

RESOLUTION No. 15-119

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SECOND AMENDMENT, IN SUBSTANTIALLY THE FORM PROVIDED, TO THE AGREEMENT FOR CONSTRUCTION MANAGEMENT AT-RISK SERVICES FOR NW 114TH AVENUE PARK WITH BILTMORE CONSTRUCTION, WHICH PROVIDES FOR THE CONSTRUCTION OF PHASE II FOR NW 114TH AVENUE PARK WITH A GUARANTEED MAXIMUM PRICE OF \$19,707,629.00; AUTHORIZING THE CITY MANAGER TO EXECUTE THE SECOND AMENDMENT, SUBJECT TO APPROVAL AS TO FORM AND LEGAL SUFFICIENCY BY THE CITY ATTORNEY, AND EXPEND BUDGETED FUNDS; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the City Council for the City of Doral (the "City") awarded RFP# 2014-36 (the "RFP") and the Agreement For Construction Management At-Risk Services for NW 114th Avenue Park with Guaranteed Maximum Price ("GMP Agreement") to Biltmore Construction, pursuant to Resolution #14-195, for the provision of preconstruction services including value engineering, constructability reviews, and obtaining bids for construction services to deliver a Guaranteed Maximum Price, for NW 114th Avenue Park (the "Park"); and

WHEREAS, on February 25th, 2015, the City Council, pursuant to Resolution No. 15-42, approved GMP Agreement Amendment No. 1, which provided for Phase 1 construction of the Park, specifically the clearing, de-mucking, and site fill work, and preparation of the building pad; and

WHEREAS, City Council approved Change Order #01, pursuant to Resolution No. 15-89, during the May 7th, 2015 Special Council Meeting, which addressed and funded the disposal of soil contaminated with arsenic at the Park; and

WHEREAS, during the Phase I construction of the facility, the City worked closely with Biltmore Construction and Wannemacher Jensen Architects to finalize the construction plans and GMP for Phase II of this project; and

WHEREAS, Biltmore Construction has provided a final GMP not to exceed \$19,707,629.00 for Phase II of the Park development, which will consist of the construction of a new 2-story, 36,000 sq. ft. recreation building which will house two full court basketball courts, an elevated running track and workout area, aerobics and dance floor, multipurpose room and related support spaces. Other features of the project include a pedestrian bridge with storage building, extensive hardscapes, sidewalks, pavers, concrete seat walls, planters, fencing, baseball field with Bermuda turf, soccer and football field with synthetic turf, four (5) tennis courts, three (3) basketball courts, two (2) sand volleyballs courts, splash pad, playground equipment, five (5) park shelters, concession building, and event lawn; and

WHEREAS, the overhead/profit margin provided by Biltmore Construction is consistent with the proposal Biltmore submitted in the response to the RFP, which was incorporated into the GMP Agreement and approved by the City Council; and

WHEREAS, Staff has recommended that the City Council authorize the City Manager to amend the GMP Agreement with Biltmore Construction by adding GMP Amendment No.2 for the Phase II construction of NW 114th Avenue Park in an amount not to exceed \$19,707,629.00.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

Section 1. Recitals. The above recitals are confirmed, adopted, and incorporated herein and made a part hereof by this reference.

Section 2. Amendment Approved. GMP Amendment No. 2, in substantially the form provided in Exhibit "A", based on the Guaranteed Maximum Price Proposal by Biltmore Construction, attached hereto as Exhibit "B", both incorporated herein and made a part hereof by this reference, which provides for the addition of the GMP for the construction of Phase II in an amount not to exceed \$19,707,629.00 into the GMP Agreement, is hereby approved.

Section 3. Authorization to Procure Services. The City Manager is hereby authorized to execute the GMP Amendment No. 2, subject to approval as to form and legal sufficiency by the City Attorney, and to expend budgeted funds in furtherance thereof. This Authorization does not create or confer any rights to Biltmore Construction Co.

Section 4. Implementation. The City Manager and the City Attorney are hereby authorized to take such action as may be necessary to implement the purpose and provisions of this Resolution.

Section 5. Effective Date. This resolution shall take effect immediately upon adoption.

The foregoing Resolution was offered by Councilmember Cabrera who moved its adoption. The motion was seconded by Councilmember Fraga and upon being put to a vote, the vote was as follows:

Mayor Luigi Boria	Yes
Vice Mayor Sandra Ruiz	Yes
Councilman Pete Cabrera	Yes
Councilwoman Christi Fraga	Yes
Councilwoman Ana Maria Rodriguez	Yes

PASSED AND ADOPTED this 9 day of June, 2015.

LUIGI BORIA, MAYOR

ATTEST:

CONNIE DIAZ, CITY CLERK

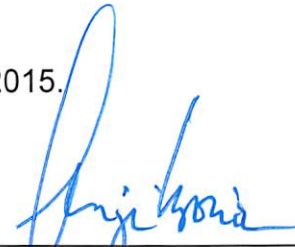
APPROVED AS TO FORM AND
LEGAL SUFFICIENCY FOR THE SOLE USE
OF THE CITY OF DORAL

WEISS, SEROTA, HELFMAN, COLE, & BIERMAN, PL
CITY ATTORNEY

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EXHIBIT “A”

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ARTICLE 1 - Guaranteed Maximum Price (GMP) Proposal

Biltmore Construction Co., Inc. proposes to complete the work, as described herein, for the Guaranteed Maximum Price of: **NINETEEN MILLION THREE HUNDRED EIGHTY NINE THOUSAND ONE HUNDRED THIRTY SIX and 00/100 Dollars (\$ 19,389,136.00).**

This Price is for the performance of the Work as described herein and in accordance with the Contract Documents and Exhibits A through Exhibit D, and Exhibits E & F as applicable.

GMP PRICE BREAKDOWN

BILTMORE CONSTRUCTION		REC Building	First Floor			26,413		
NW 114th Ave Park & Recreation Center			2nd Floor			9,721		
		Rec Area Total				36,134	sf	
	Shelter 1	472	3	1,416	sf			
	Shelter 2	837	3	2,511	sf			
	Shelter 3	1,206	1	1,206	sf			
	Shelter 4	1,583	1	1,583	sf			
	Concession	435	1	435	sf			
	RR	756	1	756	sf			
	Storage	408	1	408	sf			
	Bandshell	942	1	942	sf			
	Eq Room	707	1	707	sf			
	Out Bldgs Total			9,964	sf			

CSI Div	Item Description	QUANTITY	UNIT	\$/UNIT	Totals Estimated	Final Bid Totals	\$/SF	Subcontractor
1	GENERAL REQUIREMENTS				0		\$ 2.55	
	Permit - Allowance	0.015	ls			Not included		
	Survey	1	LS.	12,000	12,000	12,000		
	Tie-in survey	1	LS.			in GC's		
	As-built survey	1	LS.			in GC's		
	Testing - Building	1	LS	20,000	20,000	20,000		
	Testing - Site	1	LS	60,000	60,000	60,000		
	Impact fee	By Owner	NIC		BY Owner	BY Owner		
					0	0		
2	EXISTING CONDITIONS				0	0	\$ -	
					0	0		
3	CONCRETE				0	0	\$ 47.88	
	Concrete	1	ls	767,103	767,103	1,700,000	47.05	Ron Kendall
					0	0		
	Precast Stairs	1	ls	21,059.32	21,059.32	30,031		Durlach
					0	0	0.00	
4	MASONRY				0	0	\$ -	
	Unit Masonry	1	ls	311,358	311,358	in concrete	0.00	Ron Kendall
					0	0		
5	STEEL				0	0	\$ 51.07	
	Steel	1	ls	501,289	501,289	1,420,314	39.31	S&S Welding
					0	0		
	Ornamental Railings	1	ls	148,575.00	148,575.00	240,806		Seco South
					0	0	0.00	
	Metal Screenwalls	1	ls	180,000	180,000	179,260		Awning Works
					0	0		
	Expansion Joints	1	ls	5,000	5,000	5,000		BCC
6	WOOD & PLASTIC				0	0	\$ 3.09	
	Rough Carpentry				0	0	0.00	
	Roof Blocking	6,860	sf	0.50	In roof/stucco	In roof/stucco		
	Interior Blocking	36,134	sf	0.50	18,067	in drywall/roof		
					0	0		
	Cabinetry	1	ls	74,439.00	74,439	96,490	2.67	Axmar +
	Closet shelf allowance, PL59 closet 110A	1	ls	500	500	500		
	Concrete Counter	27	lf	550.00	14,850	14,620	0.40	Joswig
					0	0		
7	THERMAL & MOISTURE				0	0	\$ 21.70	
	Bonded Sheet Membrane Waterproofing	7,100	sf	3.5	24,850	in drywall	0.00	
	Elevator Pit Waterproofing	1	ls	3,500.00	3,500	3,500		
	Building Insulation				in drywall/roof	in drywall/roof	0.00	
					0	0		
	Fluid Applied Membrane Air Barriers	1	ls	0.00	see div 9	see div 9	0.00	
					0	0		
	Resysta Siding	1	ls	172,176.49	172,176	220,000	6.09	Martin Case
					0	0		
075423	TPO Roofing	1	ls	347,310.78	347,311	558,246	15.45	Atlas
	Roofing Underlayment				in above	in above		
	Roof Accessories	1	ls		in above	in above		
075419	PVC Roofing	1	ls	80,592.00	80,592	in above	0.00	
					0	0		
	Firestopping	1	ls	in MEPP	0	0	0.00	
					0	0		
	Joint Sealants	36,134	sf	0.07	2,529	2,529	0.07	
					0	0		
8	OPENINGS				0	0	\$ 36.45	
	Doors/Frames/Hardware - Mtl	1	ls	71,753	71,753	64,297	1.78	IDS
	HM Doors and Frames				in above	in above		
	Flush Wood Doors				in above	in above		
	Door Hardware				in above	in above		
	Door and Hardware Installation	1	ls	9,076	9,076	17,500	0.48	BCC
					0	0		
	Access Doors/Frames	1	ls	500	500	500	0.01	
					0	0		

CSI Div	Item Description	QUANTITY	UNIT	\$/UNIT	Totals Estimated	Final Bid Totals	\$/SF	Subcontractor
	Coiling Counter Shutters	1	ls	2,500	2,500	2,380	0.07	B&B
087913	Key Storage Equipment (know box)	1	ls	374	374	374	0.01	
	Glazing	1	ls	384,468.00	384,468	336,084	9.30	Pena
084113	Aluminum Storefronts and Entrances				above	above		
084413	Glazed Aluminum Curtainwalls				above	above		
	Interior Storefront				above	above		
	Interior Glazing				0	0		
	Mirrors				above	above		
					0	0		
9	FINISHES				0	0	\$ 37.02	
	Stucco, includes exterior MS Framing	1	ls	299,915	299,915	775,000	21.45	Applegate
					0	0		
	Drywall	1	ls	180,517	180,517	in stucco	0.00	Applegate
					0	0		
	Acoustic	1	ls	35,939	35,939	39,150	1.08	Bergola
					0	0		
	Tile	1	ls	112,925	112,925	104,652	2.90	Brightstar
					0	0		
	Wood Sports & Dance Floor	1	ls	138,493	138,493	131,325	3.63	Impact
	Doral Logo at 2 indoor Basketball Courts	2	ea	1,000	2,000	2,000		ALLOW
096450	Resilient Sports Floor Coverings	1	ls	28,890	28,890	31,340	0.87	Impact
					0	0		
	Flooring	1	ls	43,510	43,510	105,481	2.92	Brightstar
					0	0		
	Floor Protection	36,000	sf	0.50	18,000	18,000	0.50	BCC
					0	0		
096623	Resinous Epoxy Flooring	1	ls	9,889	9,889	9,000	0.25	Horizon
					0	0		
	Painting & Wallcovering	1	ls	105,218	105,218	121,750	3.37	Straightline
					0	0		
10	SPECIALTIES				0	0	\$ 5.02	
	Signage	1	ls	35,042.01	35,042	91,200	2.52	Lauretano
	add 5 exterior bulletin board signs	5	ea	1,500.00	7,500	7,500		ALLOW
					0	0		
	Park Rules signs	14	ea	859.85	12,038	12,038	0.33	ALLOW
					0	0		
	Plastic Toilet Compartments	1	ls	18,000	18,000	23,900	0.66	Bell
					0	0		
	Toilet Accessories	1	ls	16,106	16,106	19,950	0.55	Bell
					0	0		
	Louvers	1	ls	0.00	0	0	0.00	
					0	0		
	Folding Panel Partitions	1	ls	14,400.00	14,400	14,600	0.40	Acousti
					0	0		
	FE/FEC	1	ls	2,996.00	2,996	2,996	0.08	
					0	0		
	Metal Lockers	1	ls	8,480.00	8,480	in Furniture	0.00	Storagecraft
					0	0		
	Flagpoles	1	ls	5,400.00	5,400	9,106	0.25	
					0	0		
11	EQUIPMENT				0	0	\$ 5.88	
	Folding & Portable Stages	1	ls	38,000.00	38,000	31,572	0.87	Wenger Corp.
					0	0		
	Residential Appliances	1	ea	1,186.95	1,187	1,187	0.03	
					0	0		
	Food Service Equipment	1	ls	11,972.52	11,973	6,886	0.19	Beltram
					0	0		
	Stage Curtains	1	ls	10,000.00	10,000	6,099	0.17	National Stage
					0	0		
	Projection Screens, Install only	1	ls	1,700.00	1,700	1,671	0.05	SDI Mardale
					0	0		
	Gymnasium Equipment, Scoreboards & Dividers	1	ls	66,900.00	66,900	48,500	1.34	Hufcor
					0	0		
	Jungle Gym	1	ls	71,520.00	71,520	71,520	1.98	Kid Steam
					0	0		
	Exercise Equipment	1	ls	40,000.00	40,000	40,000	1.11	ALLOW
					0	0		
	Installation Ballet, Pool Table, Ping Pong Table	1	ls	405.00	405	405	0.01	

CSI Div	Item Description	QUANTITY	UNIT	\$/UNIT	Totals	Final Bid	\$/SF	Subcontractor
					Estimated	Totals		
	Pool Table	1	ea	4,000.00	4,000	4,000	0.11	ALLOW
	Ping Pong Table	1	ea	500.00	500	500	0.01	ALLOW
					0	0		
12	FURNISHINGS				0	0	\$ 7.29	
	Roller Shades	1	ls	6,801	6,801	6,801	0.19	
					0	0		
	Floor Mats & Frames	1	ls	5,835	5,835	11,024	0.31	GC Bldg Prod's
					0	0		
	Telescoping Stands	1	ls	13,000	13,000	9,000	0.25	Hufcor
					0	0		
	Furniture, A2.5, 2.6					236,473		Workscapes
	Tables, Chairs & Seating in Multi Purpose	1	ls	88,442	88,442	in Furniture	0.00	
					0	0		
13	SPECIAL CONSTRUCTION				0	0	\$ 12.18	
	Splash Pads Complete	1	ls	329,310.00	329,310	440,000		Crystal
					0	0		
14	ELEVATORS				0	0	\$ 2.55	
	Electric Traction Elevators	1	ls	54,000.00	54,000	92,000		Schindler
					0	0		
21	FIRE SUPPRESSION				0	0	\$ 1.78	
	Wet Sprinkler System	1	ls	82,650.00	82,650	64,270		Advanced
					0	0		
22	PLUMBING				0	0	\$ 10.24	
	Plumbing	1	ls	156,600.00	156,600	370,000		Southwest
					0	0		
23	HVAC				0	0	\$ 21.89	
	HVAC	1	ls	871,008.60	871,009	781,043		Kar & Larabee
	controls				0	0		
	test & balance				0	10,000		ALLOW
					0	0		
26	ELECTRICAL				0	0	\$ 67.03	
	ELECTRICAL	1	ls	724,000	724,000	1,712,056		E Star
					0	0		
	Sport Field Lighting	1	ls	585,000.00	585,000	710,000		Imperial
					0	0		
27	COMMUNICATIONS				0	0	\$ 4.79	
271000	Structured Cabling	1	ls		0	in electrical		
	Cabling for, AV, CCTV, Access & Security	1	ls	64,000.00	64,000	65,968		E Star
					0	0		
274134	Broadband Distribution System	1	ls		0	in electrical		
					0	0		
275113	Public Address Music System	1	ls		0	By owner		
	Gym PA System	1	ls	40,000.00	40,000	in electrical		E Star
					0	0		
	Infrastructure Allowance, site CCTV, WiFi, Sound @ event lawn	1	ls	78,200.00	78,200	107,000		ALLOW
					0	0		
28	ELECTRONIC SAFETY AND SECURITY				0	0	\$ -	
	Access Control	1	ls		0	By Owner		
					0	0		
	Intrusion Detection	1	ls		0	By Owner		
					0	0		
	Video Surveillance	1	ls		0	By Owner		
					0	0		
	Digital Addressable Fire Alarm System				in Div 26	in Div 26		
					0	0		
31-33	SITE & INFRASTRUCTURE				0	0	\$ 230.32	
	Site Work - Offsite (Roadwork)					781,820		
	Site Work - Onsite	1	ls	2,800,000	2,800,000	2,240,000	61.99	
	add fuel efficient vehicle signs	8	ea	150.00	1,200	1,200		Allow
	add water distribution for added hose bibbs				0	0		
					0	0		
	Site Concrete	1	ls	700,121	700,121	740,428	20.49	
					0	0		
	Pavers	1	ls	122,887	122,887	109,575	3.03	Ericson
					0	0		
	Tennis, Basketball & Volleyball Courts	1	ls	312,454	312,454	270,000	7.47	Nidy/E-Turf
					0	0		
	Fencing & Gates	1	ls	622,266	622,266	660,000	18.27	Tropic/Hernandez
	Temp construction fencing	1	ls		By owner	By owner		

