE HAS A DORMANT PERIOD, THEY SHOULD NOT BE TRANSPLANTED DURING THAT TIME.

C. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH TWO-THIRDS (2/3) OF THE WAY AROUND THE TREE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8". THIS TRENCH SHALL FORM A ROOTBALL OF THE FOLLOWING SIZES:

OVER 12" CALIPER 6' DIAMETER

D. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL CONSISTING OF 30% SILICA SAND AND 70% MUCK. WATER THEM THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20:20:20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.

1.02 TOP PRUNING AND THINNING:

A. THE AMOUNT OF GENERAL PRUNING AND THINNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS OR BRANCHES AS A RESULT OF TRANSPLANTING OPERATIONS. PRUNING AND THINNING SHALL BE DONE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL HABIT OR SHAPE OF A PLANT. THE PROJECT LANDSCAPE ARCHITECT SHALL BE CONTACTED PRIOR TO PERFORMING ANY MAJOR PRUNING OR THINNING.

B. ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE A-300 STANDARDS OR PALM PRUNING IN ACCORDANCE WITH THE STANDARDS IN "Arboreticulture Second Edition" by Richard W. Harris, CURRENT EDITION.

1.03 BRACING AND GUYING OF TREES AFTER ROOT PRUNING:

A. BRACING AND GUYING SHALL BE PROVIDED TO ASSURE THE TREES' STABILITY DURING THE ROOT REGENERATION PERIOD; AS PER THE APPLICABLE DETAIL.

1.04 BALLING AND BURLAPPING

A. PLANT MATERIAL, WHICH IS IN A SOIL OF A LOOSE TEXTURE, WHICH DOES NOT READILY ADHERE TO THE ROOT SYSTEM, ESPECIALLY IN THE CASE OF LARGE PLANTS OR TREES, SHALL HAVE THE ROOTBALL WRAPPED IN BURLAP AND THEN WIRE, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.

1.05 TRANSPLANTING PLANT MATERIAL

A. MOVEMENT OF PLANTS ON PUBLIC R.O.W.'S SHALL COMPLY WITH ALL ORDINANCES, CODES AND SAFETY REQUIREMENTS, ETC.

B. TRANSPORT MATERIALS ON VEHICLES LARGE ENOUGH TO ALLOW PLANTS TO NOT BE CROWDED AND DAMAGED. PLANTS SHALL BE COVERED TO PREVENT WIND DAMAGE DURING TRANSIT.

C. PROTECT PLANT MATERIAL DURING TRANSPORTING TO PREVENT DAMAGE TO THE ROOT SYSTEM AND DESICCATION OF LEAVES. TREES SHALL BE PROTECTED BY TYING IN THE BRANCHES AND COVERING ALL EXPOSED BRANCHES AS NECESSARY. DO NOT BEND OR BIND-TIE PLANT MATERIAL IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES OR ALTER THE NATURAL SHAPE.

D. THE CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING, STORING, AND TRANSPORTING MATERIAL TO PREVENT DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF MATERIALS STORED.

E. TRANSPORTING MUST BE DONE WITHIN 24 HOURS AFTER BEING DUG. STORE PLANTS IN SHADE AND KEEP THE ROOT BALL AND CANOPY MOIST.

1.06 INSTALLATION

A. EXCAVATION OF HOLES:
PLANT HOLES SHALL BE ROUGHLY CYLINDRICAL IN SHAPE WITH SIDES APPROXIMATELY VERTICAL. THE DEPTH OF THE HOLE SHALL BE EQUAL TO THE ROOTBALL DEPTH PLUS 12" UNLESS FURTHER DEPTH IS REQUIRED TO PROVIDE ADEQUATE DRAINAGE. THE DIAMETER OF THE HOLE SHALL BE A MINIMUM OF 24" LARGER THAN THE ROOTBALL DIAMETER.

B. SETTING OF PLANTS
PLANT MATERIAL SHALL BE PLANTED AT THEIR NATURAL AND ORIGINAL PLANTING LEVEL PRIOR TO THEIR RELOCATION AND PLACEMENT ON THE NEW SITE. WHEN LOWERED INTO THE HOLE, THE PLANTS SHALL REST ON THE PREPARED HOLE BOTTOM SUCH THAT THE SURFACE ROOTS AT THE TOP OF THE ROOTBALL ARE LEVEL OR SLIGHTLY ABOVE THE LEVEL OF THE TOP OF THE HOLE. CREATE A SAUCER, APPROXIMATELY 6" DEEP TO HELP HOLD WATER. THE PLANTS SHALL BE SET STRAIGHT OR PLUMB OR NORMAL TO THE RELATIONSHIP OR THEIR GROWTH PRIOR TO TRANSPLANTING. THE PROJECT LANDSCAPE ARCHITECT OR REPRESENTATIVE RESERVES THE RIGHT TO REALIGN ANY PLANT MATERIAL AFTER IT HAS BEEN SET, WITHOUT ADDITIONAL COST.

C. BACKFILLING
1) USE PLANTING SOIL FOR TREE INSTALLATION CONSISTING OF 80/20 MIX OF GENERAL PURPOSE PLANTING SOIL TO SAND. PALMS RECEIVE 30/70 GENERAL PURPOSE PLANTING SOIL TO SAND MIX.

2) BACKFILL THE BOTTOM TWO-THIRDS OF THE PLANTING HOLE AND FIRMLY TAMP AND SETTLE BY WATERING AS BACKFILLING PROGRESSES. AFTER HAVING TAMPED AND SETTLED THE BOTTOM TWO-THIRDS OF THE HOLE, THOROUGHLY PUDDLE WITH WATER AND FILL REMAINING ONE-THIRD OF THE HOLE WITH PLANTING SOIL, TAMPING AND WATERING TO ELIMINATE AIR POCKETS.

1.07 WATERING TRANSPLANTED AND NEWLY PLANTED TREES:

A. ROOTBALL WATERING: MAINTAIN A SOIL MOISTURE IN THE ROOT ZONE AT AN OPTIMUM LEVEL FOR HEALTHY GROWTH. DEEP WATER THE ENTIRE ROOTBALL AREA AT A MINIMUM ACCORDING TO THE FOLLOWING SCHEDULE:

WHEN
FIRST MONTH
SECOND MONTH
FOLLOWING TWO MONTHS
LAST EIGHT MONTHS
B. IF THERE IS NO SOURCE FOR WATER AVAILABLE AT THE PROJECT, SUCH AS A HOSE BIB(S) OR FIRE HYDRANT(S) IF APPROVED FOR USE, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING WATER BY MEANS OF A TRUCK OR TANK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PAY ANY FEES FOR WATER USE.

C. THE CONTRACTOR SHALL ADHERE TO THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT'S WATER RESTRICTIONS CURRENT AT THE TIME OF RELOCATION ACTIVITIES.

1.08 MULCHING OF PLANT SAUCER:

A. SPREAD 3" MINIMUM DEPTH THICK LAYER OF SHREDDED EUCALYPTUS OR MELALEUCA GRADE 'B' MULCH OR EQUAL OVER ENTIRE AREA OF THE ROOTBALL.

1.09 APPLICATION OF FERTILIZER:

A. AT TIME OF WATERING ROOT-PRUNED TREES PRIOR TO TRANSPLANTING, DRENCH ROOTBALL ONCE PER WEEK DURING THE COURSE OF WATERING WITH A SOLUBLE FERTILIZER THAT HAS A 20:20:20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.

B. RELOCATED AND NEWLY INSTALLED TREES SHALL NOT BE FERTILIZED AT TIME OF PLANTING, BUT SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED. THREE (3) WEEKS AFTER TRANSPLANTING, AND AFTER MULCHING, APPLY ON THE SURFACE, EVENLY SPREAD OVER THE AREA OF THE ENTIRE ROOTBALL, FEC (FLORIDA EAST COAST FERTILIZER CO.) #5231 (12-6-8) OR EQUAL AT THE RATE OF 0.5KG PER 1" OF TRUNK DIAMETER.

1.10 STAKING TREES:

A. STAKE ALL TREES AND PALMS AT THE NEW SITE WITH NEW TIMBERS WITH A MINIMUM 2" X 4" DIMENSION AS PER THE DETAILS ENCLOSED, OR IN THE CASE OF OBSTACLE, IN ANOTHER MANNER WHICH WILL SUPPORT THE TREES.