CSI Div	Item Description	QUANTITY	UNIT	\$/UNIT	Totals Estimated	Final Bid Totals	\$/SF	Subcontractor
					0	0		
	Landscaping & Irrigation	1	ls	1,000,000	1,000,000	1,147,387	31.75	LS Serv Pro's
	Landscaping		sf		above	above		
	Irrigation & Wells		sf		above	above		
	Sod		sf		above	above		
	LS maintenance (care & watering)	3	mos	7,500	22,500	22,500		
					0	0		
	Synthetic Turf Sports Fields	1	ls	841,234	841,234	845,000	23.39	FL Track & Turf
					0	0		
	Baseball Field Work	1	ls	53,997	53,997	56,075	1.55	E-Turf
					0	0		
	Baseball bases, scoreboard, foul poles	1	ls	13,460	13,460	4,450	0.12	
					0	0		
	Boardwalk, & Seatwall Planks	1	ls	193,851	193,851	232,172	6.43	York Bridge
					0	0		
	Playground Equipment & Surfaces	1	ls	185,755	185,755	447,557	12.39	REP Svcs
	Playground area south of Soccer Fields	3,330	sf	11.40	37,962	37,962		
	Longer blade of turf per COD turf Ordinance	1	ls	8,750.00	8,750	8,750		
					0	0		
	Artificial Turf Mounds	1	ls	62,325	62,325	in Playground	0.00	
					0	0		
	Shade Sails	1	ls	159,600	159,600	138,821	3.84	Shade Systems
					0	0		
	Dugouts	1	ls	16,000	16,000	54,427	1.51	RCP
					0	0		
	Benches	1	ls	14,400	14,400	6,337	0.18	So Park & Play
					0	0		
	Bleachers	1	ls	39,215	39,215	25,120	0.70	ARC
					0	0		
	Bleacher Covers Poligon	1	ls	389,750	389,750	389,750	10.79	
					0	0		
	Site Furnishings - Landscape Forms	1	ls	87,253	87,253	80,138	2.22	LS Forms
	Site Furnishings - Landscape Forms Installation	1	ls	0	0	in Playground	0.00	REP Svcs
					0	0		
	Site Furnishings - Balance (Picnic Tables)	1	ls	15,400	15,400	23,010	0.64	BCC
					0	0		
50	OTHER				0	0	\$ -	
	Delete cost of pedestrian bridge	(1)	ls	574,014	credit not taken	credit not taken		
					0	0		
	SUBTOTAL				15,374,536	19,653,871	\$ 543.92	
	Builder's Risk Insurance	0.01273				286,988		
	Builder's Risk Wind Buydown					in above		
	Builder's Risk Deductible - 1 occurrence to deductable					50,000		
	OCP					22,920		
	Insurance	0.92%				207,449		
	General Conditions	12.0	mo	63,173	758,079	758,079		
	Bond	0.600%				135,294		
	SUBTOTAL					21,114,602		
	CM Fee	4.00%				844,584		
	Contingency	3.00%				589,616		
	TOTAL					\$ 22,548,802	\$ 624.03	

BILTMORE CONSTRUCTION COMPANY
NW 114th Ave Park - Recreation Center
Doral, FL

VALUE ENGINEERING SUGGESTIONS

CSI Item # Division/Division	Description of Work	Value + / (-)	Accepted	<Status> Pending	Rejected	Remarks	Estimated Design Fees
1	DIVISION 1 - GENERAL CONDITIONS:						
1	1 Projected tax savings from owner direct purchases.	(150,000)	(150,000)				
1	Totals General Conditions	(150,000)	(150,000)	0	0		0
	DIVISION 2 - EXISTING CONDITIONS						
	1 Phase 1 De-Mucking: Allow use of fill available from Accosta Tractors.			0			
	2 Phase 1 De-Mucking: Allow mixing of existing organic soil with new soil in non structural areas.	Not Acceptable		Not Acceptable			
2	Totals Sitework	0	0	0	0		0
	DIVISION 3 - CONCRETE:						
1	1			0			
3	Totals Concrete	0	0	0	0		0
	DIVISION 4 - MASONRY / STONE:						
1	1			0			
2	2			0			
4	Totals Masonry	0	0	0	0		0
	DIVISION 5 - METALS:						
1	1 Change from railing system specified and shown to a cable rail system.	(58,420)	(58,420)				1,200
2	2 Change from Toris deck at double gym to another type deck, structural engineer to advise deck types acceptable.	(81,500)	(81,500)				1,500
3	3 Change from aluminum ladder to steel ladder to roof.	(750)	(750)				
5	Totals Metals	(140,670)	(140,670)	0	0		2,700
	DIVISION 6 - WOODS & PLASTICS:						
1	1			0			
2	2			0			
6	Totals Woods & Plastics	0	0	0	0		0
	DIVISION 7 - MOISTURE PROTECTION:						
1	1 Provide Everguard TPO with batten seam at shelters in lieu of specified PVC roof system.	(118,344)	(118,344)				
2	2 Provide Fibertite TPO roof membrane on balance of roofs vs. specified TPO roofing system	Add					
3	3 Provide roofing system without battens at shelters.	(38,717)	(38,717)				
7	Totals Moisture Protection	(157,061)	(157,061)	0	0		0

VALUE ENGINEERING SUGGESTIONS

CSI Item # Division/Division	Description of Work	Value + / (-)	Accepted	<Status> Pending	Rejected	Remarks	Estimated Design Fees
	DIVISION 8 - DOORS & WINDOWS:						
1	Use YKK storefront system at all openings. YKK will provide letter and engineering to support system will meet wind pressures required.	(3,802)	(3,802)			Need Approval by building official	
2	Delete Storefront S112F & S112G at 2nd floor of indoor play wall becomes solid framed wall same as adjacent.						
	Totals Doors & Windows	(3,802)	(3,802)	0	0		0
	DIVISION 9 - FINISHES:						
1	Use a traffic topping at exterior raised decks in lieu of exterior tile. Add Nosings at Stair treads.	(16,000)	(16,000)				1,000
2	At interior Resysta sliding change stud spacing to 12" o.c. and delete gyp board beneath.			0			
3	Use fire-treated plywood at exterior Resysta sliding over metal stud framed areas.	in estimate		in estimate			
4	Use stucco in lieu of Resysta Sliding at Bandshell.	bandshell deleted	bandshell deleted				
5	Change tile at public areas to polished concrete.	(23,785)	(23,785)				
6	Change wood gym floor to 3rd grade Maple in lieu of 2nd grade specified. Remaining spec does not change	(11,500)				only one of items 6 thru 9 can be taken.	
7	Change gym sub floor from Robbins Defender system to Robbins Biocushon, same as the dance floor in 2nd and better Maple.	(7,000)				only one of items 6 thru 9 can be taken.	
8	Change gym sub floor from Robbins Defender system to Robbins Biocushon, same as the dance floor in 3rd grade Maple.	(20,000)				only one of items 6 thru 9 can be taken.	
9	Use a modified Robbins Biocushon subfloor incorporating 1 layer of OSB and 1 layer of 1/2" CDX plywood using 3rd grade maple.	(26,000)	(26,000)			only one of items 6 thru 9 can be taken.	
	Totals Finishes	(104,285)	(65,785)	0	0		1,000
	DIVISION 10 - SPECIALTIES						
1	Use phenolic toilet partitions vs. solid plastic	(6,206)	(6,206)				
2	Use Vinyl Letters at bridge sign in lieu of metal	(20,000)	(20,000)				
3	Delete Bridge Sign	(4,761)				(4,761)	
	Totals Specialties	(30,967)	(26,206)	0	(4,761)		0
	DIVISION 11 - EQUIPMENT:						
1	Delete Exercise equipment from CM. Owner to provide.	(40,000)	(40,000)				
	Totals Equipment	(40,000)	(40,000)	0	0		0
	DIVISION 12 - FURNISHINGS:						
	Totals Furnishings	0	0	0	0		0

BILTMORE CONSTRUCTION COMPANY
NW 114th AVE Park - Recreation Center
Doral, FL

VALUE ENGINEERING SUGGESTIONS

CSI Item # Division/Division	Description of Work	Value +/(-)	Accepted	<Status> Pending	Rejected	Remarks	Estimated Design Fees
	DIVISION 13 - SPECIAL CONSTRUCTION:						
1	Delete Entech Creative custom column feature from center feature of splash pad.	In below allowanc	Delete Entech Creative custom column feature from center feature of splash pad.				
2	Use colored concrete at center circle areas, grey concrete at balance.	In below allowanc	Use colored concrete at center circle areas, grey concrete at balance.				
3	Reduce Splash Pad to \$300,000 Allowance	(140,000)	(140,000)				7,000
	Totals Special Construction	(140,000)	(140,000)	0	0		7,000
	DIVISION 14 - CONVEYING SYSTEMS:						
1	Use holeless hydraulic elevators in lieu of machine roomless elevators.	(16,000)	(16,000)			Quoted 3,500 lb capacity based upon the elevator platform size in plans, spec state 2,500 lb.	
2	Reduce to 2,500 lb capacity.			0			
	Totals Conveying Systems	(16,000)	(16,000)	0	0		0
	DIVISION 15 - MECHANICAL:						
	HVAC						
1	Provide a standard efficiency air cooled chiller vs. the specified high efficiency air cooled chiller	(6,000)	(6,000)			Provide add alternate for high efficiency chiller in GMP	
2	Provide ductsox in lieu of spiral duct at gymnasium area.	(7,000)	(7,000)			Provide add alternate for ductwork as designed in Gym in GMP	
	Plumbing						
1	VE plumbing fixtures from sensor to manual	not accepted					
2	Use CPVC in lieu of copper for domestic water lines.	(20,000)	(20,000)				
	Totals Mechanical	(33,000)	(33,000)	0	0		
	DIVISION 16 - ELECTRICAL:						
1	VE light fixture package	(55,710)	(55,710)				
2	Delete Code Blue system complete.	(30,000)	(30,000)				1,000
3	Delete Systems Cabling, Security, Access, CCTV	(83,750)			(83,750)	Rec Bldg only, City to contract direct per addendum #3, item 3. Find a way to reduce cost without it affecting the warranty.	
4	Musco proposes reducing the 25 year warranty to 10 years. Control Link will remain in the proposal. Price reduction from Musco Lighting and Imperial Electric	(15,000)	(15,000)				
5	Cost reduction to base bid from Musco and Low Bid subcontractor Imperial Electric.						
	Totals Electrical	(184,460)	(100,710)	0	(83,750)		1,000

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VALUE ENGINEERING SUGGESTIONS

CSI Item # Division/Division	Description of Work	Value +/(-)	Accepted	<Status> Pending	Rejected	Remarks	Estimated Design Fees
DIVISION 31: SITEWORK & AMENITIES							
A. Fencing:							
1	Change perimeter fence to vinyl coated chain link fence. In lieu of ornamental aluminum picket fence.	(83,000)			(83,000)		0
2	Delete all perimeter aluminum or chain link fence	(72,046)			(72,046)		
3	Change playground fence to aluminum picket fence 4' high.	(48,000)			(48,000)		1,200
4	Change playground fence to vinyl coated chain link fence 4' high.	(8,993)			(8,993)		
5	Change 8' high Vinyl Fence to 6' high.	(31,500)			(31,500)		
6	Use 8' High Vinyl Fence at East Side of property.	15,500			15,500		
7	Revise Tennis court fence layout, all fence to be 10' high with windscreen with 10' high fence for 16' return ea. end and then 4' high for the balance between courts. The court with the backboard will be fully fence the remainder with 4' high fence.	in base bid			in base bid	current design majority of perimeter fence is 4' tall.	
B. Site Amenities:							
1	Delete Boardwalk	(236,296)			(236,296)		2,500
2	Change Playground surface to alternate material	(202,727)			(202,727)	0	
3	Delete turf and shelter at south end of soccer fields	(101,300)			(101,300)		3,039
4	Delete two shelters. (1 type 1, 1 type 2) one at east side one at west side.	(27,348)			(27,348)		820
5	Delete 1 additional type 1 Shelter.	(75,412)			(75,412)		
6	Reduce Playground Equipment & surfaces and shadesails.						
C. Sport Fields & courts:							
1	Delete underdrains at volley ball area, use 12" deep sand for volleyball court.	(5,000)			(5,000)		
2	Use natural turf at large soccer field	(388,947)			(388,947)		0
3	Use alternate turf small field	(3,500)			(3,500)		0
4	Use natural turf at all soccer fields	(314,233)			(314,233)		0
5	Use alternate turf large field	(3,500)			(3,500)		
6	Delete 1/2 court basketball court	(9,628)			(9,628)		289
6A	Delete 1 additional outside Basketball court, and lighting.	(56,283)			(56,283)		
6B	Delete 1 Tennis Court	(47,644)			(47,644)	Provide add alternate for adding back one tennis court. Need to coordinate lighting for 4 court scheme and add alternate.	
7	Delete 2 sets of Bleachers & covers at small soccer field	(22,577)			(22,577)		677
8	Reduce # of coats of court surfacer to 2 coats in lieu of 3 at basketball courts	(2,348)			(2,348)		70
9	Reduce # of coats of court surfacer to 2 coats in lieu of 3 at tennis courts	(3,871)			(3,871)	According to Plexi Pave Rep. 2 coats will provide a medium speed surface which is probably more suitable for a public court. The third coat is typically a smooth coat (no aggregate) which increases the play speed of the court.	116
10	Use an alternate design for dugouts.	(16,000)			(16,000)		1,600
11	Simplify shade sail design at tennis courts and reduce to 2 covers 16' x 10', number of benches reduce accordingly.	(21,230)			(21,230)		637
11A	Use a 10' Cabana Bench from 10-S Supply Pompano FL, in lieu of the two shades and benches in item 11, above.	(7,656)			(7,656)		

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VALUE ENGINEERING SUGGESTIONS

CSI Item #	Description of Work	Value +/-	Accepted	<Status> Pending	Rejected	Remarks	Estimated Design Fees
12	Delete all tennis court shades and reduce benches barrel top shades.	(18,156)	(50,000)		(18,156)		0
13	Provide Single slope shade structures for bleachers, in lieu of barrel top shades.	(50,000)	(50,000)				20,843
D Landscapes & Hardscape:							
1	Reduce LS & Irrigation budget to \$800,000	(347,387)	(347,387)				686
2	Delete concrete seawall at event lawn.	(27,454)	(27,454)				0
3	Change design of seat walls at play area	(18,000)	(18,000)			Value of current = \$8,000, 61 lf	720
4	Delete planter walls at west side of site	(200,160)	(200,160)				0
5	Change Sidewalk finish from coquina applied aggregate & sandblast finish to standard grey concrete with broom finish. Trowelled border to remain per original design.	(31,000)	(31,000)				1,860
6	Reduce Sidewalks by 10% grey concrete	(63,028)	(63,028)				1,576
7	Change drop off area, reduce pavers, reduce bollards, per sketch received 3-31-15 from WJ.	(4,000)	(4,000)				240
8	Delete pavers at concession building change to concrete.	(2,532,722)	(1,603,558)		(929,164)		36,874
Totals Stewwork & Amenities							
DIVISION 17: BUILDING PROGRAM, MASTER PLAN							
1	Reduce Gym Length 10'	(96,824)	(162,623)		(96,824)		16,262
2	Delete Cantilever at Gym, delete screenwal	(193,934)	(237,020)		(193,934)		
3	Delete Large Soccer/Football Field	(237,020)	(237,020)				
4	Remove Bandshell	(91,286)	(91,286)			Provide add alternate for original design building shape and exit balconies.	10,313
5	Reduce Exit Balconies, square off building	(50,552)			(50,552)		0
6	Delete Spiral ramp and equipment storage, add stair and Elevator in it's place. Increase size of Storage Building at Soccer Field.	(832,239)	(490,930)		(341,309)		26,575
Totals Building Program							
DIVISION 18: - ALLOWANCES							
1		0	0	0	0		0
Totals Allowances							

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VALUE ENGINEERING SUGGESTIONS

CSI Item # Division/Division	Description of Work	Value + / (-)	Accepted	<Status> Pending	Rejected	Remarks	Estimated Design Fees
	Project Total Cost Savings/Scope Changes	(4,365,205)	(2,967,721)	0	(1,358,984)	Estimated design fees. Actual fees by WJ Architects	75,150
	Insurance, Bond, Fee, Contingency (9%)		(267,095)				
	Design Fees for Changes		75,150				
	Price as per Current Design		22,548,802				
	ADJUSTED TOTAL PHASE II with VE Applied		19,389,136				
	COSTS IN PHASE I GMP						
	De-Mucking	2,293,107	2,293,107				
	Remove unsuitable fill to approved site (arsenic)	1,283,491	1,283,491				
	TOTAL PHASE I AND II		22,965,734				
THESE ITEMS ARE VE SUGGESTIONS. ANY VALUE ENGINEERING ITEMS ACCEPTED BY THE OWNER SHALL BE INCORPORATED INTO THE CONTRACT DOCUMENTS.							

PROJECT SUMMARY

The project consists of the construction of:

18 acre urban setting park including a new 2–story, 38,300 SF Recreation Building which houses two full court basketball courts, an elevated running track and workout area, aerobics and dance floor, multipurpose room and related support spaces. Other features of the project: a pedestrian bridge with storage building, extensive hardscapes, sidewalks, pavers, concrete seatwalls, planters, fencing, baseball field with Bermuda turf, 1 regulation soccer field 1, ½ sized soccer field and 2, ¼ sized soccer fields all with synthetic turf, 4 tennis courts, 3 full basketball courts, two sand volleyball courts, a splash-pad, playground equipment, 5 park shelters, concession building with toilets, event lawn, and storage building at soccer fields.

On-Site work includes complete site development, earthwork, utilities and paving. Off-Site work consists of revision and widening of adjacent roadways to the park. De-Mucking, clearing and grubbing work approved under GMP Amendment #1 dated February 27, 2015 and is separate from this GMP.