1.11 CLEAN-UP:

A. DISPOSAL OF WASTE: ALL WASTE AND OTHER OBJECTIONABLE MATERIAL CREATED THROUGH PLANTING OPERATIONS AND LANDSCAPE CONSTRUCTION SHALL BE REMOVED COMPLETELY ON A DAILY BASIS FROM THE JOB OR AS DIRECTED BY THE PROJECT ENGINEER. ANY PAVED AREAS, INCLUDING CURBS AND SIDEWALKS THAT HAVE BEEN STAINED WITH SOIL, SOD WASTE, FERTILIZER OR OTHER WASTE SHALL BE THOROUGHLY SWEEPED.

B. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF STAKES AND BATTENS AND UNTIE ANY TIED-UP CANDPIES WHEN IT IS DETERMINED BY THE PROJECT ENGINEER THAT SUFFICIENT TIME HAS ELAPSED FOR THE PLANTS TO ROOT STABILIZE, AND/OR AT THE END OF THE ONE YEAR GUARANTEE PERIOD. THIS SHALL BE DONE EVEN IF THE PROJECT HAS BEEN COMPLETED AND GIVEN FINAL ACCEPTANCE. THE CONTRACTOR SHALL UNTIE CANDPIES IMMEDIATELY AFTER INSTALLATION AND REMOVE STAKES AFTER ONE YEAR.

C. BACKFILLING OF HOLE LEFT BY RELOCATED TREE SHALL BE DONE IMMEDIATELY AFTER TREE REMOVAL, OR SUITABLE BARRICADES SHALL BE PROVIDED TO PREVENT INJURIES UNTIL HOLES ARE FILLED. THE CONTRACTOR SHALL BACKFILL HOLES WITH CLEAN FILL AND TOP SOIL TO A LEVEL FLUSH WITH ADJACENT GRADE.

1.12 GUARANTEE AND REPLACEMENT:

A. ALL RELOCATED PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR FROM TIME OF RELOCATION.

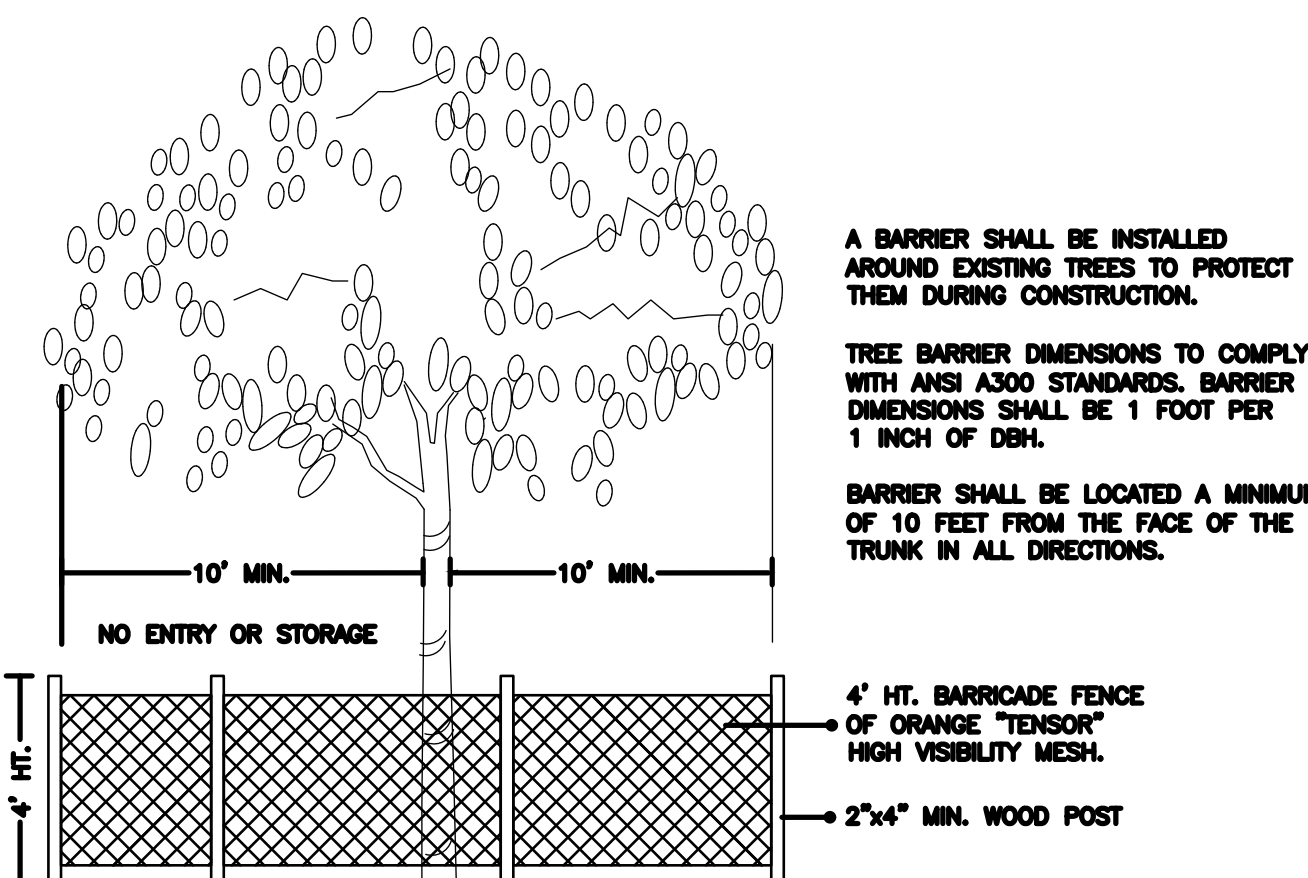
B. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 75 MPH AS DEFINED BY THE MIAMI HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

1.13 SCHEDULE AND APPROVALS:

THE LANDSCAPE CONTRACTOR SHALL SUBMIT A WRITTEN SCHEDULE OF OPERATIONS AND WRITTEN REQUESTS FOR APPROVALS IN ACCORDANCE WITH PROJECT SPECIFICATIONS OR AS OTHERWISE AGREED UPON WITH THE OWNER.

1.14 FINAL ACCEPTANCE:

OWNER SHALL REVIEW PROJECT UPON NOTIFICATION BY CONTRACTOR. OWNER SHALL ISSUE A FINAL ACCEPTANCE AFTER ALL CONTRACT ITEMS AND OBLIGATIONS ARE SATISFACTORY.



TREE PRESERVATION BARRICADE FENCING DETAIL

NTA

Seal
16-1104

jps planning & design
planning, landscape architecture & sustainable design
1312 Pajany Terrace Watson, Florida 33327
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4955 SW 75th Avenue
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AA#26001777
e. MODIS@MODISarchitects.com

project info :

Doral Retail Development
5675 NW 87th Avenue,
8650/8690 NW 58th Street
Doral, FL 33166