EXHIBIT A – Enumeration of Contract Documents

Contract Documents include: the Drawings, Specifications, Addenda (*Construction Documents*), the Agreement, General Conditions, Supplementary Conditions as expressly noted herein, and this Exhibit A, as well as the Guaranteed Maximum Price (GMP) Proposal in its entirety. This GMP Proposal is expressly recognized as a Contract Document inasmuch as it forms the basis upon which the Guaranteed Maximum Price is based. *As such, in the event there is any disagreement, conflict, or ambiguity between the GMP Proposal and any other Contract Document, the GMP Proposal shall govern.*

The Owner’s issuance of any Notice to Proceed, Purchase Order, or any other written directive or instructions to proceed with the Work, after this signed GMP Proposal has been delivered by Biltmore to the Owner, shall constitute an express acceptance of the foregoing Enumeration of Contract Documents and the enforceability thereof.

As prepared by Wannemacher Jensen Architects, Inc.:

3/26/2015	1407 - NW 114TH AVE PARK - DRAWING INDEX		
Sheet #	Sheet Name	Description	Latest Revision
	CIVIL		
C (CS)	COVER SHEET (ONSITE CIVIL)	GMP SET	1/20/2015
C-100	GENERAL NOTES	GMP SET	1/20/2015
C-200	DEMOLITION NOTES	GMP SET	1/20/2015
C-201	OVERALL DEMOLITION PLAN	GMP SET	1/20/2015
C-202	EROSION CONTROL NOTES	GMP SET	1/20/2015
C-203	OVERALL EROSION CONTROL PLAN	GMP SET	1/20/2015
C-204	EROSION CONTROL DETAILS	GMP SET	1/20/2015
C-300	OVERALL SITE PLAN	Addm 2, Rev 2	2/19/2015
C-301	GEOMETRY, SIGNAGE AND STRIPING PLAN	GMP SET	1/20/2015
C-302	GEOMETRY, SIGNAGE AND STRIPING PLAN	GMP SET	1/20/2015
C-401	PAVING, GRADING AND DRAINAGE PLAN	GMP SET	1/20/2015
C-402	PAVING, GRADING AND DRAINAGE PLAN	Addm 2, Rev 2	2/19/2015
C-403	PAVING, GRADING AND DRAINAGE SECTIONS	GMP SET	1/20/2015
C-404	PAVING, GRADING AND DRAINAGE DETAILS	GMP SET	1/20/2015
C-500	WATER AND SEWER NOTES	GMP SET	1/20/2015
C-501	WATER AND SEWER PLAN	Addm 2, Rev 2	2/19/2015
C-502	WATER AND SEWER PROFILE	Addm 2, Rev 2	2/19/2015
R (CS)	COVER SHEET (OFFSITE ROADWAY)	GMP SET	1/20/2015
R-100	ROADWAY GENERAL NOTES	GMP SET	1/20/2015
R-101	ROADWAY KEY SHEET	Addm 2, Rev 2	2/19/2015
R-200	ROADWAY PAVING, GRADING AND DRAINAGE NOTES	Addm 2, Rev 2	2/19/2015
R-201	TYPICAL SECTIONS	GMP SET	1/20/2015

R-300	ROADWAY PLAN - 82nd STREET	Addm 2, Rev 2	2/19/2015
R-301	ROADWAY PLAN - 82nd STREET	Addm 2, Rev 2	2/19/2015
R-302	ROADWAY PLAN - 82nd STREET	GMP SET	1/20/2015
R-303	ROADWAY PLAN - 112th AVE	GMP SET	1/20/2015
R-400	SIGNAGE AND MARKING PLAN - 82nd STREET	GMP SET	1/20/2015
R-401	SIGNAGE AND MARKING PLAN - 82nd STREET	Addm 2, Rev 2	2/19/2015
R-402	SIGNAGE AND MARKING PLAN - 82nd STREET	Addm 2, Rev 2	2/19/2015
R-403	SIGNAGE AND MARKING PLAN - 112th AVE	GMP SET	1/20/2015
	LANDSCAPE		
L-000	LANDSCAPE COVER SHEET	Addm 2, Rev 2	2/19/2015
L-100	OVERALL LANDSCAPE PLAN	Addm 2, Rev 2	2/19/2015
L-101	HARDSCAPE PLAN	Addm 2, Rev 2	2/19/2015
L-102	HARDSCAPE PLAN	Addm 2, Rev 2	2/19/2015
L-150	HARDSCAPE DETAILS	Addm 2, Rev 2	2/19/2015
L-151	HARDSCAPE DETAILS	Addm 2, Rev 2	2/19/2015
L-152	HARDSCAPE DETAILS	GMP SET	1/20/2015
L-153	HARDSCAPE DETAILS	Addm 2, Rev 2	2/19/2015
L-154	HARDSCAPE DETAILS	Addm 2, Rev 2	2/19/2015
L-155	HARDSCAPE DETAILS	Addm 2, Rev 2	2/19/2015
L-156	HARDSCAPE DETAILS	GMP SET	1/20/2015
L-157	HARDSCAPE DETAILS	Addm 2, Rev 2	2/19/2015
L-158	HARDSCAPE DETAILS	Addm 2, Rev 2	2/19/2015
L-159	HARDSCAPE DETAILS	Addm 2, Rev 2	2/19/2015
L-200	OVERALL PLANTING PLAN	Addm 2, Rev 2	2/19/2015
L-201	PLANTING PLAN	Addm 2, Rev 2	2/19/2015
L-202	PLANTING PLAN	Addm 2, Rev 2	2/19/2015
L-203	PLANTING PLAN	Addm 2, Rev 2	2/19/2015
L-204	PLANTING PLAN	Addm 2, Rev 2	2/19/2015
L-250	PLANTING DETAILS	Addm 2, Rev 2	2/19/2015
L-251	PLANTING SPECIFICATIONS	GMP SET	1/20/2015
L-300	OVERALL IRRIGATION PLAN	Addm 2, Rev 2	2/19/2015
L-350	IRRIGATION DETAILS	GMP SET	1/20/2015
L-351	IRRIGATION DETAILS	GMP SET	1/20/2015
	ARCHITECTURE		
A0.0	COVER SHEET	GMP SET	undated
A0.1	DRAWING LEGENDS, BUILDING DATA, SHEET INDEX	Addm 2, Rev 2	1/20/2015 (titleblock unchanged)
A0.2	LEVEL 1 - LIFE SAFETY PLAN	GMP SET	1/20/2015
A0.3	LEVEL 2 - LIFE SAFETY PLAN	GMP SET	1/20/2015

A1.0	ARCHITECTURAL SITE PLAN	Addm 2, Rev 2	1/20/2015 (titleblock unchanged)
A1.1	SITE PLAN - BUILDING SETBACKS	Addm 2, Rev 2	2/19/2015
A2.0	FLOOR PLANS - REC BUILDING + PEDESTRIAN BRIDGE	GMP SET	1/20/2015
A2.1	LEVEL 1 - FLOOR PLAN	Addm 3, Rev 3	3/2/2015
A2.2	LEVEL 2 - FLOOR PLAN	Addm 2, Rev 2	2/19/2015
A2.3	LEVEL 1 - DIMENSION PLAN	Addm 2, Rev 2	2/19/2015
A2.3.1	LEVEL 1 - EDGE OF SLAB PLAN	Addm 2, Rev 2	2/19/2015
A2.4	LEVEL 2 - DIMENSION PLAN	Addm 2, Rev 2	2/19/2015
A2.4.1	LEVEL 2 - EDGE OF SLAB PLAN	Addm 2, Rev 2	2/19/2015
A2.5	LEVEL 1 - FURNITURE PLAN	Addm 3, Rev 3	3/2/2015
A2.6	LEVEL 2 - FURNITURE PLAN	Addm 3, Rev 3	3/2/2015
A2.7	LEVEL 1 - FINISH PLAN	Addm 3, Rev 3	3/2/2015
A2.8	LEVEL 2 - FINISH PLAN	Addm 2, Rev 2	2/19/2015
A2.9	FINISH LEGEND	Addm 2, Rev 2	2/19/2015
A2.10	ROOF PLAN	Addm 2, Rev 2	2/19/2015
A2.11	PEDESTRIAN BRIDGE	Addm 4, Rev 4	3/3/2015
A3.0	BLDG. ELEVATIONS - REC BUILDING + PEDESTRIAN BRIDGE	Addm 4, Rev 4	3/3/2015
A3.1	EXTERIOR ELEVATIONS	GMP SET	1/20/2015
A3.2	EXTERIOR ELEVATIONS	Addm 2, Rev 2	2/19/2015
A3.3	BUILDING SECTIONS	GMP SET	1/20/2015
A3.4	BUILDING SECTIONS	Addm 2, Rev 2	2/19/2015
A3.5	BUILDING SECTIONS	GMP SET	1/20/2015
A3.6	PEDESTRIAN BRIDGE SECTIONS, WALL SECTIONS	Addm 4, Rev 4	3/3/2015
A3.7	PEDESTRIAN BRIDGE DETAILS	Addm 2, Rev 2	2/19/2015
A3.8	AXONOMETRIC VIEWS	GMP SET	1/20/2015
A4.1	ENLARGED RESTROOM PLANS AND ELEVATIONS	GMP SET	1/20/2015
A4.2	ENLARGED RESTROOM PLANS AND ELEVATIONS	Addm 2, Rev 2	2/19/2015
A4.3	MILLWORK ELEVATIONS	Addm 2, Rev 2	2/19/2015
A4.4	ENLARGED FLOOR PLANS AND MILLWORK ELEVATIONS	Addm 3, Rev 3	3/2/2015
A4.5	ENLARGED FLOOR PLANS AND MILLWORK ELEVATIONS	GMP SET	1/20/2015
A4.6	MILLWORK SECTIONS AND DETAILS	Addm 2, Rev 2	2/19/2015
A4.7	INTERIOR ELEVATIONS	Addm 2, Rev 2	2/19/2015
A4.8	INTERIOR ELEVATIONS	Addm 2, Rev 2	2/19/2015
A6.1	LEVEL 1 - REFLECTED CEILING PLAN	Addm 2, Rev 2	2/19/2015
A6.2	LEVEL 2 - REFLECTED CEILING PLAN	Addm 2, Rev 2	2/19/2015
A7.1	ENLARGED STAIR PLANS, SECTIONS AND DETAILS	Addm 2, Rev 2	1/20/2015 (titleblock unchanged)
A7.2	ENLARGED STAIR PLANS, SECTIONS AND DETAILS	GMP SET	1/20/2015

A7.3	ENLARGED VERTICAL CIRCULATION PLANS, SECTIONS, AND DETAILS	GMP SET	1/20/2015
A8.1	WALL SECTIONS	Addm 2, Rev 2	2/19/2015
A8.2	WALL SECTIONS	Addm 2, Rev 2	2/19/2015
A8.3	WALL SECTIONS	Addm 3, Rev 3	3/2/2015
A8.4	WALL SECTIONS	Addm 2, Rev 2	2/19/2015
A8.5	WALL SECTIONS	Addm 2, Rev 2	2/19/2015
A8.6	WALL SECTIONS	Addm 3, Rev 3	3/2/2015
A9.1	PARTITION TYPES	GMP SET	1/20/2015
A9.1.1	PARTITION DETAILS	Addm 2, Rev 2	2/19/2015
A9.2	ENCLOSURE DETAILS	Addm 2, Rev 2	2/19/2015
A9.2.1	ENCLOSURE DETAILS	Addm 2, Rev 2	2/19/2015
A9.3	DETAILS	Addm 2, Rev 2	2/19/2015
A9.3.1	FIRE SEPARATION DETAILS	Addm 2, Rev 2	2/19/2015
A9.4	STOREFRONT DETAILS	Addm 2, Rev 2	1/20/2015
A9.5	STOREFRONT DETAILS	Addm 2, Rev 2	1/20/2015
A9.6	STOREFRONT DETAILS	Addm 2, Rev 2	1/20/2015
A9.6.1	STOREFRONT DETAILS	Addm 2, Rev 2	1/20/2015
A9.7	STOREFRONT ELEVATIONS	Addm 2, Rev 2	1/20/2015
A9.8	STOREFRONT ELEVATIONS, WINDOW SCHEDULE	Addm 3, Rev 3	3/2/2015
A9.9	DOOR SCHEDULES	Addm 3, Rev 3	3/2/2015
A9.10	JUNGLE GYM PLAN, ELEVATION + VIEWS	GMP SET	1/20/2015
Floor Plan 1	FLOOR PLAN - CONCESSION = RESTROOM	Addm 3, Rev 3	3/2/2015
NW AXO VIEW 2	NW AXONOMETRIC VIEW FOR REFERENCE	Addm 3, Rev 3	3/2/2015
RCP 3	RCP - CONCESSION = RESTROOM	Addm 3, Rev 3	3/2/2015
Aa2.1	CONCESSION + RESTROOM - FLOOR PLAN, RCP, ROOF PLAN	Addm 2, Rev 2	1/20/2015 (titleblock unchanged)
Aa2.2	CONCESSION + RESTROOM ENLARGED DIMENSION PLANS	GMP SET	1/20/2015
Aa3.1	CONCESSION + RESTROOM - EXT. ELEVS., BUILDING SECTIONS	GMP SET	1/20/2015
Aa4.1	CONCESSION + RESTROOM ENLARGED PLANS AND ELEVATIONS	Addm 2, Rev 2	1/20/2015 (titleblock unchanged)
Aa8.1	CONCESSION + RESTROOM WALL SECTIONS + DETAILS	Addm 2, Rev 2	1/20/2015 (titleblock unchanged)
Aa9.1	CONCESSION + STOREFRONT DETAILS	Addm 2, Rev 2	2/19/2015
Ab2.1	BANDSHELL	Addm 2, Rev 2	2/19/2015
Ac2.1	STORAGE, CHILLER ENCLOSURE, TRASH ENCLOSURE	Addm 2, Rev 2	1/20/2015 (titleblock unchanged)

Ac8.1	STORAGE, CHILLER ENCLOSURE, TRASH ENCLOSURE	Addm 2, Rev 2	1/20/2015 (titleblock unchanged)
Ad2.1	SHELTERS - TYPE I, TYPE II	Addm 2, Rev 2	2/19/2015
Ae2.1	SHELTERS - TYPE III, TYPE IV	Addm 2, Rev 2	2/19/2015
	STRUCTURAL		
S0.1	STRUCTURAL ABBREV., SYMBOLS, AND SHEET INDEX	Addm 2, Rev 2	2/19/2015
S0.2	STRUCTURAL NOTES	Addm 2, Rev 2	2/19/2015
S0.3	REC CENTER BUILDING WIND LOADING	Addm 2, Rev 2	2/19/2015
S0.4	AUXILIARY BUILDING WIND LOADING	Addm 2, Rev 2	2/19/2015
S0.5	JOIST PROFILE	Addm 2, Rev 2	2/19/2015
S1.1	FOUNDATION PLAN	Addm 4, Rev 4	3/3/2015
S1.2	SECOND FLOOR FRAMING PLAN	Addm 4, Rev 4	3/3/2015
S1.3	ROOF FRAMING PLAN	Addm 2, Rev 2	2/19/2015
S2.1	TYPICAL FOUNDATION DETAILS I	Addm 2, Rev 2	2/19/2015
S2.2	TYPICAL FOUNDATION DETAILS II	Addm 2, Rev 2	2/19/2015
S2.3	TYPICAL FOUNDATION DETAILS III	Addm 2, Rev 2	2/19/2015
S3.1	TYPICAL SUPERSTRUCTURE DETAILS I	Addm 2, Rev 2	2/19/2015
S3.2	TYPICAL SUPERSTRUCTURE DETAILS II	Addm 2, Rev 2	2/19/2015
S3.3	TYPICAL SUPERSTRUCTURE DETAILS III	Addm 2, Rev 2	2/19/2015
S4.1	STRUCTURAL SECTIONS I	Addm 2, Rev 2	2/19/2015
S4.2	STRUCTURAL SECTIONS II	Addm 2, Rev 2	2/19/2015
S4.3	STRUCTURAL SECTIONS III	Addm 2, Rev 2	2/19/2015
S4.4	STRUCTURAL SECTIONS VI	Addm 2, Rev 2	2/19/2015
S4.5	STRUCTURAL SECTIONS V	Addm 2, Rev 2	2/19/2015
S5.1	STRUCTURAL ELEVATIONS I	Addm 2, Rev 2	2/19/2015
S5.2	STRUCTURAL ELEVATIONS II	Addm 2, Rev 2	2/19/2015
S6.1	PEDESTRIAN BRIDGE- GENERAL NOTES	Addm 4, Rev 4	3/3/2015
S6.2	PEDESTRIAN BRIDGE- STRUCTURAL FRAMING PLANS	Addm 4, Rev 4	3/3/2015
S6.3	PEDESTRIAN BRIDGE- STRUCTURAL ELEVATIONS	Addm 4, Rev 4	3/3/2015
S6.4	PEDESTRIAN BRIDGE- SECTIONS	Addm 4, Rev 4	3/3/2015
S6.5	PEDESTRIAN BRIDGE- CIRCULAR RAMP	Addm 4, Rev 4	3/3/2015
Sa1.1	CONCESSION- STRUCTURAL PLANS	Addm 2, Rev 2	2/19/2015
Sb1.1	BANDSHELL- STRUCTURAL PLANS	Addm 2, Rev 2	2/19/2015
Sc1.1	STORAGE- STRUCTURAL PLANS	Addm 2, Rev 2	2/19/2015
Sd1.1	PARK SHELTER I- STRUCTURAL PLANS	Addm 2, Rev 2	2/19/2015
Sd1.2	PARK SHELTER II- STRUCTURAL PLANS	Addm 2, Rev 2	2/19/2015
Sd1.3	PARK SHELTER III- STRUCTURAL PLANS	Addm 2, Rev 2	2/19/2015
Sd1.4	PARK SHELTER IV- STRUCTURAL PLANS	Addm 2, Rev 2	2/19/2015
Se1.1	CHILLER YARD- STRUCTURAL PLANS	Addm 2, Rev 2	2/19/2015
	ELECTRICAL		
E0.0	ELECTRICAL LEGEND AND GENERAL NOTES	GMP SET	1/20/2015

E0.1	ELECTRICAL SITE PLAN	Addm 2, Rev 2	2/19/2015
E1.1	ELECTRICAL FIRST FLOOR POWER PLAN	Addm 2, Rev 2	2/19/2015
E1.2	ELECTRICAL SECOND FLOOR POWER PLAN	Addm 2, Rev 2	2/19/2015
E1.3	ELECTRICAL ROOF PLAN	GMP SET	1/20/2015
E2.1	ELECTRICAL FIRST FLOOR LIGHTING PLAN	Addm 2, Rev 2	2/19/2015
E2.2	ELECTRICAL SECOND FLOOR LIGHTING PLAN	GMP SET	1/20/2015
E2.3	LIGHTING CONTROLS & FIXTURE SCHEDULE	Addm 2, Rev 2	2/19/2015
E3.1	ELECTRICAL ENLARGED PLANS	Addm 2, Rev 2	2/19/2015
E3.2	ELECTRICAL ENLARGED PLANS	Addm 2, Rev 2	2/19/2015
E4.1	ELECTRICAL DETAILS	GMP SET	1/20/2015
E5.1	ELECTRICAL RISER DIAGRAM AND SCHEDULES	Addm 2, Rev 2	2/19/2015
E5.2	FIRE ALARM SYSTEM RISER, NOTES, AND DETAILS	GMP SET	1/20/2015
E6.1	ELECTRICAL PANEL SCHEDULES	Addm 2, Rev 2	2/19/2015
E6.2	ELECTRICAL PANEL SCHEDULES	Addm 2, Rev 2	2/19/2015
E7.0	ELECTRICAL EQUIPMENT COORDINATION SCHEDULE	Addm 2, Rev 2	2/19/2015
	FIRE PROTECTION		
F0.0	FIRE PROTECTION	Addm 2, Rev 2	2/19/2015
	MECHANICAL		
M0.0	MECHANICAL LEGEND & SPECIFICATIONS	GMP SET	1/20/2015
M0.1	MECHANICAL SITE PLAN	GMP SET	1/20/2015
M1.0	MECHANICAL FIRST FLOOR PLAN - DUCTWORK	Addm 2, Rev 2	2/19/2015
M1.2	MECHANICAL SECOND FLOOR PLAN - DUCTWORK	Addm 2, Rev 2	2/19/2015
M1.3	MECHANICAL ROOF PLAN - DUCTWORK	Addm 2, Rev 2	2/19/2015
M2.1	MECHANICAL FIRST FLOOR PLAN - PIPING	GMP SET	1/20/2015
M2.2	MECHANICAL SECOND FLOOR PLAN - PIPING	GMP SET	1/20/2015
M2.3	MECHANICAL ROOF PLAN - PIPING	GMP SET	1/20/2015
M3.0	MECHANICAL ENLARGED PLANS	GMP SET	1/20/2015
M4.0	MECHANICAL DETAILS	GMP SET	1/20/2015
M4.1	MECHANICAL DETAILS	GMP SET	1/20/2015
M4.2	MECHANICAL DETAILS	GMP SET	1/20/2015
M5.0	MECHANICAL SCHEDULES	Addm 2, Rev 2	2/19/2015
M6.0	MECHANICAL CONTROLS	GMP SET	1/20/2015
M6.1	MECHANICAL CONTROLS	GMP SET	1/20/2015
	PLUMBING		
P0.0	PLUMBING LEGEND, SCHEDULES AND GENERAL NOTES	Addm 2, Rev 2	2/19/2015
P0.1	SITE PLAN - PLUMBING	Addm 2, Rev 2	2/19/2015
P1.0	UNDERGROUND - PLUMBING PLAN	Addm 2, Rev 2	2/19/2015
P1.1	LEVEL 1 - PLUMBING GRAVITY PLAN	Addm 2, Rev 2	2/19/2015
P1.2	LEVEL 2 - PLUMBING GRAVITY PLAN	Addm 2, Rev 2	2/19/2015
P1.3	LEVEL 3 - PLUMBING ROOF PLAN	GMP SET	1/20/2015
P2.1	LEVEL 1 - PLUMBING PRESSURE PLAN	Addm 2, Rev 2	2/19/2015

P2.2	LEVEL 2 - PLUMBING PRESSURE PLAN	Addm 2, Rev 2	2/19/2015
P3.1	ENLARGED PLUMBING PLANS	Addm 2, Rev 2	2/19/2015
P4.1	DETAILS - PLUMBING	Addm 2, Rev 2	2/19/2015
P5.1	GRAVITY RISERS - PLUMBING	Addm 2, Rev 2	2/19/2015
P5.2	PRESSURE RISERS	Addm 2, Rev 2	2/19/2015
Pa2.1	CONCESSION - PLUMBING PLANS	Addm 2, Rev 2	2/19/2015
Pb2.1	BAND SHELL - PLUMBING PLANS	Addm 2, Rev 2	2/19/2015
	TECHNOLOGY		
T0.0	TECHNOLOGY LEGEND & SPECIFICATIONS	Addm 2, Rev 2	2/19/2015
T0.1	SITE PLAN - TECHNOLOGY	GMP SET	1/20/2015
T1.1	FIRST FLOOR PLAN - VOICE/DATA	Addm 2, Rev 2	2/19/2015
T1.2	SECOND FLOOR PLAN - VOICE/DATA	Addm 2, Rev 2	2/19/2015
T2.1	FIRST FLOOR PLAN - AV & SECURITY	Addm 2, Rev 2	2/19/2015
T2.2	SECOND FLOOR PLAN - AV & SECURITY	Addm 2, Rev 2	2/19/2015
T2.3	ROOF PLAN - AV & SECURITY	GMP SET	1/20/2015
T3.1	CCTV COVERAGE - TECHNOLOGY	Addm 2, Rev 2	2/19/2015
T4.1	ENLARGED PLANS - TECHNOLOGY	Addm 2, Rev 2	2/19/2015
T5.1	RISER DIAGRAMS - TECHNOLOGY	Addm 2, Rev 2	2/19/2015
T5.2	RISER DIAGRAMS - TECHNOLOGY	Addm 2, Rev 2	2/19/2015
T5.3	RISER DIAGRAMS - TECHNOLOGY	GMP SET	1/20/2015
T6.1	DETAILS - VOICE/DATA	Addm 2, Rev 2	2/19/2015
T6.2	DETAILS - VOICE/DATA	GMP SET	1/20/2015
T6.3	DETAILS - AUDIO/VIDEO	GMP SET	1/20/2015
T6.4	DETAILS - SECURITY	GMP SET	1/20/2015
	AQUATIC		
PL0.00	COVER SHEET	Addm 2, Rev 2	2/19/2015
PL0.01	CONTACTS AND RESPONSIBILITIES	Addm 2, Rev 2	2/19/2015
PL0.10	NOTES & SPECIFICATIONS	Addm 2, Rev 2	2/19/2015
PL0.11	NOTES & SPECIFICATIONS	Addm 2, Rev 2	2/19/2015
PL0.20	PARTIAL SITE PLAN - DIMENSIONS & ELEVATIONS	Addm 2, Rev 2	2/19/2015
PL0.21	PARTIAL SITE PLAN - DECK BOM, ID & UTILITY CONNECTIONS	Addm 2, Rev 2	2/19/2015
PL0.22	PARTIAL SITE PLAN - EQUIPMENT YARD & UTILITY CONNECTIONS	Addm 2, Rev 2	2/19/2015
PL0.23	DECK, SAFETY, PIPE HANGERS & SUPPORTS	Addm 2, Rev 2	2/19/2015
PL1.00	IWF - DATA BLOCK, BOM & ID, DIMENSIONS, BONDING, FINISH SCHEDULE & SECTION	Addm 2, Rev 2	2/19/2015
PL1.10	IWF - PIPING SCHEMATIC	Addm 2, Rev 2	2/19/2015
PL1.11	IWF- PIPING SCHEMATIC	GMP SET	DELETED
PL1.20	IWF - DETAILS	Addm 2, Rev 2	2/19/2015
PL1.30	IWF - EQUIPMENT YARD - LAYOUT, BOM LIST, ID & DIMENSIONS	Addm 2, Rev 2	2/19/2015

PL1.31	IWF - EQUIPMENT YARD DETAILS	Addm 2, Rev 2	2/19/2015
PL1.32	IWF - EQUIPMENT YARD DETAILS	Addm 2, Rev 2	2/19/2015
	SPECIFICATIONS	GMP SET	Latest Revision Date
001000	Table of Contents	Addm 1, Rev 1	2/2/2015
011000	Summary	GMP SET	1/20/2015
012500	Substitution Procedures	GMP SET	1/20/2015
012600	Contract Modification Procedures	GMP SET	1/20/2015
012900	Payment Procedures	GMP SET	1/20/2015
013100	Project Management and Coordination	GMP SET	1/20/2015
013200	Construction Progress Documentation	Addm 1, Rev 1	2/5/2015
013233	Photographic Documentation	Addm 1, Rev 1	2/5/2015
013300	Submittal Procedures	GMP SET	1/20/2015
014000	Quality Requirements	GMP SET	1/20/2015
014200	References	GMP SET	1/20/2015
015000	Temporary Facilities and Controls	GMP SET	1/20/2015
016000	Product Requirements	GMP SET	1/20/2015
017300	Execution	GMP SET	1/20/2015
017419	Construction Waste Management and Disposal	GMP SET	1/20/2015
017700	Closeout Procedures	GMP SET	1/20/2015
017823	Operation and Maintenance Data	GMP SET	1/20/2015
017839	Project Record Documents	GMP SET	1/20/2015
017900	Demonstration and Testing	GMP SET	1/20/2015
018113.1	Sustainable Design Requirements	Addm 1, Rev 1	2/5/2015
019113	General Commissioning Requirements	GMP SET	1/20/2015
030000	Cast-In-Place Concrete	GMP SET	1/20/2015
042000	Unit Masonry	GMP SET	1/20/2015
051200	Structural Steel Framing	GMP SET	1/20/2015
053000	Acoustical Metal Roof Deck	GMP SET	1/20/2015
054000	Cold Formed Metal Framing	GMP SET	1/20/2015
055000	Metal Fabrications	GMP SET	1/20/2015
057300	Ornamental Handrails and Railing	GMP SET	1/20/2015
061000	Rough Carpentry	GMP SET	1/20/2015
061525	Fiber Reinforced Hybrid Decking	GMP SET	1/20/2015
064116	Plastic-Laminate-Faced Architectural Cabinets	GMP SET	1/20/2015
072100	Building Insulation	GMP SET	1/20/2015
072600	Underslab Vapor Barrier	GMP SET	1/20/2015
072726	Fluid-Applied Membrane Air Barriers	GMP SET	1/20/2015
074645	Fiber Reinforced Hybrid Rainscreen Siding	GMP SET	1/20/2015
075419	Polyvinyl-Chloride (PVC) Roofing	GMP SET	1/20/2015

075423	Thermoplastic Polyolefin (TPO) Roofing	GMP SET	1/20/2015
076200	Sheet Metal Flashing and Trim	GMP SET	1/20/2015
077200	Roof Accessories	GMP SET	1/20/2015
079200	Joint Sealants	GMP SET	1/20/2015
081113	Hollow Metal Doors and Frames	GMP SET	1/20/2015
081416	Flush Wood Doors	GMP SET	1/20/2015
083310	Overhead Coiling Door	Addm 2, Rev 2	2/19/2015
084113	Aluminum-Framed Entrances and Storefronts	GMP SET	1/20/2015
084413	Glazed Aluminum Curtain Walls	GMP SET	1/20/2015
087100	Door Hardware	GMP SET	1/20/2015
087913	Key Storage Equipment	GMP SET	1/20/2015
088000	Glazing	Addm 1, Rev 1	2/5/2015
092216	Non-Structural Metal Framing	GMP SET	1/20/2015
092400	Portland Cement Plastering (Stucco)	GMP SET	1/20/2015
092900	Gypsum Board	GMP SET	1/20/2015
093000	Sheet Membrane Waterproofing and Crack Isolation	Addm 1, Rev 1	2/2/2015
093013	Ceramic Tiling	GMP SET	1/20/2015
095113	Acoustical Panel Ceilings	Addm 2, Rev 2	2/19/2015
096400	Wood Sports-Floor Assemblies	Addm 1, Rev 1	1/20/2015
096410	Wood Dance-Floor Assemblies	Addm 1, Rev 1	2/2/2015
096450	Resilient Sports-Floor Coverings	GMP SET	1/20/2015
096513	Resilient Base and Accessories	GMP SET	1/20/2015
096519	Resilient Flooring	GMP SET	1/20/2015
096623	Resinous Epoxy Flooring	GMP SET	1/20/2015
096813	Tile Carpeting	GMP SET	1/20/2015
097200	Wall Coverings	GMP SET	1/20/2015
099100	Painting	GMP SET	1/20/2015
101400	Signage	Addm 3, Rev 3	3/2/2015
102113	Plastic Toilet Compartments	GMP SET	1/20/2015
102239	Folding Panel Partitions	GMP SET	1/20/2015
102800	Toilet Accessories	GMP SET	1/20/2015
104416	Fire Extinguishers	GMP SET	1/20/2015
105113	Metal Lockers	GMP SET	1/20/2015
107516	Ground-Set Flagpoles	GMP SET	1/20/2015
116123	Folding and Portable Stages	GMP SET	1/20/2015
116143	Stage Curtains	GMP SET	1/20/2015
116623	Gymnasium Equipment	GMP SET	1/20/2015
116643	Interior Scoreboards	Addm 2, Rev 2	2/19/2015
116653	Gymnasium Dividers	GMP SET	1/20/2015
123661	Simulated Stone Countertops	GMP SET	1/20/2015
124816	Floor Mats and Frames	GMP SET	1/20/2015

124940	Roller Shades	Addm 2, Rev 2	2/19/2015
126600	Telescoping Stands	GMP SET	1/20/2015
142100	Electric Traction Elevators	GMP SET	1/20/2015
210500	Common Work Results for Fire Suppression	GMP SET	1/20/2015
210517	Sleeves and Sleeve Seals for Fire Suppression Piping	GMP SET	1/20/2015
210518	Escutcheons for Fire-Suppression Piping	GMP SET	1/20/2015
211200	Fire-Suppression Standpipes	GMP SET	1/20/2015
211313	Wet-Pipe Sprinkler Systems	GMP SET	1/20/2015
220500	Common Work Results for Plumbing	GMP SET	1/20/2015
220517	Sleeves and Sleeve Seals for Plumbing Piping	GMP SET	1/20/2015
220518	Escutcheons for Plumbing Piping	GMP SET	1/20/2015
220519	Meters and Gages for Plumbing Piping	GMP SET	1/20/2015
220523	General -Duty Valves for Plumbing Piping	GMP SET	1/20/2015
220529	Hangers and Supports for Plumbing Piping and Equipment	GMP SET	1/20/2015
220553	Identification for Plumbing Piping and Equipment	GMP SET	1/20/2015
221116	Domestic Water Piping	GMP SET	1/20/2015
221119	Domestic Water Piping Specialties	GMP SET	1/20/2015
221316	Sanitary Waste and Vent Piping	GMP SET	1/20/2015
221319	Sanitary Waste Piping Specialties	GMP SET	1/20/2015
224223	Commercial Showers, Receptors, and Basins	GMP SET	1/20/2015
224213.13	Commercial Water Closets	GMP SET	1/20/2015
224213.16	Commercial Urinals	GMP SET	1/20/2015
224216.13	Commercial Lavatories	GMP SET	1/20/2015
224216.16	Commercial Sinks	GMP SET	1/20/2015
224713	Drinking Fountains	GMP SET	1/20/2015
230000	Common Requirements for HVAC	GMP SET	1/20/2015
230529	Hangers and Supports for HVAC Piping and Equipment	GMP SET	1/20/2015
230548	Vibration Controls for HVAC Piping and Equipment	GMP SET	1/20/2015
230500	Common Work Results for HVAC	GMP SET	1/20/2015
230513	Common Motor Requirements for HVAC Equipment	GMP SET	1/20/2015
230516	Expansion Fittings and Loops for HVAC Piping	GMP SET	1/20/2015
230517	Sleeves and Sleeve Seals for HVAC Piping	GMP SET	1/20/2015
230518	Escutcheons for HVAC Piping	GMP SET	1/20/2015
230519	Meters and Gages for HVAC Piping	GMP SET	1/20/2015
230523	General Duty Valves for HVAC Piping	GMP SET	1/20/2015
230548	Vibration Controls for HVAC Piping and Equipment	GMP SET	1/20/2015
230553	Identification for HVAC Piping and Equipment	GMP SET	1/20/2015
230593	Testing, Adjusting and Balancing for HVAC	GMP SET	1/20/2015
230713	Duct Insulation	GMP SET	1/20/2015
230719	HVAC Piping Insulation	GMP SET	1/20/2015

230800	Commissioning of HVAC	GMP SET	1/20/2015
230923	Direct Digital Control System for HVAC	GMP SET	1/20/2015
232113	Hydronic Piping	GMP SET	1/20/2015
232923	Variable Frequency Drives	GMP SET	1/20/2015
233113	Metal Ducts	GMP SET	1/20/2015
233300	Air Duct Accessories	GMP SET	1/20/2015
233423	HVAC Power Ventilators	GMP SET	1/20/2015
236423	Scroll Water Chillers	GMP SET	1/20/2015
237313	Modular Indoor Central Station Air-Handling Units	GMP SET	1/20/2015
238126	Split-System Air Conditioners	GMP SET	1/20/2015
260010	Basic Electrical Requirements	GMP SET	1/20/2015
260519	Low-Voltage Electrical Power Conductors and Cables	GMP SET	1/20/2015
260526	Grounding and Bonding for Electrical Systems	GMP SET	1/20/2015
260529	Hangers and Supports for Electrical Systems	GMP SET	1/20/2015
260533	Raceways and Boxes for Electrical Systems	GMP SET	1/20/2015
260543	Underground Ducts and Raceways for Electrical Systems	GMP SET	1/20/2015
260544	Sleeves and Sleeve Seals for Electrical Raceways and Cabling	GMP SET	1/20/2015
260553	Electrical Identification	GMP SET	1/20/2015
260923	Lighting Control Devices	GMP SET	1/20/2015
260943.23	Relay-Based Lighting Controls	GMP SET	1/20/2015
262200	Low-Voltage Transformers	GMP SET	1/20/2015
262413	Switchboards	GMP SET	1/20/2015
262416	Panelboards	GMP SET	1/20/2015
262713	Electricity Metering	GMP SET	1/20/2015
262726	Wiring Devices	GMP SET	1/20/2015
262816	Enclosed Switches and Circuit Breakers	GMP SET	1/20/2015
264313	Surge Protective Devices for Low-Voltage Electrical Power Circuits	GMP SET	1/20/2015
265100	Interior Lighting	GMP SET	1/20/2015
265600	Exterior Lighting	GMP SET	1/20/2015
265668	Exterior Athletic Lighting	GMP SET	1/20/2015
283111	Digital, Addressable Fire-Alarm System	GMP SET	1/20/2015
270010	Technology General Provisions	GMP SET	1/20/2015
270526	Grounding & Bonding for Telecommunications	GMP SET	1/20/2015
270528	Raceways for Technology	GMP SET	1/20/2015
271000	Structured Cabling Systems	GMP SET	1/20/2015
274134	Broadband Distribution System	GMP SET	1/20/2015
275113	Public Address Music System	GMP SET	1/20/2015
313116	Termite Treatment	GMP SET	1/20/2015
323123	PVC Privacy Fence and Gate	Addm 1, Rev 1	2/2/2015

EXHIBIT B – Allowance Items

The Allowances noted below represent reasonably anticipated values included in this GMP Proposal to cover the cost of certain items absent or not specified in sufficient detail in the Construction Documents as listed in the ENUMERATION OF CONTRACT DOCUMENTS Section of this GMP Proposal or for which uncertainty remains. The amount of the Allowance stipulated herein is inclusive of all labor, materials, equipment taxes, delivery, insurances, bond and fees necessary to perform the anticipated work, unless otherwise noted.