FDLS No.: 35-3022-000-0540; 35-3022-000-0710;
35-3022-000-0586

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

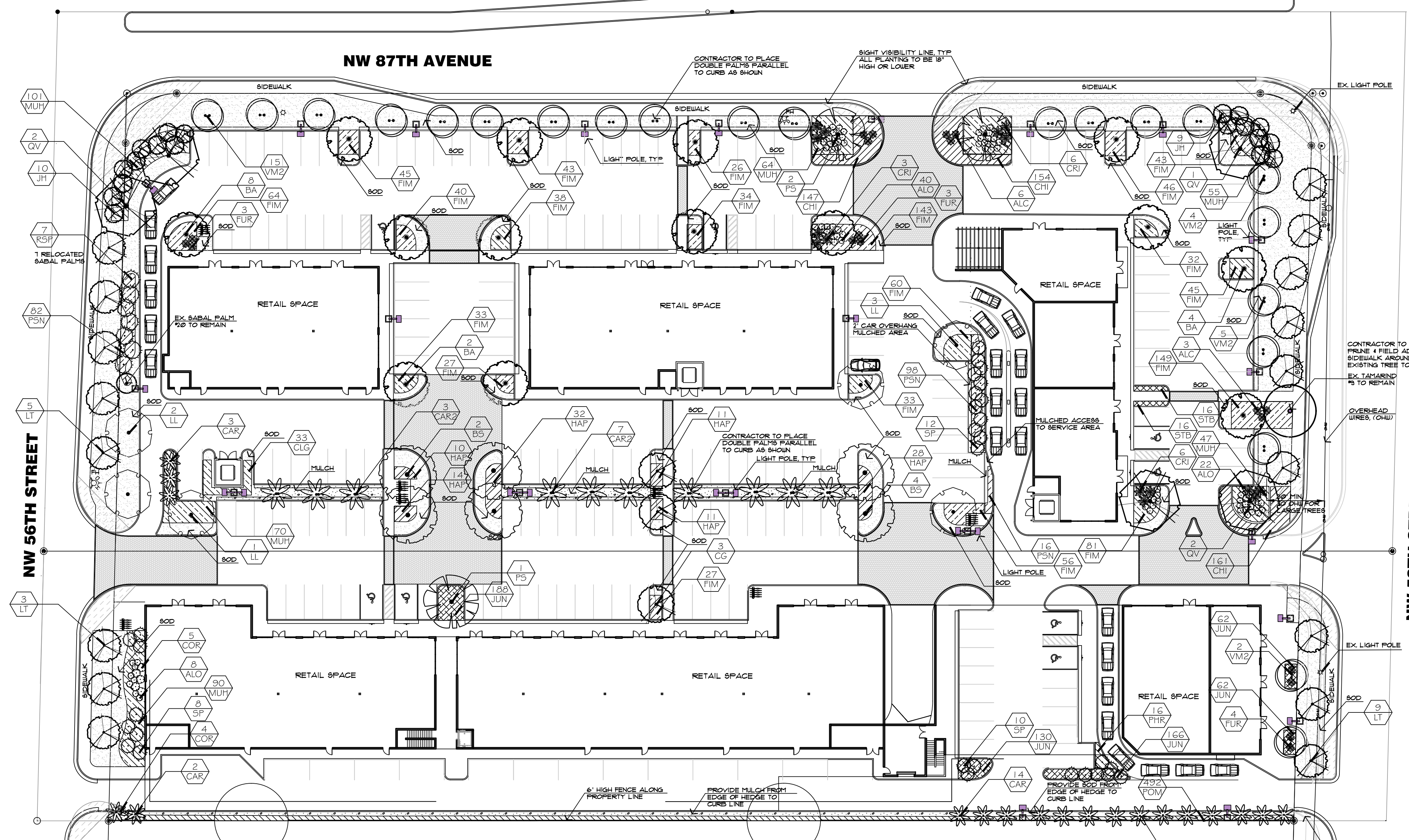
TREE DISPOSITION & INVENTORY PLAN

project number : 14055
drawing scale : As Shown
drawing date : 06/27/2017
phase : Site Plan Review
sheet number : **TD.02**

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Copyright © 2014 | MODIS ARCHITECTS, LLC | All Rights Reserved | 16-1104-01 | Drawing Title: Tree Preservation Barricade Fencing Detail | Drawing No: 16-1104-01 | Date: 06/27/2017

DORAL RETAIL DEVELOPMENT
 5675 NW 87TH AVENUE
 DORAL, FLORIDA



PLANT SCHEDULE

| TREES | CODE | COMMON NAME |
|-------------|------|-------------------------|
| | BA | Veranood |
| | BS | Gumbo Limbo |
| | CG | Bridal Veil Tree |
| | JH | JatrophaTree |
| | LT | Crape Myrtle Coral Pink |
| | LL | Wild Tamarind |
| | QV | Live Oak |
| PALM TREES | CODE | COMMON NAME |
| | CAR2 | Double Carpentaria Palm |
| | CAR | Carpentaria Palm |
| | PS | Wild Date Palm |
| | SP | Cabbage Palmetto |
| | RSP | Relocated Sabal Palm |
| | VM2 | Double Montgomery Palm |
| SHRUBS | CODE | COMMON NAME |
| | ALC | Giant Silver Bromeliad |
| | ALO | Dwarf Elephant Ear |
| | COR | Black Magic Cordyline |
| | CRI | Purple Leaf Crinum Lily |
| | FUR | Giant False Agave |
| SHRUB AREAS | CODE | COMMON NAME |
| | CHI | Dwarf Cocoplum |
| | CLG | Small-Leaf Clusia |
| | FIM | Green Island Ficus |
| | HAP | Dwarf Fire Bush |
| | JUN | Parsoni Juniper |
| | MUH | Pink Muhly |
| | PHR | Burgandy Philodendron |
| | POM | Maki Podocarpus |
| | PSN | Wild Coffee |
| | STB | Black Gold Sansevieria |

LANDSCAPE LEGEND Information Required to be Permanently Affixed to Plan

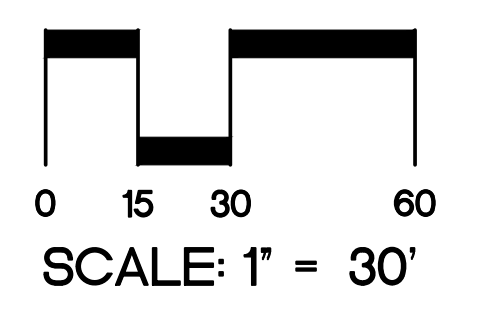
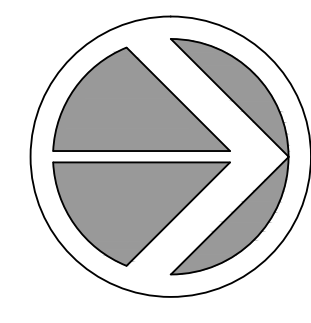
Zoning District: CC Net Lot Area 4.75 acres 206,928 s.f.

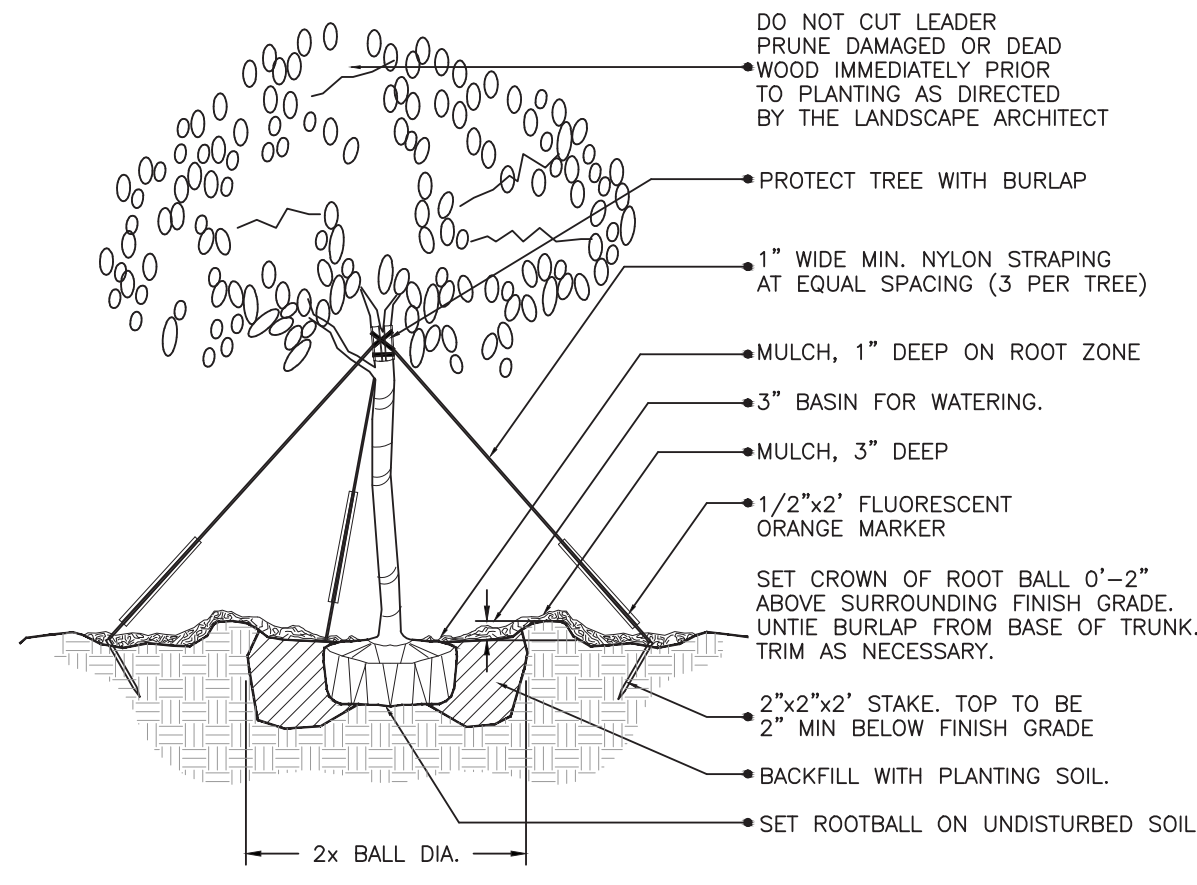
| OPEN SPACE | REQUIRED | PROVIDED | TREES | REQUIRED | PROVIDED |
|---|----------|----------|---|----------|---------------------------|
| A. Square Feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 206,928 s.f. x 17% = 34,903 s.f. | 34,903 | 43,454 | A. No. trees required per net lot acre Less existing number of trees meeting minimum requirements = 22 trees x net lot acres = | 105 | 105 |
| B. Square Feet of parking lot open space required by Chapter 18A, as indicated on site plan: No. parking spaces 317 x 10 s.f. per parking spaces = | 3,170 | 3,170 | B. % Palms Allowed: No. trees required x 30% = % Palms permitted to count as street trees 1:1 basis x 30% | 32 | 32 |
| C. Total s.f. of landscaped open space required by Chapter 33: A + B = | 38,073 | 46,624 | C. % Natives Required: No. trees provided x 30% = | 32 | 45 |
| LAWN AREA CALCULATION | | | D. Street trees (maximum average spacing of 35' o.c.): 938 linear feet along street / 35 = | 27 | 27 |
| A. 38,073 total s.f. of landscaped open space required by Chapter 33 | 38,073 | 46,624 | E. Street trees located directly beneath power lines NW 58th St (maximum average spacing of 25' o.c.): 356 linear feet along street / 25 = | 14 | 14 |
| B. Maximum lawn area (sod) permitted = N/A % x 38,073 s.f. = | N/A | N/A | F. Total Trees Required A + D + E = 146 Total Trees | 146 | 146 |
| | | | SHRUBS | | |
| | | | A. No. trees required x 10 = No. of shrubs | 1,460 | 1,465 (NG groundcover) |
| | | | B. No. shrubs x 30% = No. of native shrubs required | 438 | 756 |