Allowances for work as represented in this GMP Proposal govern over the actual items contained in the Contract Documents. Variations between the Allowance values and the actual cost of these prescribed items may be reflected in add or deduct Change Order(s) to this GMP Proposal.

The ASSUMPTIONS AND CLARIFICATIONS section of this GMP Proposal may provide a more detailed description of these Allowances.

DESCRIPTION OF ALLOWANCE	ALLOWANCE AMOUNT
Doral Logo at basketball courts, Interior (2)	\$2,000.00
Exterior Bulletin Boards Signs (5 ea. @ \$1,500)	\$7,500.00
Park Rules Signs (14 total)	\$12,038.00
Fuel Efficient Vehicle Signs (8 total)	\$1,200.00
Pool and Ping Pong Table	\$4,500.00
Site Cabling for Event Lawn Sound System, WiFi Access Points and CCTV	\$107,000.00
Shelving at Room 110A	\$500.00
Value Engineering Allowance (see attached summary)	-\$3,234,816

EXHIBIT C – Assumptions and Clarifications

The Contract Documents are amended by Biltmore Construction Co., Inc. as follows:

1. The following **are not** included in the GMP Proposal:
 - A. Survey of, and/or the abatement of, Asbestos Containing Material or any other hazardous or unsuitable material, unless specifically noted as an item included in the Scope of Work.
 - B. Fees for Plan Review, Permit or Utility Connection Fees.
 - C. Impact Fees.
 - D. Threshold Building Inspection or other special structural inspection costs. All such inspections, if required, shall be provided by the Owner.
 - E. A separate site office for the Project Architect, unless otherwise noted as an item included in General Requirements.
 - F. Premium or exotic colors or finishes. Unless otherwise specified, colors and finishes shall be only standard selections available from the manufacturer.
 - G. Performance Specifications.

2. Warranties and Guarantees:

- A. Biltmore Construction Co., Inc. Warranties and Guarantees

Biltmore Construction Co., Inc. warrants to the Owner that the materials and workmanship furnished under this Contract will be of good quality and new unless otherwise required or permitted by the Construction/Contract Documents, that the Work will be free from defects not inherent in the quality required or permitted, and that the Work will conform with the requirements of the Construction/Contract Documents. Work not conforming to these requirements may be considered defective. Biltmore Construction Co., Inc.'s warranty excludes remedy for damage or defect caused by insufficient maintenance, improper operation, or normal wear and tear under normal usage. The term and duration of this express warranty is one (1) year from the Date of Substantial Completion. The provisions herein shall not prevent the Owner from proceeding directly against the manufacturer and/or installer for such longer period of time as allowed by State Statute.

- B. Installer / Subcontractor Warranties and Guarantees

The Subcontractor shall warrant to the Owner and to Biltmore Construction Co., Inc. that all workmanship and materials are free from defects in installation. The express warranty/guarantee shall be consistent with the durations stipulated in the

Construction/Contract Documents. The period customarily being one (1) year from the Date of Substantial Completion established in the Construction/Contract Documents.

Notwithstanding anything to the contrary, neither Biltmore Construction Co., Inc., nor its Surety, nor the Subcontractor shall have any joint/several liability relating to, nor shall they be obligated to underwrite, or in any way become guarantor(s) of any manufacturer's warranty/guaranty or product to the Owner. The Owner shall be provided with the "standard" manufacturer's warranty, and it shall satisfy the requirements under the Construction/Contract Documents relating thereto.

Manufacturer's Express Warranties / Guarantees

Biltmore Construction Co., Inc. shall collect and transmit to the Owner any and all standard manufacturer's warranties and standard manufacturer's guarantees specified in the Construction/Contract Documents. The obligation and liability of Biltmore Construction Co., Inc. and/or its Surety is limited to the collection and proper transmittal of these warranties and guarantees to the Owner.

3. Special conditions relating to Owner purchased / Contractor installed items and associated tax exemptions:

Notwithstanding any provision to the contrary, should the Owner elect to purchase items directly and avoid any sales taxes or other taxes, the Owner will defend, indemnify, and hold harmless Biltmore Construction Co., Inc. absolutely from and against any claim, audit, investigation, cost, or assertion of any kind made by, or on behalf of, the Florida Department of Revenue or other such agency that may arise during and / or subsequent to the completion of the project. Under no circumstances shall Biltmore Construction Co., Inc. or its subcontractors be liable for the sales taxes associated with the Owner-purchased items.

The public Owner will provide Biltmore and the vendor with an executed Certificate of Entitlement (COE). By rule, the COE must be attached to each Owner Direct Purchase Order (ODPO) and should also be attached to any / each change order issued to the ODPO (if applicable). The public Owner must issue a separate COE for EACH such purchase order/change order.

4. Builder's Risk Insurance:

The Contractor shall purchase and maintain, until the date of Substantial Completion of the project by Owner, a standard Special Form (all "Risks of Physical Loss") Completed Value Builder's Risk insurance policy in the amount of the initial contract sum (GMP), including any subsequent modifications thereto, insuring the interests of the Owner, Construction Manager, and Subcontractors in the Work under this contract.

The Owner shall be responsible for:

- a. All premium and/or deductible costs that are incurred as a result of claims covered under this policy and that exceed the allowance amount.
- b. Any claim which is not covered by any of the Construction Manager's insurance policies and is not incurred as a result of the Construction Manager's and/or Trade Contractor's Work under this Contract.
- c. Property insurance coverage on the Work under this contract after the date of Substantial Completion.

5. Basis of this GMP Proposal relative to 100% Drawing Document Review Comments and other potential design changes subsequent to the submittal of this proposal:

This proposal is provided prior to the completion of the final design documents. It is also provided with a list of 100% Drawing Review Comments that apply at the time of its submittal. Accordingly, the Owner, Architect, and Construction Manager agree that, notwithstanding any provision to the contrary, they shall work in cooperation to develop a final Scope of Work which does not substantially change from that currently shown on the referenced Construction Documents, the cost of which is intended to be within the Owner's Construction Budget and is fully consistent with the qualifications and conditions noted herein. If the Scope of Work changes, this GMP Proposal and the indicated costs are subject to change. At the Owner's request, Biltmore Construction Co., Inc. has included a value of **SEVENTY FIVE THOUSAND ONE HUNDRED FIFTY DOLLARS & 00/xx's-----(\$75,150.00)** to compensate the Design Team, Wannemacher Jensen Architects, Inc., for document revisions to comply with Value Engineering requirements. This in no way implies design liability or responsibility under Biltmore Construction Co., Inc.'s Contract with the Owner. All design liability and responsibility remains with the Design Team, Wannemacher Jensen Architects, Inc. and their Consultants, per the terms of their Contract with the City of Doral.

6. Time and Price - Impacted Materials & Equipment (Escalation/Availability of Materials):

As of the date of this Contract Agreement and/or during the performance of the Work, certain markets providing materials and equipment necessary to complete the Project may experience significant industry-wide fluctuation in cost, delivery, and availability. As a result, should there be any fluctuations that materially affect the cost, delivery, and/or availability of such items, regardless if same should occur before the acceptance of the GMP Proposal, or subsequent to the acceptance, the Owner agrees to make an equitable adjustment in the Contract Time and/or Guaranteed Maximum Price as applicable. Notwithstanding any other provision to the contrary, the Contractor shall not be liable to the Owner for any expenses, losses or damages arising from a delay in delivery of a potentially time and price impacted material/equipment item not the fault of the Contractor.

7. Subcontractor Payments:

Notwithstanding anything to the contrary, the Owner specifically acknowledges and agrees that the Construction Manager (Contractor) operates on a pay-when-paid basis with its subcontractors, and nothing contained herein or elsewhere shall be interpreted to require the Construction Manager and/or its Surety to remit any payment (including final payment) to subcontractors prior to the receipt of payment (including final) from the Owner.

THE FOLLOWING CLARIFICATIONS AND QUALIFICATIONS ARE TO BE MADE A PART OF OUR GMP.

GENERAL

1. The Estimate is based on the plans, specifications and addenda 1 through 4, issued by Wannemacher Jensen Architects, Inc., St. Petersburg, FL. See attached enumeration of documents for a full listing of documents.
2. We have also included cost savings options in this GMP. See attached Value Engineering Suggestions print date of 5/5/2015.
3. Utility tap and or impact fees are not included.
4. Building Permit fees are not included.
5. Street Closure fees are not included.
6. Allowances are listed at the end of this document.

DIVISION 2 – EXISTING CONDITIONS

1. Removal of hazardous materials has been addressed in the previous GMP for de-mucking and arsenic laden soil remediation. We have not included any additional costs for hazardous material survey or remediation.

DIVISIONS 3 & 4 – CONCRETE & MASONRY

1. We have included single bond beams at tops of walls at storage building per typical details. These conditions should be reviewed by the Structural Engineer.
2. Details are needed for the following items: a. site signs shown on A1.0, details for footing and wall panels. b. parapet beam at concession building. c. benches at concession building shown on Aa8.1, details needed by Structural Engineer, d. concrete counter with columns at balcony elevation 7/A4.3, details needed for structural support.
3. For alternate using polished concrete in lieu of tile at common areas a detail will need to be worked out for the stair treads, reference details 5,6,7/A7.2.

DIVISION 5 – STEEL

1. The deflection requirement for the last 3 gymnasium roof joists will be based upon L/360. This supersedes notes 13, 14 Sheet S0.2 under 5210 Steel Joists.

DIVISION 6 – CARPENTRY

1. Acrylic boxes for flyers at reception desk assumed by Owner, see detail 1/A4.4.
2. Cash drawer at reception desk assumed by Owner, see 3/A4.4.
3. We've included an allowance for closet shelves referenced by note PL-59 sheet A2.1.
4. Menu Board at concession assumed by Owner, see 2/A4.5.

5. Laminate colors will need to be selected, colors are indicated in finish legend but not indicated on cabinet elevations in most cases.

DIVISION 7 – THERMAL & MOISTURE PROTECTION

1. The roofing at the shelter buildings has been included using EverGuard TPO, EverGuard TPO Batten Seam Profile and associated insulation per NOA 14-0128.01. The Batten Seam Profile has been deleted in our list of VE items. Please note this assembly attaches directly to metal roof deck and does not include plywood as indicated on the drawings. This VE pricing also includes TPO coated 24 gauge galvanized edge metal with kynar finish in lieu of Stainless Steel specified (see item 2 below).
2. We have included aluminum pre finished coping per the notes on plan sheet A2.10 on the Rec Building and all other buildings except the shelters. This varies from the spec 076200 which lists stainless steel.

DIVISION 8 – DOORS AND WINDOWS

1. Wood door veneers are figured as Red Oak. Spec 081416 lists both Red Oak and White Birch.
2. Exterior door hardware will comply with NOA for openings. There may be some discrepancies between the products used in the NOA and those listed in the hardware schedule.
3. Exterior openings Type A,B,C,D,H,I,K,L,N,O are all figured in curtain wall (not storefront as per details) because of height & NOA.

DIVISION 9 – FINISHES

1. Polished concrete option for VE includes up to a grade 2 grind, then polish to a high gloss, grey color. Approximately \$1/SF extra for a color. Additional color and patterns are additional cost. See VE Listing division 9 item 6.
2. We have not included cost for moisture vapor barrier beneath vinyl tile on slab on grade. Moisture Vapor barrier only needed if moisture pressure exceeds manufacturers acceptable levels. Moisture testing of slab with test packs is included.
3. Waterproofing membrane beneath tile occurs only at 2nd floor restroom locations. We are using Laticrete Hydroban or similar at these locations. Cut sheet has been provided.
4. Shower pan membrane will be PVC shower liner.
5. We are including R-11 sound attenuation batts at interior walls noted for acoustical batt insulation. We could not find value or thickness called out in plans or specifications. Architect to confirm.

DIVISION 10 – SPECIALTIES

1. We have allowed \$7,500 total for 5 exterior bulletin board signs.
2. We have allowed \$12,038 for 14 Park Rules Signs.
3. We have allowed \$1,200 for 8 fuel efficient vehicle signs.

DIVISION 11 – EQUIPMENT

1. We have included Folding & Portable Stage by Wenger Corp. One small discrepancy to the specifications is that their stair rails are not detachable.
2. We have included cost to provide a pool table and ping pong table with needed balls, cues, nets, paddles and balls at an allowance of \$4,500.

DIVISION 14 – CONVEYING SYSTEMS

1. We have included costs for a 3,500 lb. elevator, based upon the platform size shown on the drawings. The specifications state 2,500 lb. capacity. The original specifications call for a machine room-less elevator. We have included reduced cost for a hole-less hydraulic elevator in our Value Engineering Suggestions list.

DIVISION 22 - PLUMBING

1. We have included drains shown on A2.11 which are not shown on the plumbing drawings. We have included drains as TD-1 drains.

DIVISION 26 – ELECTRICAL

1. We have included at the Owner's and Architects request an allowance for site cabling and raceway for CCTV, WiFi and also cabling for sound distribution at the event lawn, per sketches provided by WJA. This cost is included as an allowance of \$107,000. This work was not shown in the contract documents.
2. We have included cable and raceway for AV System, Access Control, & Intrusion Detection, and Video Surveillance systems. Equipment and programming for these systems are provided by the Owner.

DIVISION 32 – EXTERIOR IMPROVEMENTS

1. For the decorative perimeter fencing we are using a shop fabricated fence to match the appearance of the Echelon Majestic fence noted on the plans. The fence will be a welded system with a powder coated finish, fabricated and installed by Hernandez Ornamental Inc. Miami, FL, or similar.
2. We have included all 10' high fencing with windscreen at the outer perimeter of the tennis courts, with 10' high fence and windscreen for 20' at ends between courts. Sheet L102 indicates 4' high fence at some of the outer perimeter of the tennis courts.
3. We have used Greenfields, Slidemax XP50 synthetic turf as the basis of our GMP. Their system includes all drainage pipe and tiles, perimeter curbing, and striping and decals as noted in plans. This system includes 2.5 lbs of sand per sf, and 3 lbs of ambient rubber per sf as fill in the turf layer. Greenfields provides an 8 yr. synthetic turf warranty. . The

Landscape drawings mention "Revolution" as the turf. We have quotes from Field Turf, Revolution which would be an additional \$78,261. Field Turf also quoted their XM657 turf, which is similar to Greenfields, and would be an add of \$33,297 to our GMP. We have previously sent a bid tab indicating other bids received which would be optional and price would be adjusted accordingly to our GMP based upon the difference to the selected vs. Greenfields

4. We have included the boardwalk as a system from York Bridge, all inclusive. Note that this system does not include Resysta decking and rail uprights but includes PT lumber with York Bridges warranty for 25 years, and their treatment protective coating system which they warrant for 3 years. The boardwalk is one of the items to be deleted to get into the Owners budget.
5. We have included shade sails at playground equipment by Shade Systems. However this is an item which is on the list for cost savings at a target amount of savings in combination with playground equipment. Kimley Horn and Wannemacher Jensen Architects to work with Rep Services (Playground equipment and surfaces, and shade sails) to arrive at cost savings target or \$75,412 savings for these items from the GMP value of \$586,378. This does not include the play area south of the soccer fields which is also being deleted in cost saving reductions.

EXHIBIT D – Construction Schedule

Subject to the ASSUMPTIONS AND CLARIFICATIONS contained herein, the anticipated construction period shall be **THREE HUNDRED SIXTY-FIVE (365)** calendar days to achieve Substantial Completion, after receipt, by Biltmore Construction Co., Inc., of all of the following requirements:

- Execution of the Guaranteed Maximum Price Amendment of the Agreement Between Owner and Biltmore Construction Co., Inc.
- Receipt of the Written Notice To Proceed.
- Receipt of all required Permits. (City of Doral Building Department, DEP, Water, Sewer, Health Dept.)

Final Completion shall be within **FORTY-FIVE (45)** calendar days following the Date of Substantial Completion of the Work.

A more detailed CPM Project Schedule will be provided in accordance with the requirements of the Agreement Between Owner and Biltmore Construction Co., Inc.

EXHIBIT E – Additive Alternate Prices

DESCRIPTION	AMOUNT
Provide high efficiency air cooled chiller as per original specifications in lieu of standard efficiency air cooled chiller noted in the Value Engineering Suggestions.	\$6,540
Provide 5 tennis courts as per original design in lieu of reducing project to 4 tennis courts.	\$51,932
Provide larger exit balcony and saw tooth building outline at west side of Recreation Building as per original design in lieu of revision to smaller exit balcony and squared of west side of building included in the Value Engineering Suggestions.	\$99,502
<i>Add Back Bandshell deleted in cost savings. Includes fees & insurance</i>	<i>\$258,352</i>
<i>Add Back Planter Walls at West Side of Site deleted in cost savings, includes fees & insurance.</i>	<i>\$19,620</i>

NOTE: Election to accept any or all of the above alternates must be made no later than N/A () days from the date of the Notice to Proceed in order to not affect price or schedule.


EXHIBIT F – Unit Prices

DESCRIPTION	UNIT PRICE
Not Applicable	\$ /
	\$ /
	\$ /
	\$ /
	\$ /
	\$ /
	\$ /
	\$ /
	\$ /
	\$ /
	\$ /

PROPOSAL TERM

This GMP Proposal must be accepted in writing by the Owner on or before June 1, 2015. After said date, this GMP Proposal shall be null and void, absent the express written acceptance by Biltmore Construction Co., Inc.

BILTMORE CONSTRUCTION CO., INC.

By:  _____
Signature

Date: May, 26, 2015

Name: Travis Parker
Print Name

Title: Vice President

Membrane Type: TPO

Deck Type 2I: Steel, Insulated

Deck Description: 22 gauge, thick steel deck is secured to 0.25 in. thick steel structural supports spaced at 72 in. o.c. with Teks 5 fasteners spaced 6 in. o.c. The deck side laps fastened 24 in. o.c. with Stitch Teks 1 fasteners.

System Type C(3): Membrane adhered to mechanically fastened insulation.

All General and System Limitations apply. Roof accessories not listed in Table 1 of this NOA are not approved and shall not be installed unless said accessories demonstrate compliance with prescriptive Florida Building Code requirements and are field fabricated utilizing the approved membranes listed in Table 1.

Thermal Barrier: Minimum 1/4" thick DensDeck® Roof Board, DensDeck® Prime Roof Board, (Optional) DensDeck® DuraGuard Roof Board, Securock® Gypsum-Fiber Roof Board or 3/4" EnergyGuard™ Perlite Roof Insulation loose laid on steel deck.

Vapor Retarder: Weather Watch® XT, UnderRoof™ 2 or UnderRoof™ HT is self-adhered to the (Optional) thermal barrier (excluding EnergyGuard Perlite Roof Insulation).

One or more layers of the following insulations.

Base Insulation Layer	Insulation Fasteners (Table 3)	Fastener Density/ft ²
EnergyGuard™ Polyiso Insulation, EnergyGuard™ RA Polyiso Insulation, EnergyGuard™ RH PolyIso Insulation, EnergyGuard™ RN Polyiso Insulation Minimum 1.5" thick	N/A	N/A
Top Insulation Layer	Insulation Fasteners (Table 3)	Fastener Density/ft ²
Securock® Gypsum-Fiber Roof Board Minimum 1/4" thick	1, 9	1:1.6 ft ²

Note: Base insulation is loose laid. Top layer of insulation is fastened through the base layer, the optional vapor retarder and thermal barrier (when present) into the steel deck; see top insulation layer for fasteners and density. Insulation panels listed are minimum sizes and dimensions; if larger panels are used, the number of fasteners shall be increased maintaining the same fastener density. Please refer to Roofing Application Standard RAS 117 for insulation attachment.

Membrane: EverGuard® TPO or EverGuard Extreme® TPO fully adhered in EverGuard® #1121 Bonding Adhesive applied at a total rate of 1.2 – 1.67 gal/sq. Per manufacturer's instructions, half of the adhesive is applied to the substrate and the other half is applied to the back surface of the roof cover. The 3" side laps are sealed with a 1.5" wide heat weld for automatic machine welding. Weld width shall be a minimum 2" width for hand welding. The top surface is broomed and is rolled with a water filled roller weighing a minimum of 250 lbs.



**Membrane:
(Cont.)**

OR

EverGuard® TPO or EverGuard Extreme® TPO adhered in EverGuard® Low VOC TPO Bonding Adhesive applied at a rate of 0.91 gal/sq. Per manufacturer's instructions, half of the adhesive is applied to the substrate and the other half is applied to the back surface of the roof cover. The 3" side laps are sealed with a 1.5" wide heat weld for automatic machine welding. Weld width shall be a minimum 2" width for hand welding. The top surface is broomed and is rolled with a water filled roller weighing a minimum of 250 lbs.

OR

EverGuard® TPO or EverGuard Extreme® TPO fully adhered in EverGuard® WB 181 Bonding Adhesive applied at a total rate of 0.84 gal./sq. Per manufacturer's instructions, one quarter of the adhesive is applied to the back of the roof cover and three quarter of the adhesive is applied to the substrate. The side laps are heat welded with a 1.5" wide heat weld for automatic machine welding. Weld width shall be a minimum 2" width for hand welding. The top surface is broomed and is rolled with a water filled roller weighing a minimum of 250 lbs.

**Surfacing:
(Optional)**

Chosen components must be applied according to manufacturer's application instructions. Any coating, listed below, used as a surfacing, must be listed within a current NOA.

1. EverGuard® TPO Batten Seam Profile or EverGuard® Self-Adhering Standing Seam Profile installed in accordance with manufacturer's specifications and applicable Building Codes.
2. ~~Topcoat® Elastomeric Roofing Membrane, Topcoat® MB Plus (to be used as a primer with~~ Topcoat® Elastomeric Roofing Membrane) or Topcoat® Surface Seal SB applied at 1 to 1.5 gal./sq.

Maximum Design

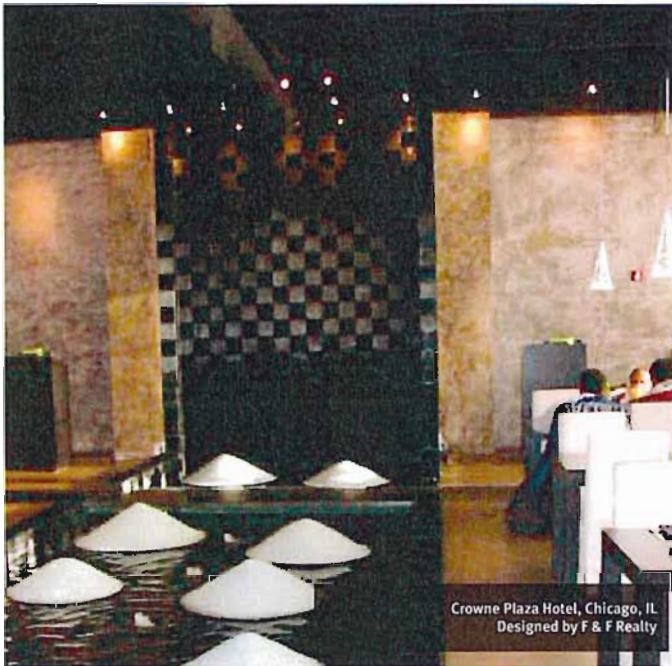
Pressure: -52.5 psf; (See General limitation #7)





Hydro Ban™

DS-663.0-0608



1. PRODUCT NAME

LATICRETE® Hydro Ban™

2. MANUFACTURER

LATICRETE International, Inc.
1 LATICRETE Park North
Bethany, CT 06524-3423 USA

Telephone: +1.203.393.0010, ext. 235
Toll Free: 1.800.243.4788, ext. 235
Fax: +1.203.393.1684
Internet: www.laticrete.com

3. PRODUCT DESCRIPTION

LATICRETE Hydro Ban is a thin, load bearing waterproofing/crack isolation membrane that **DOES NOT** require the use of fabric in the field, coves or corners. LATICRETE Hydro Ban is a single component self curing liquid rubber polymer that forms a flexible, seamless waterproofing membrane. LATICRETE Hydro Ban bonds directly to a wide variety of substrates.

Uses

- Interior and exterior.
- Swimming pools, fountains and water features.
- Shower pans, stalls and tub surrounds.
- Industrial, commercial and residential bathrooms and laundries.
- Spas and hot tubs.
- Kitchens and food processing areas.

- Terraces and balconies over unoccupied spaces.
- Countertops and facades.
- Steam rooms (when used in conjunction with a vapor barrier).

Advantages

- Does not require the use of fabric.*
- Allows for flood testing in 24 hours.**
- Bonds directly to metal and PVC plumbing fixtures only.
- Thin; only 0.020–0.030" (0.5–0.8 mm) thick when cured.
- Changes in color from a light sage to an olive green when cured.
- Anti-fracture protection of up to 1/8" (3 mm) over shrinkage and other non-structural cracks.
- "Extra Heavy Service" rating per TCNA performance levels (RE: ASTM C627 Robinson Floor Test).
- Exceeds ANSI A118.10 and A118.12.
- IAPMO approved containing Microban® antimicrobial product protection.
- Fast curing; allows foot traffic in 4–6 hours @ 70°F (21°C), 50% RH.
- Lighter color for ease of inspection.
- Safe—no solvents and non-flammable.
- Install tile, brick and stone directly onto membrane.

* For gaps 1/8" (3 mm) or less see DS 663.5 for complete instructions

** When cured 70°F (21°C) or higher at 50% RH lower temperature at higher RH will require long cure times.

Suitable Substrates

- Concrete
- Concrete & brick masonry
- Cement mortar beds
- Cement plaster
- Gypsum wallboard*
- Exterior glue plywood*
- Ceramic tile & stone**
- Cement terrazzo**
- Cement backer board***

* Interior applications only.

** If skim coated with a LATICRETE® Latex Thin-Set Mortar.

*** Consult cement backer board manufacturer for specific installation recommendations and to verify acceptability for exterior use.

Packaging

Commercial Unit: 5 gal (18.9 l) pail liquid (36 commercial units/pallet)

Full Unit: 2 gal (7.6 l) pail liquid (80 full units/pallet)

Mini Unit: 4 x 1 gal (3.8 l) pails of liquid packed in a carton (30 cartons/pallet)

Approximate Coverage

Commercial Unit: 250 ft² (23.2 m²)

Full Unit: 100 ft² (9.3 m²)

Mini Unit: 50 ft² (4.6 m²)

Shelf Life

Factory sealed containers of this product are guaranteed to be of first quality for two (2) years* if stored at temperatures >32°F (0°C) and <110°F (43°C).

* High humidity will reduce the shelf life of bagged product.

Limitations

- **DO NOT** bond to particle board, luan, Masonite® or hardwood surfaces.
- Adhesives/mastics, mortars and grouts for ceramic tile, pavers, brick and stone are not replacements for waterproofing membranes. When a waterproofing membrane is required, use LATICRETE® Hydro Ban™.
- **Note:** Surfaces must be structurally sound, stable and rigid enough to support ceramic/stone tile, thin brick and similar finishes. Substrate deflection under all live, dead and impact loads, including concentrated loads, must not exceed L/360 for thin bed ceramic tile/brick installations or L/480 for thin bed stone installations where L=span length.
- **DO NOT** use as a primary roofing membrane over occupied space.
- **DO NOT** use over dynamic expansion joints, structural cracks or cracks with vertical differential movement (See LATICRETE Hydro Ban Installation Instructions, DS 663.5, for complete instructions).
- **DO NOT** use over cracks >1/8" (3 mm) in width.
- **DO NOT** use as a vapor barrier (especially in steam rooms).
- **DO NOT** expose unprotected membrane to sun or weather for more than 30 days.
- **DO NOT** expose to negative hydrostatic pressure, excessive vapor transmission, rubber solvents or ketones.
- Must be covered with ceramic tile, stone, brick, concrete, screeds, terrazzo or other traffic-bearing finish. Use protection board for temporary cover.
- Obtain approval by local building code authority before using product in shower pan applications.
- **DO NOT** install directly over single layer wood floors, plywood tubs/showers/fountains or similar constructs.

Cautions

Consult MSDS for more safety information.

- Allow membrane to cure fully (typically 24 hours @ 70°F (21°C) and 50% RH before flood testing); flood test prior to applying tile or stone. Membrane must be <1/8" (3.2 mm) thick.
- Maximum amount of moisture in the concrete/mortar bed substrate should not exceed 5 lbs/1,000 ft² (2.26 kg/92.9 m²)/ 24 hrs per ASTM F-1869 or 75% relative humidity as measured with moisture probes.
- During cold weather, protect finished work from traffic until fully cured.
- For white and light-colored marbles, use a white LATICRETE Latex Portland Cement Thin Set Mortar.
- For green and moisture sensitive marble, agglomerates and resin backed tile and stone use LATAPOXY® 300 Adhesive (refer to Data Sheet 633.0).

- Allow wet mortars/ plasters (deck mud consistency) to cure for 72 hours at 70° F (21° C) prior to installing LATICRETE Hydro Ban. Allow a minimum 72 hour cure at 70°F (21°C) prior to flood testing in these conditions.
- For temperatures between 45–69°F (7–21°C) allow 3 days prior to flood testing.
- Protect from exposure to traffic or water until fully cured.

4. TECHNICAL DATA

VOC/LEED Product Information



This product has been GREENGUARD Indoor Air Quality Certified® by the GREENGUARD Environmental Institute under the GREENGUARD Standard for Low Emitting Products in finished form.

Applicable Standard

ANSI A118.10 and A118.12

Physical Properties

Physical Property	Test Method	LATICRETE® Hydro Ban™
7-day Hydrostatic Test	ANSI A118.10	Pass
7-day Tensile Strength	ANSI A118.10	265–300 psi (1.8–2.0 MPa)
7-day Water Immersion	ANSI A118.10	95–120 psi (.7–.83 MPa)
7-day Shear Bond	ANSI A118.10	200–275 psi (1.4–1.9 MPa)
28-day Shear Strength	ANSI A118.10	214–343 psi (1.5–2.3 MPa)

Working Properties

LATICRETE Hydro Ban can be applied using a paint brush, roller or trowel. All areas must have two coats to ensure waterproofing capabilities. When using a paint roller, substrate will not show through LATICRETE Hydro Ban if coated with 0.020–0.030" (0.5–0.8 mm) of dried membrane. Color changes from a light sage to olive green when fully cured.

5. INSTALLATION

Surface Preparation

Surface temperature must be 45–90°F (7–32°C) during application and for 24 hours after installation. All substrates must be structurally sound, clean and free of dirt, oil, grease, paint, laitance, efflorescence, concrete sealers or curing compounds. Make rough or uneven concrete smooth to a wood float or better finish with a LATICRETE underlayment. Do not level with gypsum or asphalt based products. Maximum deviation in plane must not exceed 1/4" in 10 ft (6 mm in 3 m) with no more than 1/16" in 1 ft (1.5 mm in 0.3 m) variation between high spots. Dampen hot, dry surfaces and sweep off excess water—installation may be made on a damp surface. New concrete slabs shall be damp cured and a minimum of 14 days old before application.

1. Installer must verify that deflection under all live, dead and impact loads of interior plywood floors does not exceed industry standards of L/360 for ceramic tile and brick or L/480 for stone installations where L=span length.
2. Minimum construction for interior plywood floors.

SUBFLOOR: 5/8" (15 mm) thick exterior glue plywood, either plain with all sheet edges blocked or tongue and groove, over bridged joints spaced 16" (400 mm) o.c. maximum; fasten plywood 6" (150 mm) o.c. along sheet ends and 8" (200 mm) o.c. along intermediate supports with 8d ring-shank, coated or hot dip galvanized nails (or screws); allow 1/8" (3 mm) between sheet ends and 1/4" (6 mm) between sheets edges; all sheet ends must be supported by a framing member; glue sheets to joints with construction adhesive.

UNDERLAYMENT: 5/8" (15 mm) thick exterior glue plywood fastened 6" (150 mm) o.c. along sheet ends and 8" (200 mm) o.c. in the panel field (both directions) with 8d ring-shank, coated or hot dip galvanized nails (or screws); allow 1/8" (3 mm) to 1/4" (6 mm) between sheets and 1/4" (6 mm) between sheet edges and any abutting surfaces; offset underlayment joints from joints in subfloor and stagger joints between sheet ends; glue underlayment to subfloor with construction adhesive. Refer to Technical Data Sheet 152 "Bonding Ceramic Tile, Stone or Brick Over Wood Floors" for complete details.

Pre-Treat Cracks & Joints

Fill all substrate cracks, cold joints, and control joints to a smooth finish using a LATICRETE® Latex Fortified Thin-Set. Alternatively, a liberal coat^{^^} of LATICRETE Hydro Ban[™] applied with a paint brush or trowel may be used to fill in non structural joints and cracks. Apply a liberal coat^{^^} of LATICRETE Hydro Ban approximately 8" (200 mm) wide over substrate cracks, cold joints, and control joints using a paint brush or roller (heavy napped roller cover). LATICRETE 6" (150 mm) reinforcing fabric can be used to pretreat cracks, joints, curves, corners, drains and penetrations with LATICRETE® Hydro Ban[™].

Pre-Treat Coves and Floor/Wall Transitions

Fill all substrate coves and floor/wall transitions to a smooth finish and changes in plane using a LATICRETE latex fortified thin-set mortar. Alternatively, a liberal coat^{^^} of LATICRETE Hydro Ban applied with a paint brush or trowel may be used to fill in cove joints and floor/wall transitions <1/8" (3 mm). Apply a liberal coat^{^^} of LATICRETE Hydro Ban approximately 8" (200 mm) wide over substrate coves and floor/wall transitions using a paint brush or roller (heavy napped roller cover).

Pre-Treat Drains

Drains must be of the clamping ring type, with weepers and as per ASME A112.6.3. Apply a liberal coat^{^^} of LATICRETE Hydro Ban Waterproofing Membrane liquid around and over the bottom half of drain clamping ring. Cover with a second coat^{^^} of LATICRETE Hydro Ban. When dry, apply a LATICRETE Latasil[™] bead where the LATICRETE Hydro Ban meets the drain throat. Install top half of drain clamping ring.