SEE LANDSCAPE LIST

NOTE:
 1. ALL TREES & PALMS IN SOD (WITHOUT UNDERSTORY PLANTING) SHALL HAVE A 3' DIAMETER RING OF MULCH AROUND THE TREE.
 2. MULCH SHALL NOT COVER THE BARK & ROOT FLARE SHALL BE VISIBLE FOR ALL TREES.
 3. BIODEGRADABLE ROPE (JUTE) TO BE USED TO CONNECT THE TREE BRANCHES TO THE TREE SUPPORTS.
 4. ALL AREAS PREVIOUSLY IMPERVIOUS AND PROPOSED AS PLANTING AREAS SHALL BE EXCAVATED DOWN A MINIMUM OF 30" TO REMOVE ALL ROCK, CONCRETE, ASPHALT AND OTHER IMPERVIOUS MATERIAL AND BACKFILLED WITH PLANTING SOIL PER PLAN SPECIFICATIONS.

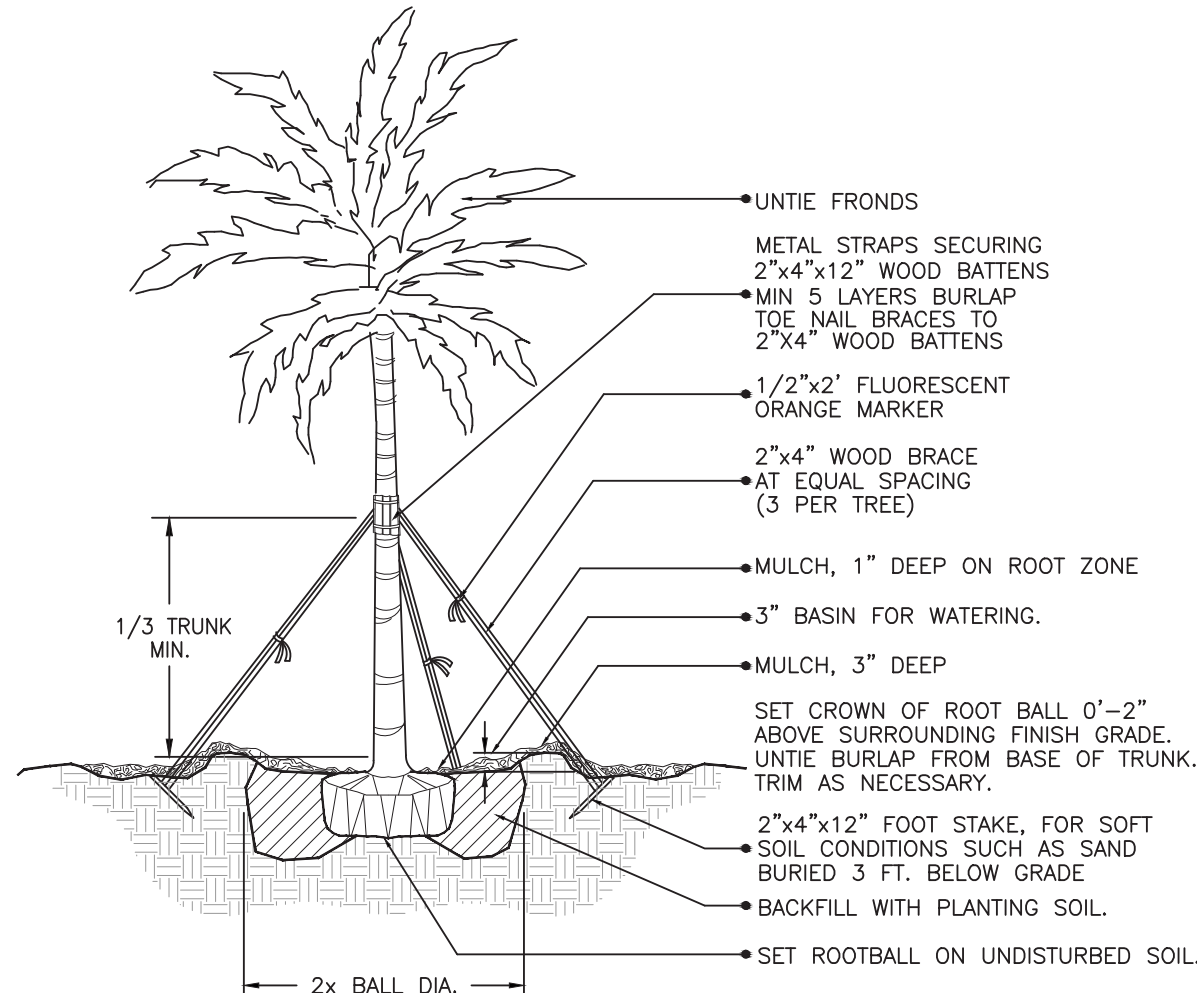
SEE LP-2 FOR A FULL PLANT SCHEDULE, DETAILS, NOTES AND SPECIFICATIONS.