Pre-Treat Penetrations

Allow for a minimum 1/8" (3 mm) space between drains, pipes, lights or other penetrations and surrounding ceramic tile, stone or brick. Pack any gaps around pipes, lights or other penetrations with a LATICRETE Latex fortified thin-set mortar. Apply a liberal coat^{^^} of LATICRETE Hydro Ban liquid around penetration opening. Cover with a second coat^{^^} of LATICRETE Hydro Ban. Bring LATICRETE Hydro Ban up to level of tile or stone. When dry, seal flashing with LATICRETE Latasil.

Main Application

Allow any pre-treated areas to dry to the touch. Apply a liberal coat^{^^} of LATICRETE Hydro Ban with brush or roller over substrate including pre-treated areas. Apply another liberal coat^{^^} of LATICRETE Hydro Ban over the first coat of LATICRETE Hydro Ban. Let topcoat dry to the touch, approximately 1–3 hours at 70°F (21°C) and 50% RH. When last coat has dried to the touch, inspect final surface for pinholes, voids, thin spots or other defects. LATICRETE Hydro Ban will dry to an olive green color when fully cured. Use additional LATICRETE Hydro Ban to seal defects.

Expansion Joints

See LATICRETE Hydro Ban Installation Instructions 663.5.

Note: Apply a liberal coat of LATICRETE Hydro Ban, approximately 8" (200 mm) wide over the areas. Then embed and loop the 6" (150 mm) wide LATICRETE Waterproofing Membrane Reinforcing

Fabric and allow to bleed through. Then top coat with a second coat of LATICRETE Hydro Ban.

Protection

Provide protection for newly installed membrane, even if covered with a thin bed ceramic tile, stone or brick installation, against exposure to rain or other water for a minimum of 24 hours at 70°F (21°C) and 50% RH.

Flood Testing

Allow membrane to cure fully before flood testing, typically 24 hours at 70°F (21°C) and 50% RH. Cold and/or wet conditions will require a longer curing time. For temperatures 45–69°F (7–21°C) allow 3 days prior to flood testing.

Installing Finishes

Once LATICRETE Hydro Ban has dried to the touch, ceramic tile, stone or brick may be installed by the thin bed method with a LATICRETE Latex Thin-Set Mortar. Allow LATICRETE Hydro Ban to cure 24 hours at 70°F (21°C) and 50% RH before covering with concrete, thick bed mortar, screeds, toppings, coatings, epoxy adhesives, terrazzo or moisture sensitive resilient or wood flooring. Do not use solvent-based adhesives directly on LATICRETE Hydro Ban.

^{^^} Dry coat thickness is 20–30 mils, 0.02"–0.03", (0.5–0.8 mm); consumption per coat is ~0.01 gal/ft² (~0.4 l/m²); coverage per coat is ~100 ft²/gal (~2.5 m²/l).

Drains & Penetrations

Use LATICRETE Latasil and foam backer rod to seal space between drain or penetration and finish. Do not use a grout or joint filler mortar.

Control Joints

Ceramic tile, stone and brick installations must include sealant-filled joints over any control joints in the substrate. However, the sealant-filled joints can be offset horizontally by as much as one tile width from the substrate control joint location to coincide with the grout joint pattern.

Expansion Joints

Ceramic tile, stone and brick installations must include expansion at coves, corners, other changes in substrate plane and over any expansion joints in the substrate. Expansion joints in ceramic tile, stone or brickwork are also required at perimeters, at restraining surfaces, at penetrations and at the intervals described in the Tile Council of North America, Inc. (TCNA) Handbook Installation Method EJ171. Use LATICRETE Latasil and backer rod.

Spray Application of LATICRETE Hydro Ban

Follow all installation and surface preparation requirements outlined in this document and DS 663.5 and TDS 410.

The sprayer being used for the application of LATICRETE Hydro Ban should be capable of producing a maximum of 3300 psi (22.8 MPa) with a flow rate of 0.95 to 1.6 GPM (3.6 to 6.0 LPM) using a 0.521 or a 0.631 reversible tip. Keep the unit filled with LATICRETE Hydro Ban to ensure continuous application of liquid. The hose length should not exceed 100' (30 m) in length and 3/8" (9 mm) in diameter.

Apply a continuous LATICRETE Hydro Ban film with an overlapping spray. The wet film has a sage green appearance and dries to a darker olive green color. When the first coat has dried to a uniform olive green color, approximately 45 to 90 minutes at 70°F (21°C), visually inspect the coating for any voids or pinholes. Fill any defects with additional material and apply the second coat at right angles to the first. The wet film thickness should be checked periodically using a wet film gauge. Each wet coat should be 0.015–0.022 inches (0.4–0.6 mm) thick. The combined dried coating should be 0.020–0.030 inches (0.5–0.8 mm) thick or 0.029–0.043 inches (0.7–0.11 mm) wet.

Check application thickness with a wet film gauge periodically as the LATICRETE® Hydro Ban™ is being dispensed to ensure that the appropriate thickness and coverage is achieved. Bounce back and overspray will consume more product. To achieve the required film thickness, the coating must be free from pinholes and air bubbles. Do not back roll the spray applied coating. Allow the LATICRETE Hydro Ban to cure in accord with the instructions in this document, DS 663.5 and TDS 410 prior to the installation of the tile or stone finish.

It is important to note that areas not scheduled to receive the LATICRETE Hydro Ban should be taped off and protected from any potential overspray. Expansion and movement joints should be honored and treated as outlined in this document, DS 663.5 and TDS 410.

Cleaning

While wet, LATICRETE Hydro Ban can be washed from tools with water.

6. AVAILABILITY AND COST

Availability

LATICRETE and LATAPOXY materials are available worldwide. For Distributor information, call:

Toll Free: 1.800.243.4788, ext. 235
Telephone: +1.203.393.0010

For on-line Distributor Information, visit LATICRETE at www.laticrete.com.

Cost

Contact a LATICRETE Distributor in your area.

7. WARRANTY

See 10. FILING SYSTEM.

DS 230.13: LATICRETE Product Warranty

A component of:

DS 230.12: LATICRETE 10 Year System Warranty

DS 230.14: LATICRETE 15 Year Residential Warranty

DS 700.12: LATICRETE Lifetime Residential Warranty

8. MAINTENANCE

LATICRETE and LATAPOXY grouts require routine cleaning with a neutral pH soap and water. All other LATICRETE and LATAPOXY materials require no maintenance but installation performance and durability may depend on properly maintaining products supplied by other manufacturers.



9. TECHNICAL SERVICES

Technical assistance

Information is available by calling the LATICRETE Technical Service Hotline (hours 8:00 AM to 5:30 PM EST):

Toll Free: 1.800.243.4788, ext. 235
Telephone: +1.203.393.0010, ext. 235
Fax: +1.203.393.1948

Technical and safety literature

To acquire technical and safety literature, please visit our website at www.laticrete.com.

10. FILING SYSTEM

Additional product information is available on our website at www.laticrete.com. The following is a list of related documents:

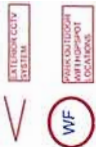
DS 230.13: LATICRETE Product Warranty
DS 230.12: LATICRETE 10 Year System Warranty
DS 230.14: LATICRETE 15 Year Residential Warranty
DS 700.12: LATICRETE Lifetime Residential Warranty
DS 297.0: LATICRETE 220 Marble & Granite Mortar
DS 6200.1: LATICRETE Latasil™
DS 633.0: LATAPOXY® 300 Adhesive
TDS 152: "Bonding Ceramic Tile, Stone or Brick Over Wood Floors"
TDS 410: Spraying LATICRETE Hydro Ban

LATICRETE International, Inc.
One LATICRETE Park North
Bethany, CT 06524-3423 USA
1.800.243.4788
+1.203.393.0010
www.laticrete.com

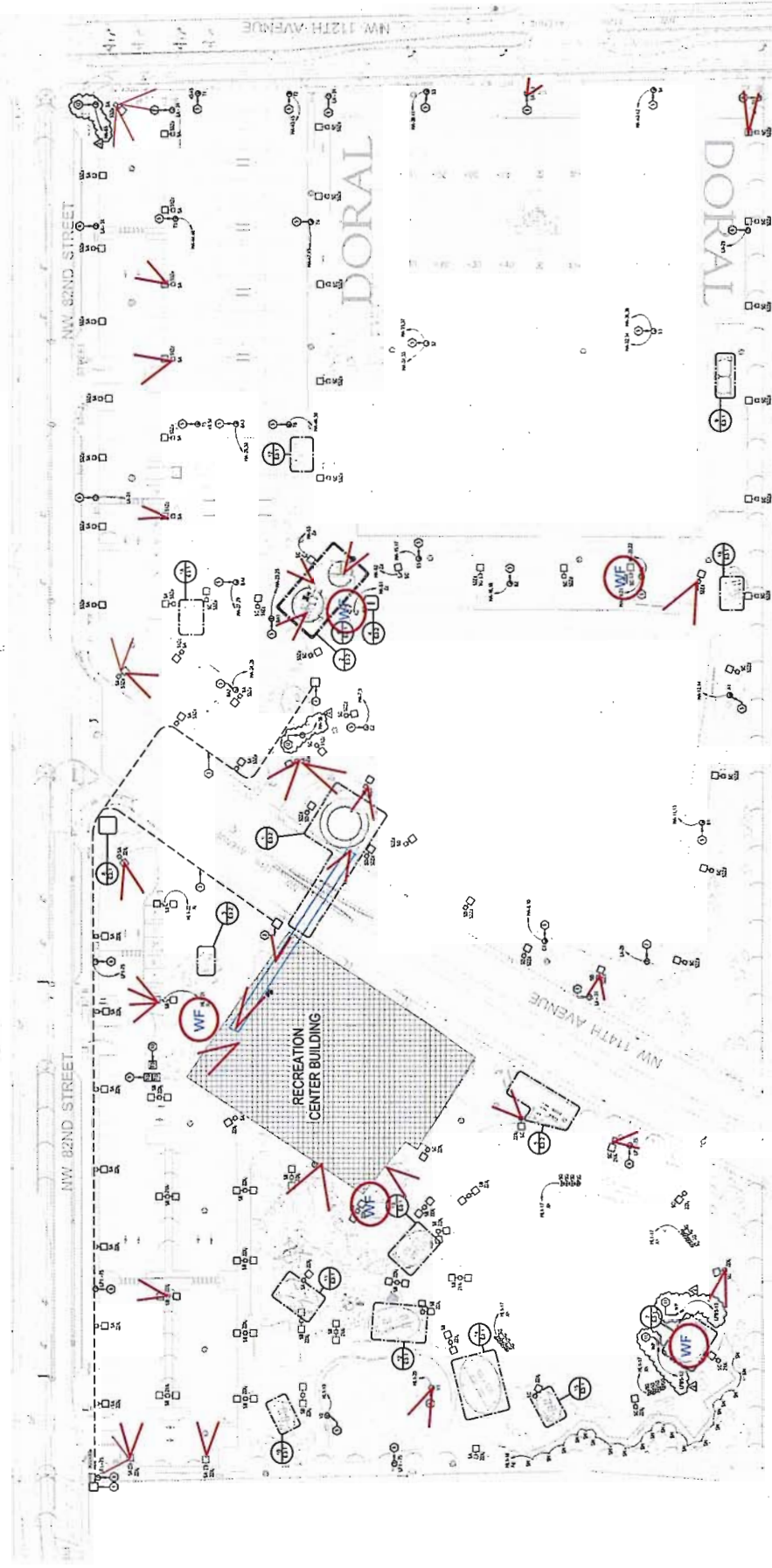
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GREENGUARD Indoor Air Quality Certified is a Registered Trademark of the GREENGUARD Environmental

DS-663.0-0608

SITE CCTV & WIFI LOCATIONS
 Ref GMP Pg 22 Div 26 item 1



EXTERIOR CCTV CAMERAS ARE LOCATED USING PROPOSED LIGHT POLES AND LIGHT MAST LOCATIONS. CAMERAS COVER PEDESTRIAN AND VEHICULAR ENTRANCES, PLAY FIELDS, PLAYGROUND, PARKING LOTS, BRIDGE AND BAND SHELL



ELECTRICAL KEY NOTES

1. PROVIDE ALL ELECTRICAL SYMBOLS AND NOTATIONS TO BE USED ON THIS PLAN. THE ELECTRICAL SYMBOLS AND NOTATIONS TO BE USED ON THIS PLAN SHALL BE AS SHOWN ON THE ELECTRICAL SYMBOLS AND NOTATIONS SHEET ATTACHED TO THIS PLAN. THE ELECTRICAL SYMBOLS AND NOTATIONS TO BE USED ON THIS PLAN SHALL BE AS SHOWN ON THE ELECTRICAL SYMBOLS AND NOTATIONS SHEET ATTACHED TO THIS PLAN. THE ELECTRICAL SYMBOLS AND NOTATIONS TO BE USED ON THIS PLAN SHALL BE AS SHOWN ON THE ELECTRICAL SYMBOLS AND NOTATIONS SHEET ATTACHED TO THIS PLAN.

GENERAL ELECTRICAL SITE NOTES:

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.



Michael J. Smith, P.E.
 Florida License # 17152

PROJECT NUMBER: 11111
 DATE: 08/14/11

NW 14th Avenue Park - Recreational Center
 Recreation Center Building
 City of Doral
 1100 NW 22nd Street, Coral Gables, FL 33134

PROJECT NUMBER	11111
DISTRIBUTION	1407
DATE	08/14/11
BY	MJS
CHECKED BY	MJS
DATE	08/14/11

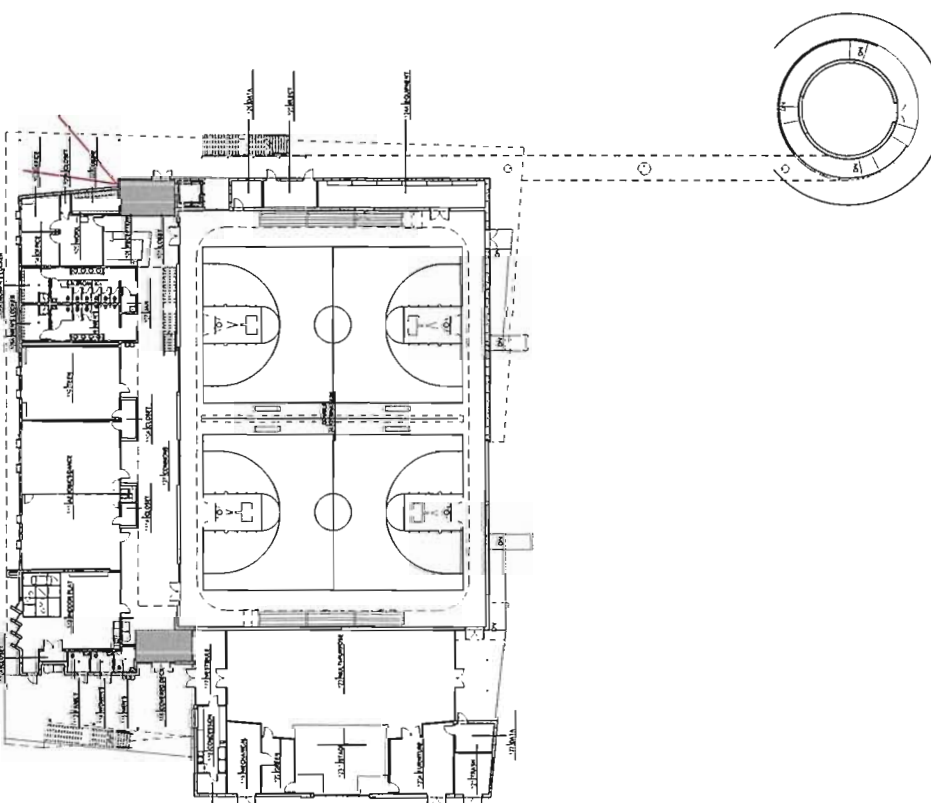
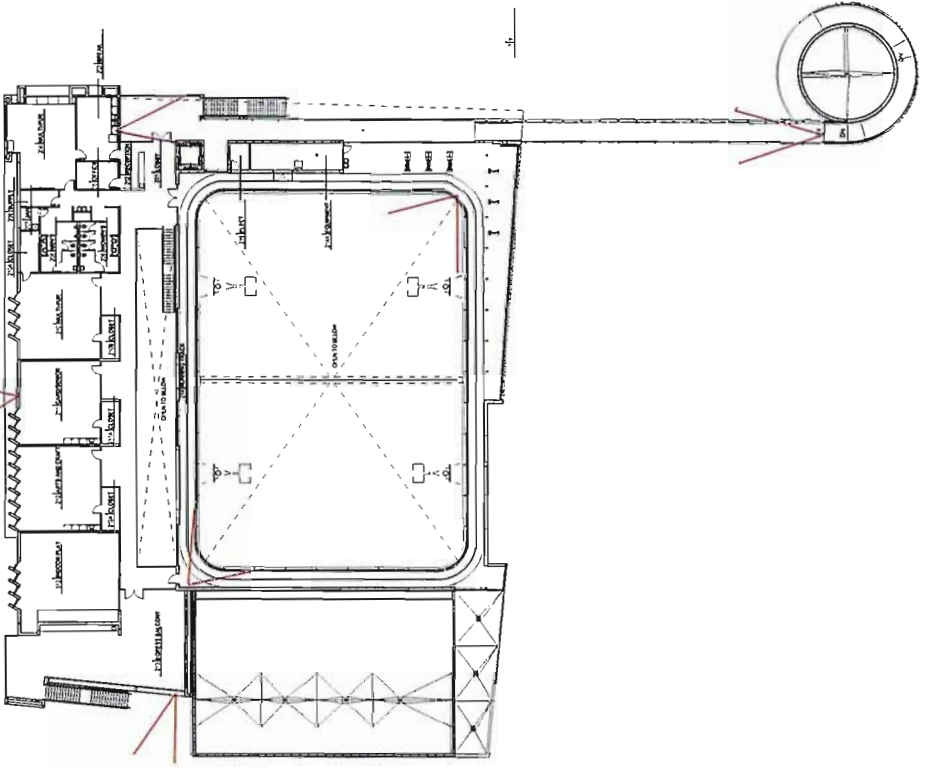
ELECTRICAL SITE PLAN
 E0.1



Ref GMP Pg 22 Div 26 Item 1



Wimmerich Jensen Architects, Inc.
25 Franklin Drive North
St. Paul, MN 55105
(773) 523-5566 or (773) 523-5475
FAX: (773) 523-5477
AA002277
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2 SECOND FLOOR - REC CENTER - PEDESTRIAN BRIDGE FLOOR PLAN FOR REFERENCE

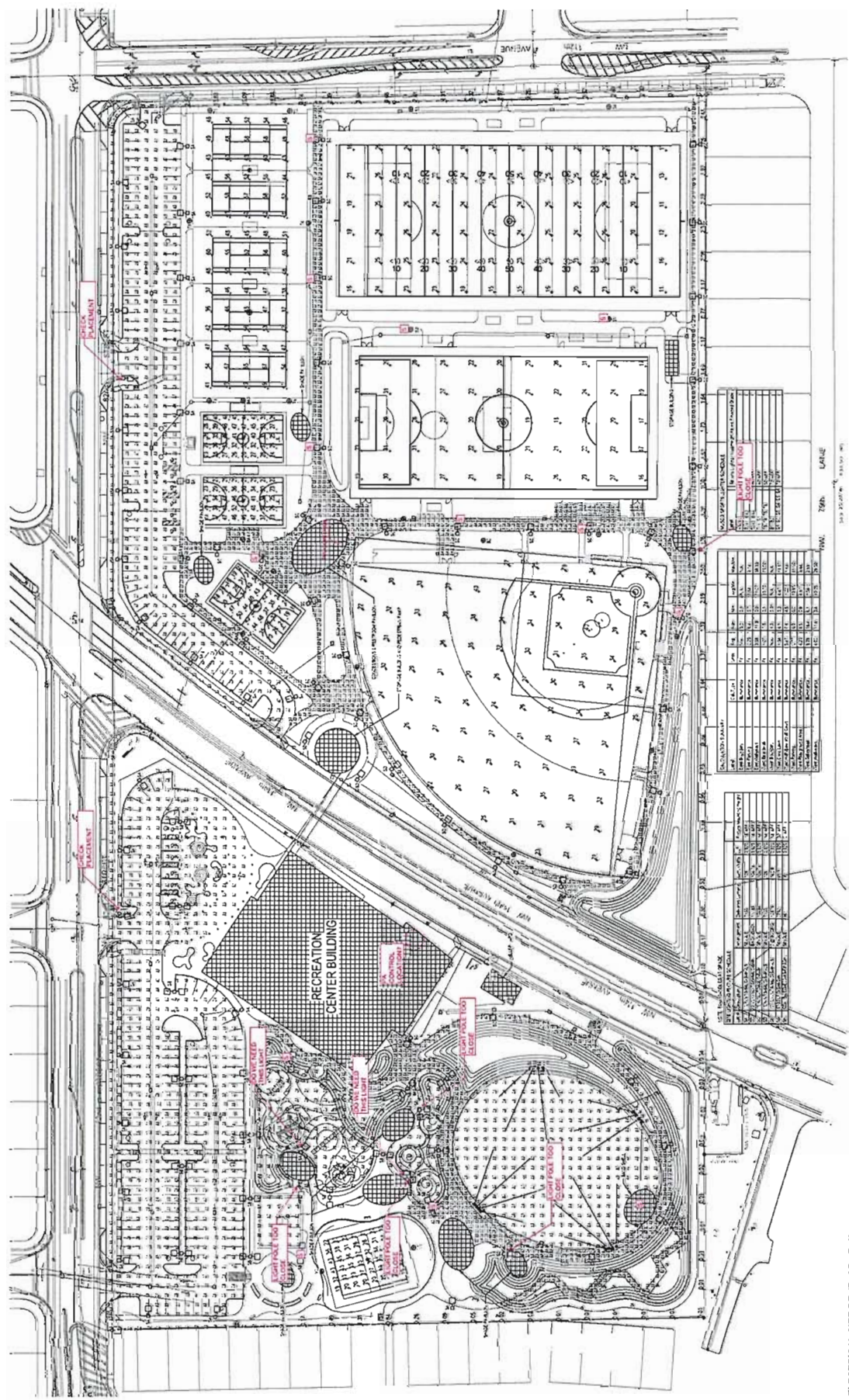
1 GROUND FLOOR - REC BUILDING - BRIDGE FLOOR PLAN FOR REFERENCE

NW 114th Avenue Park - Recreational Center
City of Doris
11409 NW 82nd Street, Doris, Florida 32118
Project No. 1407
DISTRIBUTION
DATE
SCALE
FLOOR PLAN - REC BUILDING - PEDESTRIAN BRIDGE
A2.0

Ref GMP Pg 22 Div 26 item 1

ELECTRICAL SITE DEVELOPMENT PLAN
 1:200 (MIN.) (TYPICAL) (SCALE)
 DATE: 11/20/2013
 PROJECT: NW 14th Avenue Park - Recreational Center
 CITY: DORTCH, MAINE
 DRAWING NO.: 1407

NORTH ARROW
 SCALE: 1/8" = 1'-0"



CONCRETE FOOTING

NO.	DESCRIPTION	AMOUNT	UNIT	TOTAL
1	CONCRETE FOOTING	100	LINEAL FEET	100
2	CONCRETE FOOTING	200	LINEAL FEET	200
3	CONCRETE FOOTING	300	LINEAL FEET	300
4	CONCRETE FOOTING	400	LINEAL FEET	400
5	CONCRETE FOOTING	500	LINEAL FEET	500
6	CONCRETE FOOTING	600	LINEAL FEET	600
7	CONCRETE FOOTING	700	LINEAL FEET	700
8	CONCRETE FOOTING	800	LINEAL FEET	800
9	CONCRETE FOOTING	900	LINEAL FEET	900
10	CONCRETE FOOTING	1000	LINEAL FEET	1000

CONCRETE FOUNDATION

NO.	DESCRIPTION	AMOUNT	UNIT	TOTAL
1	CONCRETE FOUNDATION	100	SQ. FT.	100
2	CONCRETE FOUNDATION	200	SQ. FT.	200
3	CONCRETE FOUNDATION	300	SQ. FT.	300
4	CONCRETE FOUNDATION	400	SQ. FT.	400
5	CONCRETE FOUNDATION	500	SQ. FT.	500
6	CONCRETE FOUNDATION	600	SQ. FT.	600
7	CONCRETE FOUNDATION	700	SQ. FT.	700
8	CONCRETE FOUNDATION	800	SQ. FT.	800
9	CONCRETE FOUNDATION	900	SQ. FT.	900
10	CONCRETE FOUNDATION	1000	SQ. FT.	1000

CONCRETE SLAB

NO.	DESCRIPTION	AMOUNT	UNIT	TOTAL
1	CONCRETE SLAB	100	SQ. FT.	100
2	CONCRETE SLAB	200	SQ. FT.	200
3	CONCRETE SLAB	300	SQ. FT.	300
4	CONCRETE SLAB	400	SQ. FT.	400
5	CONCRETE SLAB	500	SQ. FT.	500
6	CONCRETE SLAB	600	SQ. FT.	600
7	CONCRETE SLAB	700	SQ. FT.	700
8	CONCRETE SLAB	800	SQ. FT.	800
9	CONCRETE SLAB	900	SQ. FT.	900
10	CONCRETE SLAB	1000	SQ. FT.	1000

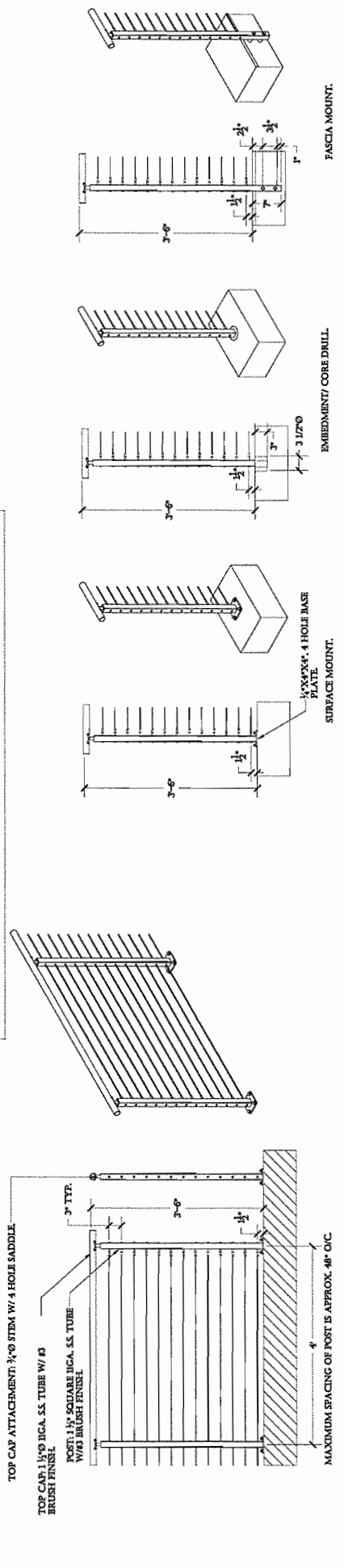
CONCRETE FOUNDATION
 CONCRETE SLAB
 CONCRETE FOOTING

CONCRETE FOUNDATION
 CONCRETE SLAB
 CONCRETE FOOTING

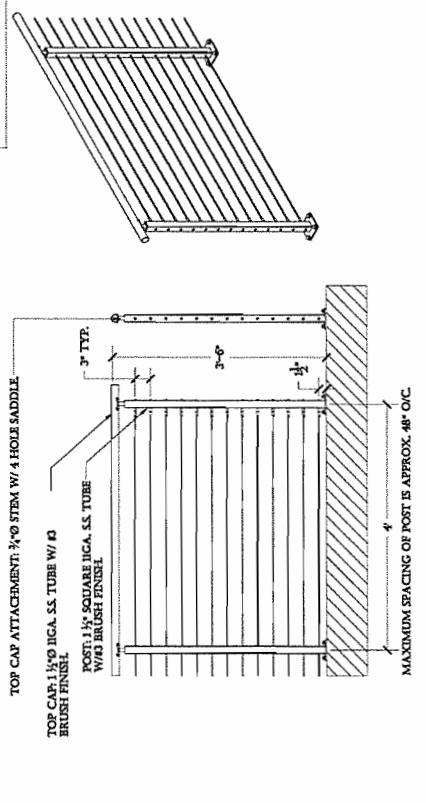
ELECTRICAL SITE DEVELOPMENT PLAN

Ref. VE item 5-1

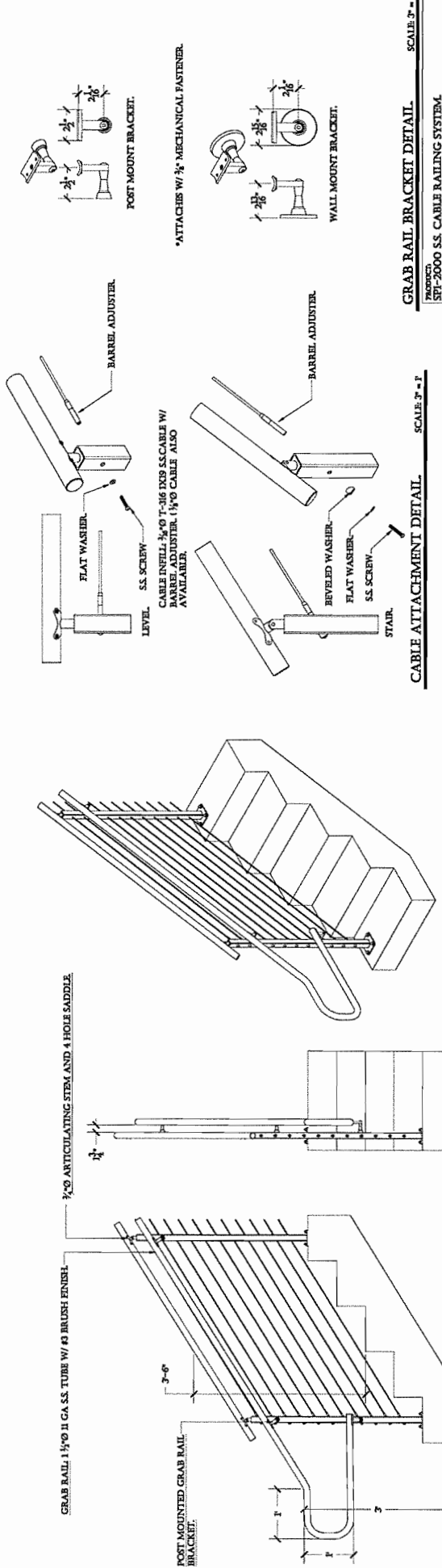
NOTE FOR INTERIOR APPLICATIONS AND NON CORROSIVE ENVIRONMENTS, T-304 SS IS RECOMMENDED. FOR EXTERIOR APPLICATIONS WITHIN 15 MILES OF THE COAST OR IN A CORROSIVE ENVIRONMENT, T-316 SS IS RECOMMENDED.



SPI-2000 LEVEL 42" GUARD RAILING. SCALE 1" = 1'



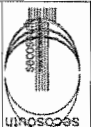
SPI-2000 42" STAIR GUARD RAILING. SCALE 1" = 1'

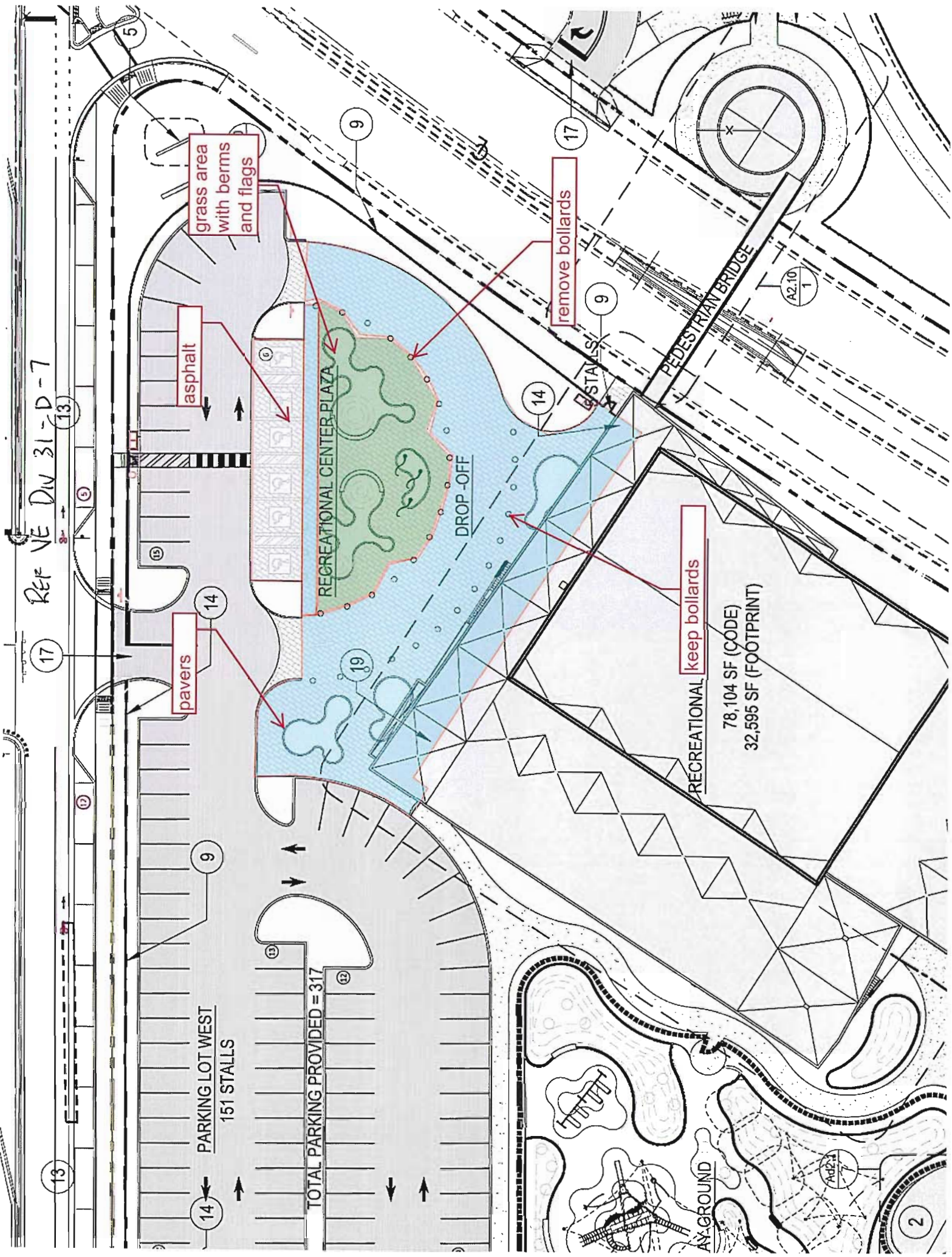


CABLE ATTACHMENT DETAIL. SCALE 3" = 1'

GRAB RAIL BRACKET DETAIL. SCALE 3" = 1'

DESIGNED BY: SPI-2000 S.S. CABLE RAILING SYSTEM. CONTROLLED BY: KIEHLER, C. DATE: 08-29-11. THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY AND IS NOT TO BE USED FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE WITHOUT THE WRITTEN PERMISSION OF SPI-2000 S.S. CABLE RAILING SYSTEM.





REF VE DN 31-D-7

grass area with berms and flags

asphalt

remove bollards

RECREATIONAL CENTER PLAZA

DROP-OFF

keep bollards

RECREATIONAL
78,104 SF (CODE)
32,595 SF (FOOTPRINT)

PARKING LOT WEST
151 STALLS

TOTAL PARKING PROVIDED = 317

AS-GROUND