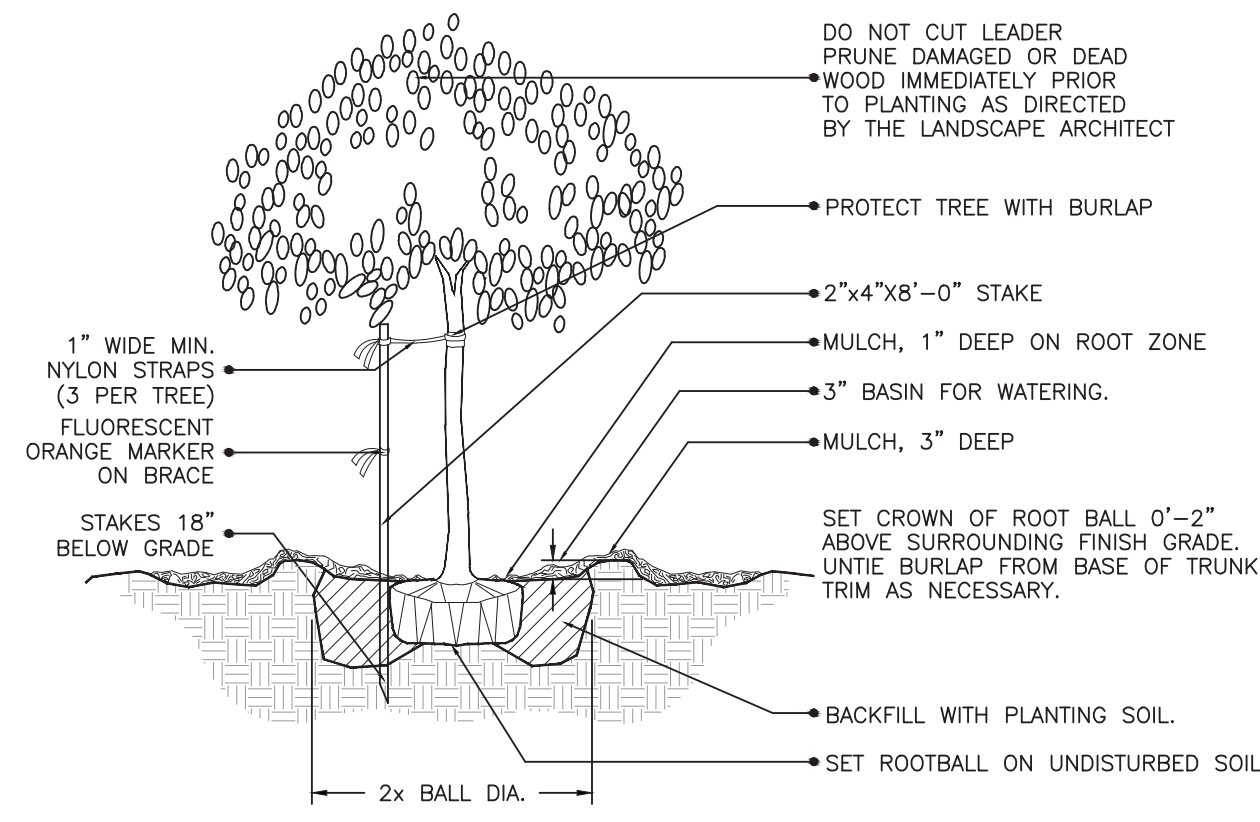
(2" cal. and over)
LARGE TREE PLANTING DETAIL

NTS.



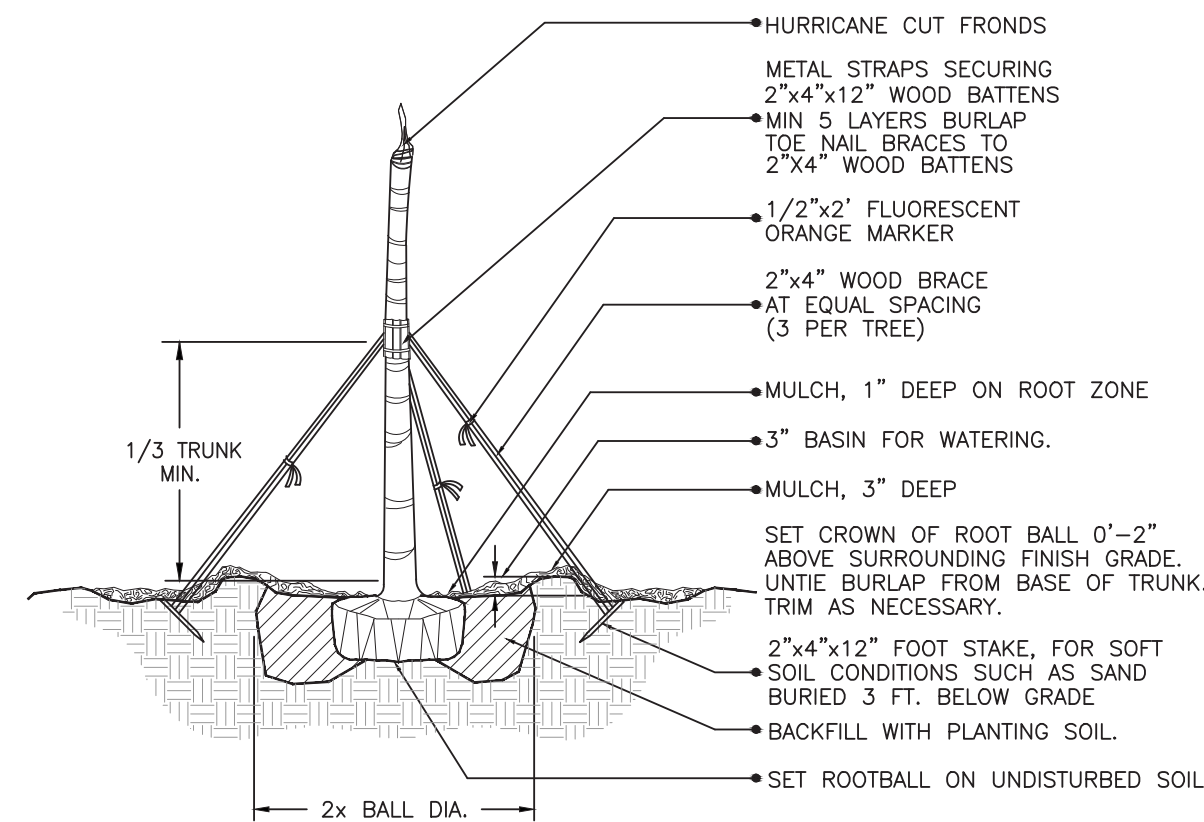
LARGE PALM PLANTING DETAIL

NTS.



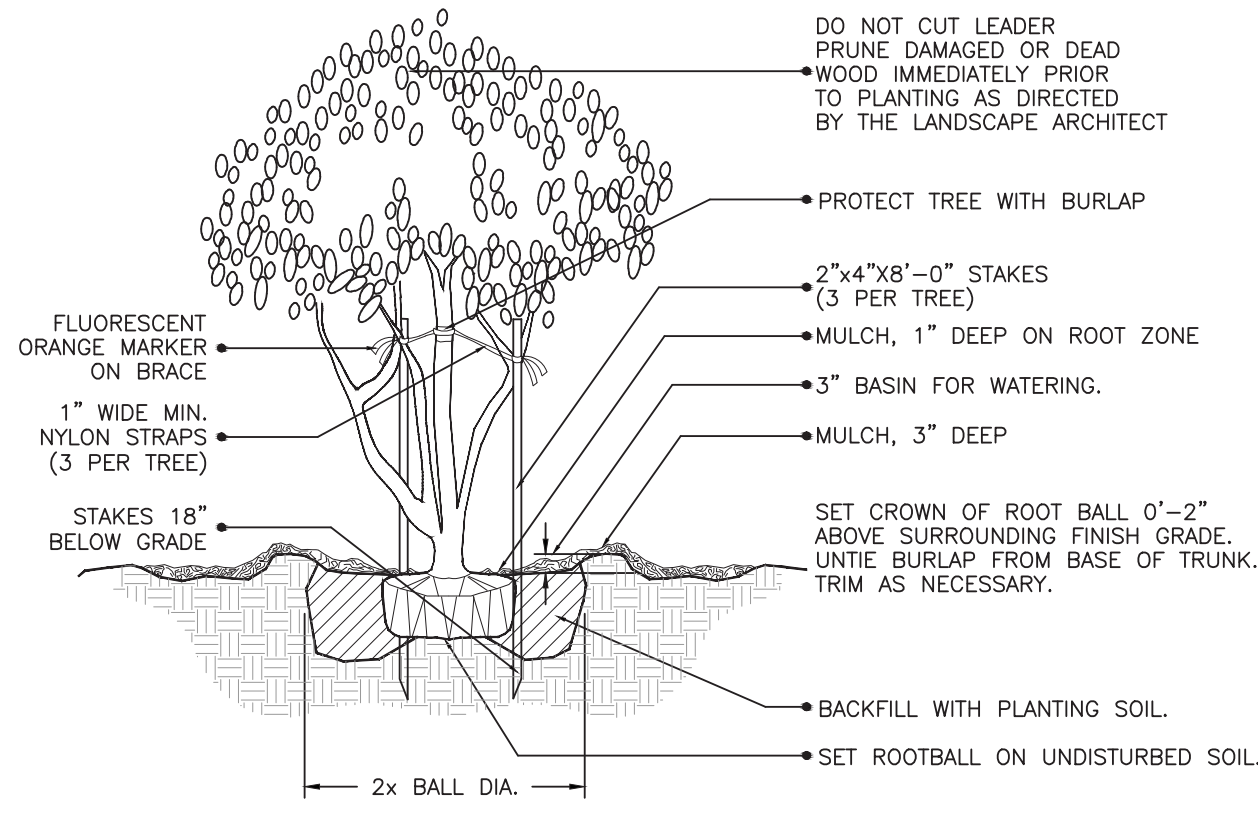
(2" cal. and under)
SMALL TREE PLANTING DETAIL

NTS.



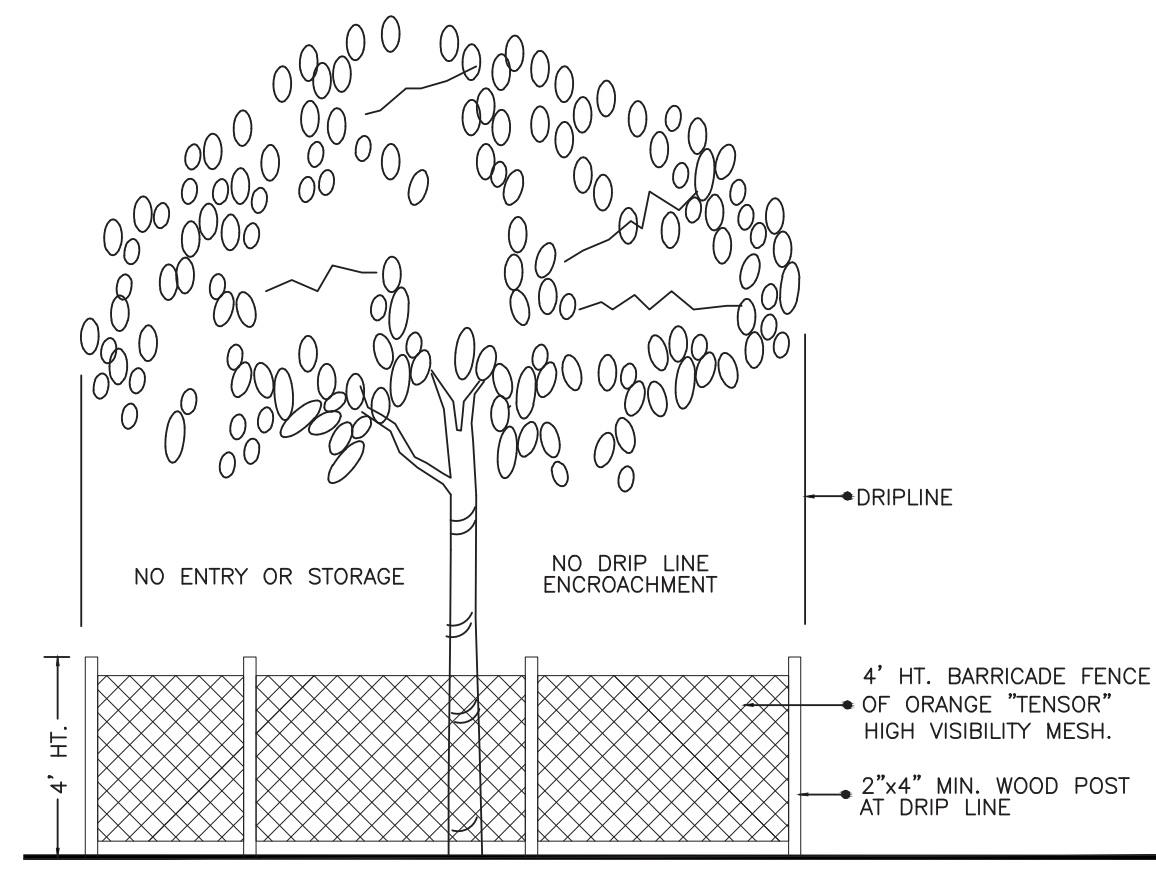
CIGARED SABAL PALM PLANTING DETAIL

NTS.



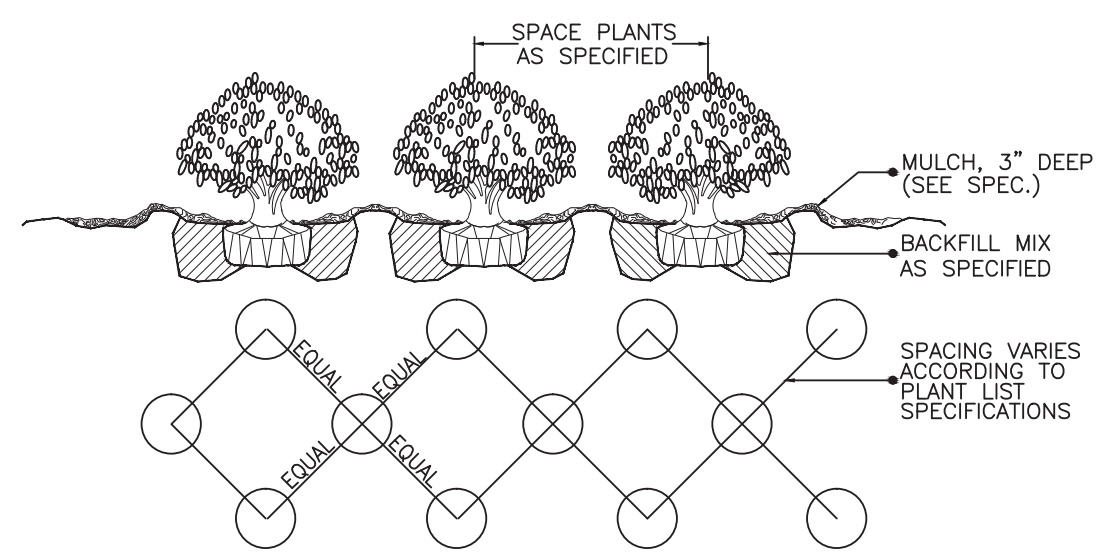
MULTI-TRUNK AND SMALL TREE (2" cal. and under) PLANTING DETAIL

NTS.



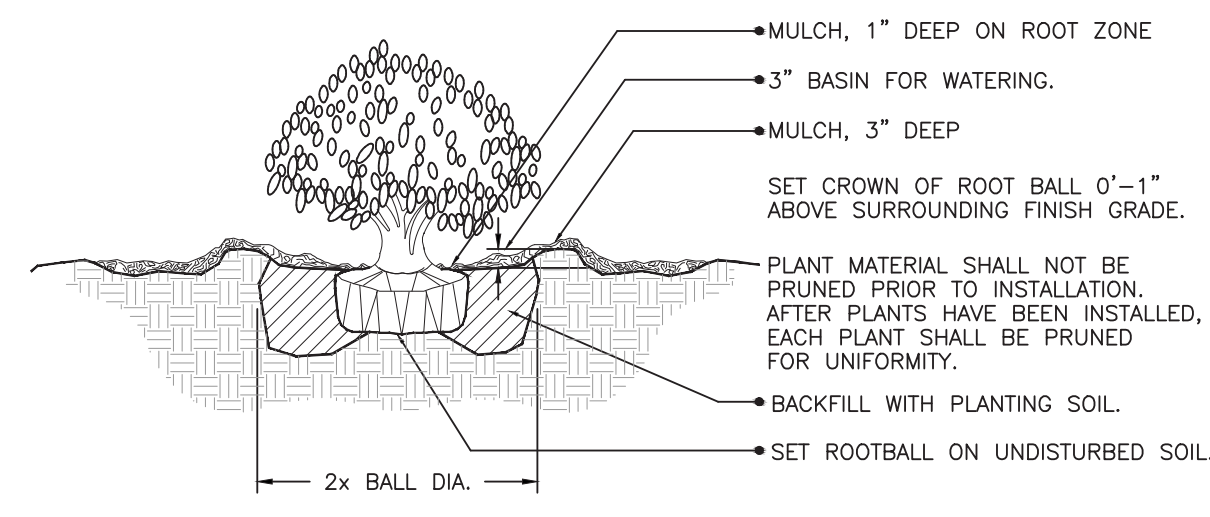
TREE PRESERVATION BARRICADE FENCING DETAIL

NTS.



SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL

NTS.



SHRUB PLANTING DETAIL

NTS.

GENERAL NOTES:

1. PLANT MATERIAL: All plant material shall be Florida #1 or better as established by "Grades and Standards for Nursery Plants" of the state of Florida, Department of Agriculture.
2. All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
3. Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, topsoil, fertilizer, etc. shall be included in the unit cost of the plants.
4. Where there is a discrepancy either in quantities, plant names, sizes or specifications between the plan or plant list, the plan takes precedence.
5. All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded eucalyptus or Florida grade 1B or better.
6. The Planting Plan shall be installed in compliance with all existing codes and applicable deed restrictions.
7. SOD: All areas not used for buildings, vehicular use areas, walks or planting beds shall be grassed. Grassing shall extend to any abutting street pavement edge and to the main waterline of any abutting canal, lake or waterway.
8. PLANTING SOIL: All trees and shrubs shall be planted with a minimum of 12" topsoil around and beneath the rootball. Minimum topsoil shall be 6" for groundcover areas and 2" for sodded grass areas.
9. Planting soil to be a weed-free mixture of 50% sand, 40% muck, and 10% Canadian peat. All plant material to receive planting soil as per details.
10. Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
11. Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4110 Two Full Business Days prior to digging for underground utility locations.
12. Contractor shall be responsible for providing final grading of all associated planting areas.
13. After final grade, area to be raked to 6" depth and all rock and foreign inorganic materials removed and disposed of properly off-site.
14. All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 8).
15. No pruning of any tree or palm will be accepted. All plants to be planted at the nursery grade or slightly higher.
16. Contractor shall stake & guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during warranty period and removal & disposal of staking after establishment period.
17. Fertilizer for grass areas shall be NPK 16-4-8 @ 12.5 lbs/1000 s.f. or 5-45 lbs/acre. Nitrogen 50% slow release form & fertilizer to include secondary micronutrients.

18. SUBSTITUTIONS AND CHANGES: All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Landscape Architect, the Owner and governing municipality.
19. WATERING: All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until substantial completion and as needed thereafter for a period of 2 months.
20. All new plant material shall be guaranteed for 1 year from time of final acceptance of project. Any plant material not in a healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10 days of notification. For all replacement plant material, the warranty period shall be extended an additional 45 days beyond the original warranty period. All trees that lean or are blown over, caused by winds less than 15 mph, will be re-set and braced by the Contractor at no additional cost to the Owner.
21. The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials utilizing the unit price breakdown submitted.
22. No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
23. Plant material will not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise damaged.
24. Root-prune all trees a minimum of (8) weeks prior to planting.
25. All landscaped areas will be irrigated by an underground, automatic, rust-free irrigation system providing 100% coverage and 100% spray overlap. The system shall be maintained in good working order and designed to minimize water on impervious surfaces and not overwater sidewalks. A rain sensor device shall be installed to override the irrigation cycle of the system when adequate rainfall has occurred.
26. All plant material planted within the eight distance triangle areas (see plan) shall provide unobstructed cross-visibility at a horizontal level between 30 inches and 8 feet above adjacent street grade.
27. No canopy trees shall be planted within 12 feet of a light pole. No palm species shall be planted within 6 feet of a light pole.
28. Ground cover plantings shall provide not less than 50 percent coverage immediately upon planting and 100 percent coverage within 6 months after planting.
29. Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.
30. In all pedestrian areas, all trees and palms shall be maintained to allow for clear passage at an 8 foot clear trunk.
31. All landscape material shall be setback a minimum of 10' from any Fire Hydrant.

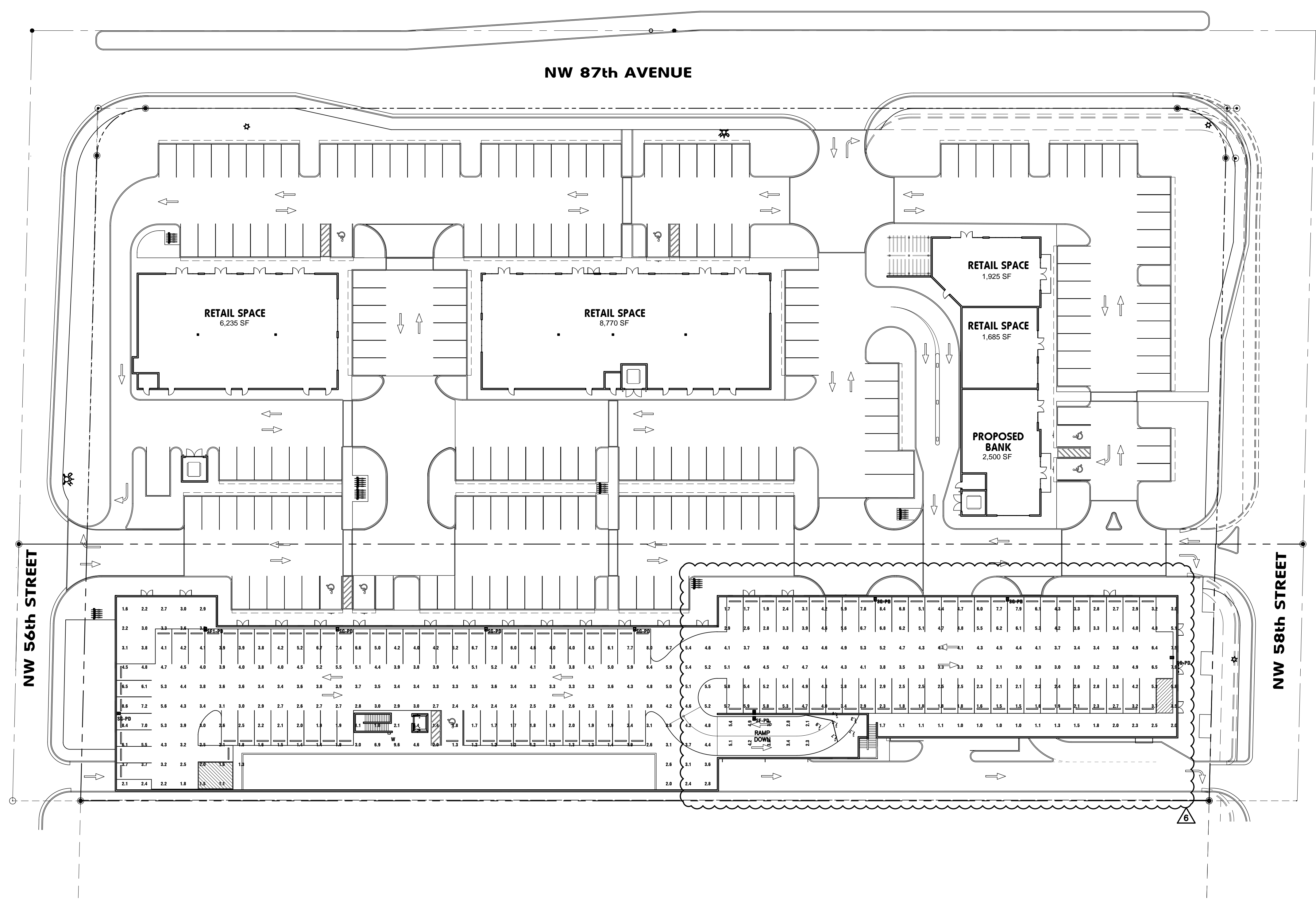
PLANT SCHEDULE

| TREES | CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | COMMENTS | NATIVE |
|-------------|-------|-------|--------------------------------------|-------------------------|-------------------------|-----------------------------|---------------------------|
| | BA | 14 | Bursera arborea | Veranood | 14'-16' oah | Full symmetrical heads | Moderate Water Needs |
| | BS | 6 | Bursera simaruba | Sumbo Limbo | 14'-16' oah | 3.5' cal, T' spr | Native & Drought Tolerant |
| | CS | 3 | Caesalpinia granadilla | Bridal Veil Tree | 10' oah, standard | Full symmetrical heads | Moderate Water Needs |
| | JH | 14 | Jatropha hastata | Jatropha Tree | 5' - 6' oah | Multi-trunk, full | Native & Drought Tolerant |
| | LT | 17 | Lagerstroemia x 'Tuscarora' | Grape Myrtle Coral Pink | 14' oah, matched | Std, Full symmetrical heads | Drought Tolerant |
| | LL | 6 | Lyalloma latisiliqua | Wild Tamarind | 14'-16' oah | 3.5' cal, T' spr | Native & Drought Tolerant |
| | QV | 5 | Quercus virginiana | Live Oak | 3" cal, 14'-16' oah | F6, B4B | Native & Drought Tolerant |
| SHRUBS | CODE | QTY | BOTANICAL NAME | COMMON NAME | SPACING | COMMENTS | NATIVE |
| | CAR2 | 10 | Carpentaria acuminata | Double Carpentaria Palm | 16' - 18', double trunk | Staggered hts, full heads | Drought Tolerant |
| | CAR | 14 | Carpentaria acuminata | Carpentaria Palm | 20'-24' oah | Single Trunk, matched | Drought Tolerant |
| | PS | 3 | Phoenix sylvestris | Wild Date Palm | 10' ct | Straight Trunk, Candle Cut | Drought Tolerant |
| | SP | 30 | Sabal palmetto | Cabbage Palmetto | 16'-20' oah | Staggered hts, full heads | Native & Drought Tolerant |
| | RSP | 7 | Sabal palmetto | Relocated Sabal Palm | Relocated | See Tree Inventory | Native & Drought Tolerant |
| | VM2 | 22 | Veitchia montgomeryana | Double Montgomery Palm | 16' - 18', double trunk | vary hts on each trunk | Drought Tolerant |
| SHRUB AREAS | CODE | QTY | BOTANICAL NAME | COMMON NAME | SPACING | COMMENTS | FIELDS |
| | ALC | 9 | Alocasia odorata | Giant Silver Bromeliad | 17" full | As shown | Drought Tolerant |
| | 23 LO | 70 | Alocasia odora 'California' | Dwarf Elephant Ear | 3 gal | 24" X 24", 30" oc | Drought Tolerant |
| | COR | 9 | Cordyline fruticosa 'Black Magic' | Black Magic Cordyline | 36" ht. x 24" spr. | Full to base | Drought Tolerant |
| | CRI | 15 | Crinum amabile Purple Leaf | Purple Leaf Crinum Lily | 3'-4' oah | Full, Unscarred leaves | Drought Tolerant |
| | FUR | 10 | Furcraea foetida | Giant False Agave | 3' - 4' oah | Full, Heavy | Drought Tolerant |
| | CHI | 462 | Chrysobalanus icaco 'Horizontal' | Dwarf Cocoplum | 14" x 14" | Staggered 20" oc | Native & Drought Tolerant |
| | CL6 | 33 | Clusia guttifera | Small-Leaf Clusia | 24" x 18", full | Staggered 30" oc | Drought Tolerant |
| | FIM | 1,065 | Ficus microcarpa 'Green Island' | Green Island Ficus | 18" x 18", Full | Stagger 22" oc | Drought Tolerant |
| | HAP | 106 | Hamella patens 'Compacta' | Dwarf Fire Bush | 24" x 24" | Staggered 30" oc | Native & Drought Tolerant |
| | JUN | 608 | Juniperus chinensis 'Parsonii' | Parsoni Juniper | 6' x 12" | Staggered 14" oc | Drought Tolerant |
| | MJH | 500 | Muhlenbergia capillaris | Pink Muhly | 20" x 20", full | Staggered 30" oc | Native & Drought Tolerant |
| | PHR | 16 | Philodendron x 'Rajo Congo' | Burgandy Philodendron | 18" x 18", Full | Staggered 24" oc | Drought Tolerant |
| | POM | 442 | Podocarpus macrophyllus maki | Maki Podocarpus | 24" X 18" | Stagger 22" oc | Drought Tolerant |
| | PSN | 146 | Psychotria nervosa | Wild Coffee | 20" x 20", full | Staggered 24" oc | Native & Drought Tolerant |
| | STB | 32 | Sansevieria trifasciata 'Black Gold' | Black Gold Sansevieria | 14" x 14" | Staggered 24" oc | Drought Tolerant |

C:\DORPBOX\CAD\DATA\16-1104 - NW 87TH AVE DORAL RETAIL-1104.dwg 8/24/18 by JBC

| Luminaire Schedule | | | | | | | | |
|---|-----|--------|---|-------|-------|-------|-------------|--------|
| Project: DORAL RETAIL 87TH AVE - REV6 --- AUG - 21 - 2018 | | | | | | | | |
| Symbol | Qty | Label | Description | LLD | LDD | LLF | Total Watts | |
| ⊕ | 10 | G | PHILIPS GARDCO SVPG-140L-1675-NW-G2-5-UNV | 0.900 | 0.900 | 0.810 | 75.5 | 755 |
| ⊕ | 5 | G-EM | PHILIPS GARDCO SVPG-140L-1675-NW-G2-5-UNV-EBPC | 0.900 | 0.900 | 0.810 | 75.5 | 377.5 |
| ☐ | 4 | SF | PHILIPS GARDCO ECF-S-64L-1A-NW-G2-5W POLE MOUNT 25' A.F.F. | 0.900 | 0.900 | 0.810 | 205.9 | 1647.2 |
| ☐ | 1 | SF-PD | PHILIPS GARDCO ECF-S-64L-1A-NW-G2-5W POLE MOUNT 20' A.F.F. | 0.900 | 0.900 | 0.810 | 205.9 | 411.8 |
| ☐ | 1 | SF1-PD | PHILIPS GARDCO ECF-S-64L-1A-NW-G2-5W POLE MOUNT 20' A.F.F. | 0.900 | 0.900 | 0.810 | 205.9 | 205.9 |
| ☐ | 11 | SG | PHILIPS GARDCO ECF-S-64L-1A-NW-G2-4 POLE MOUNT 25' A.F.F. | 0.900 | 0.900 | 0.810 | 205.9 | 2264.9 |
| ☐ | 7 | SG-PD | PHILIPS GARDCO ECF-S-64L-1A-NW-G2-4 POLE MOUNT 20' A.F.F. | 0.900 | 0.900 | 0.810 | 205.9 | 1441.3 |
| ☐ | 5 | SH | PHILIPS GARDCO ECF-S-48L-1_2A-NW-G2-3 POLE MOUNT 25' A.F.F. | 0.900 | 0.900 | 0.810 | 182.71 | 913.55 |
| ☐ | 1 | W | PHILIPS GARDCO 121-16L-1000-NW-G3-2 WALL MOUNT 9' A.F.F. | 0.900 | 0.900 | 0.810 | 55 | 55 |

| Calculation Summary | | | | | |
|---|------|-----|-----|---------|---------|
| Project: DORAL RETAIL 87TH AVE - REV6 --- AUG - 21 - 2018 | | | | | |
| Label | Avg | Max | Min | Avg/Min | Max/Min |
| PARKING DECK | 3.66 | 9.6 | 1.0 | 3.66 | 9.60 |
| SURFACE PARKING | 3.04 | 6.4 | 1.0 | 3.04 | 6.40 |



16 Level 2 Parking Deck Photometric Plan
SCALE: 1"=30'-0"

modis

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Miami, Florida 33155
Florida Corp.
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project info :

Doral Retail Development
5675 NW 87th Avenue,
8650/8690 NW 58th Street
Doral, Fl. 33166

FOID NO: 35-3022-000-0540; 35-3022-000-0710;
35-3022-000-0560

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

| | | |
|---|------------|-----------------|
| 6 | 08/24/2018 | ZONING COMMENTS |
| 5 | 05/30/2018 | ZONING COMMENTS |
| 4 | 04/13/2018 | ZONING COMMENTS |
| 3 | 11/08/2017 | ZONING COMMENTS |
| 1 | 09/07/2017 | ZONING COMMENTS |

drawing data :

**LEVEL 2
PHOTOMETRIC
PLAN**

project number : 14055

drawing scale : As Shown

drawing date : 06/27/2017

phase : Site Plan Review

sheet number : **PH0.02**

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