

**RESOLUTION No. 23-186**

**A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR BOING US HOLDCO, INC., FOR THE PROPERTY LOCATED AT 1350 NW 87 AVENUE, DORAL, FLORIDA, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, Article III of Chapter 53 of the Land Development Code of the City of Doral ("City") establishes procedures for site plan review and approval by the Mayor and City Council; and

**WHEREAS**, Boing US Holdco, Inc., (the "Applicant") is seeking site plan approval for the property located at 1350 NW 87 Avenue, further identified by a portion of the Miami-Dade County Property Appraiser by Folio No. 35-3033-001-0170 (the "Property"), as legally described in Exhibit "A" (the "Project"); and

**WHEREAS**, City staff finds that the proposed site plan, attached hereto as "Exhibit B," complies with the requirements and standards of the City's Land Development Code and Comprehensive Plan; and

**WHEREAS**, a zoning workshop was held on April 6, 2023, during which the public was afforded an opportunity to examine the Project and provide feedback; and

**WHEREAS**, after notice of public hearing duly published and notifications of all property owners of record within 500-foot radius, a public hearing was held before the Mayor and City Council on October 18, 2023, during which all interested persons were afforded the opportunity to be heard, and due and proper consideration was given to the matter, including the recommendations contained in the City's Planning and Zoning Staff Report; and

**WHEREAS**, the City Council reviewed the site plan application, the written and oral recommendations of the Planning and Zoning Department, including the recommended conditions, and hereby finds competent substantial evidence to find the site plan is in compliance with the City's Comprehensive Plan and Land Development Regulations, and that the site plan maintains the basic intent and purpose of the zoning, subdivision or other land use regulations, which is to protect the general welfare of the public, and further finds that the site plan application should be granted, subject to the conditions described herein.

**NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:**

**Section 1. Recitals.** The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

**Section 2. Findings and Conclusions.** Based upon an analysis of the site plan application and standards for approval of a site plan under the City's Land Development Regulations, the City Council hereby finds and concludes that the Applicant's request for site plan, as more particularly set forth in "Exhibit B," is in compliance with the Comprehensive Plan and the Land Development Regulations of the City, and there is substantial competent evidence to support approval of the Application.

**Section 3. Approval.** The Mayor and City Council hereby approve the site plan for Boing US Holdco, Inc., for the property located at 1350 NW 87 Avenue, further identified by a portion of folio number 35-3033-001-0170, as legally described in Exhibit "A." A copy of the site plan is provided in "Exhibit B." The approval of the site plan application is subject to the following conditions, which conditions shall be binding on the

Applicant, property owners, operators, and all successors in interest and assigns of the

Property:

1. The Project shall be built in substantial compliance with the plans entitled "Take 5 Car Wash," prepared by Pennoni Associates Inc., dated stamped received April 24, 2023.
2. The Project shall be landscaped in accordance with the landscape plan, signed by Michael Jason Sheridan, PE, dated stamped received April 24, 2023, as amended, and included with the site plan submittal.
3. The Applicant must comply with Ordinance No. 2015-09 "Public Arts Program," as amended, at the time of building permit.
4. The Applicant must comply with Chapter 63, "Green Building Incentives," of the City's Land Development Code at the time of building permit.
5. The Applicant must comply with the City's Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City's Code.
6. The Applicant must provide the Building Department a certified drainage inspection report prior to the issuance of a certificate of occupancy.
7. The Applicant must comply with the City of Doral Public Works Department conditions, specifically ensuring that the queue from the proposed car wash does not extend to public right-of-way or block adjacent land use drive thru.
8. The Applicant must comply with all the City of Doral Public Works Department conditions prior to issuance of the building permits.
9. The Applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed, and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
10. If more than one (1) acre of land is disturbed during construction the Contractor/Applicant is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection

(FDEP), Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>.

Contractor/Applicant should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Applicant must apply for permit coverage at least two (2) days before construction begins.

11. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 "Noise Ordinance."
12. The Applicant must comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.
13. The Applicant must comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.
14. All applicable local, state and federal permits must be obtained before commencement of the development.
15. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
16. The Applicant must obtain a Certificate of Occupancy and a Certificate of Use from the City upon compliance with all terms and conditions. The Certificate of Occupancy and Certificate of Use shall be subject to cancellation upon violation of any of the conditions.
17. Failure by the city to timely enforce any of the above conditions does not constitute a waiver of the same and if the applicant, its successors, or assigns, does not perform such conditions within five (5) days after written notice, the city retains the right to stop construction, if necessary, until that condition is met. The City reserves the right to enforce these conditions by issuing a code compliance citation, revoking this resolution, and/or availing itself of any and all remedies available at law or in equity. By acting under this approval, the applicant hereby consents to all these terms and conditions.

**Section 4. Effective Date.** This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Vice Mayor Pineyro who moved its adoption. The motion was seconded by Councilmember Puig-Corve and upon being put to a vote, the vote was as follows:

Mayor Christi Fraga	Yes
Vice Mayor Rafael Pineyro	Yes
Councilwoman Digna Cabral	Yes
Councilwoman Maureen Porras	Not Present at Time of Vote
Councilman Oscar Puig-Corve	Yes

PASSED AND ADOPTED this 18 day of October, 2023.

  
CHRISTI FRAGA, MAYOR

ATTEST:  
  
CONNIE DIAZ, MMC  
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY  
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

  
VALERIE VICENTE, ESQ. for  
NABORS, GIBLIN & NICKERSON, P.A.  
CITY ATTORNEY

# EXHIBIT “A”

Legal Description

TO: City of Doral Planning and Zoning  
FROM: Jason Sheridan, PE  
DATE: October 19, 2022  
SUBJECT: Take 5 Car Wash Miami

Lots 7 and 8, Block 2, EXPRESSWAY INDUSTRIAL PARK, according to the Plat thereof as recorded in Plat Book 94, Page 44, of the Public Records of Miami-Dade County, Florida

# EXHIBIT “B”



**RECEIVED**  
By Stephanie Puglia at 10:43 am, Apr 24, 2023

# TAKE 5 CAR WASH MIAMI

## SITE PLAN

1350 NW 87TH AVE

MIAMI

MIAMI-DADE COUNTY, FL

PREPARED FOR:

OWNER/DEVELOPER

## DRIVEN BRANDS

440 SOUTH CHURCH STREET, SUITE 700

CHARLOTTE, NC 28202

**CONTACTS:**

LAZARO GUERRA  
**MIAMI DADE WATER & SEWER**  
3575 S LEJEUNE RD  
MIAMI, FL 33146  
PHONE: (786) 268-5273

EDGAR AGUILAR  
**FLORIDA POWER & LIGHT DADE**  
2 S BISCAYNE BLVD,  
MIAMI, FL 33131  
PHONE: (386) 586-6403

NETWORK RELATIONS  
**CENTURY LINK**  
1025 ELDORADO BLVD  
BROOMFIELD, CO 80021  
PHONE: (877) 366-8344

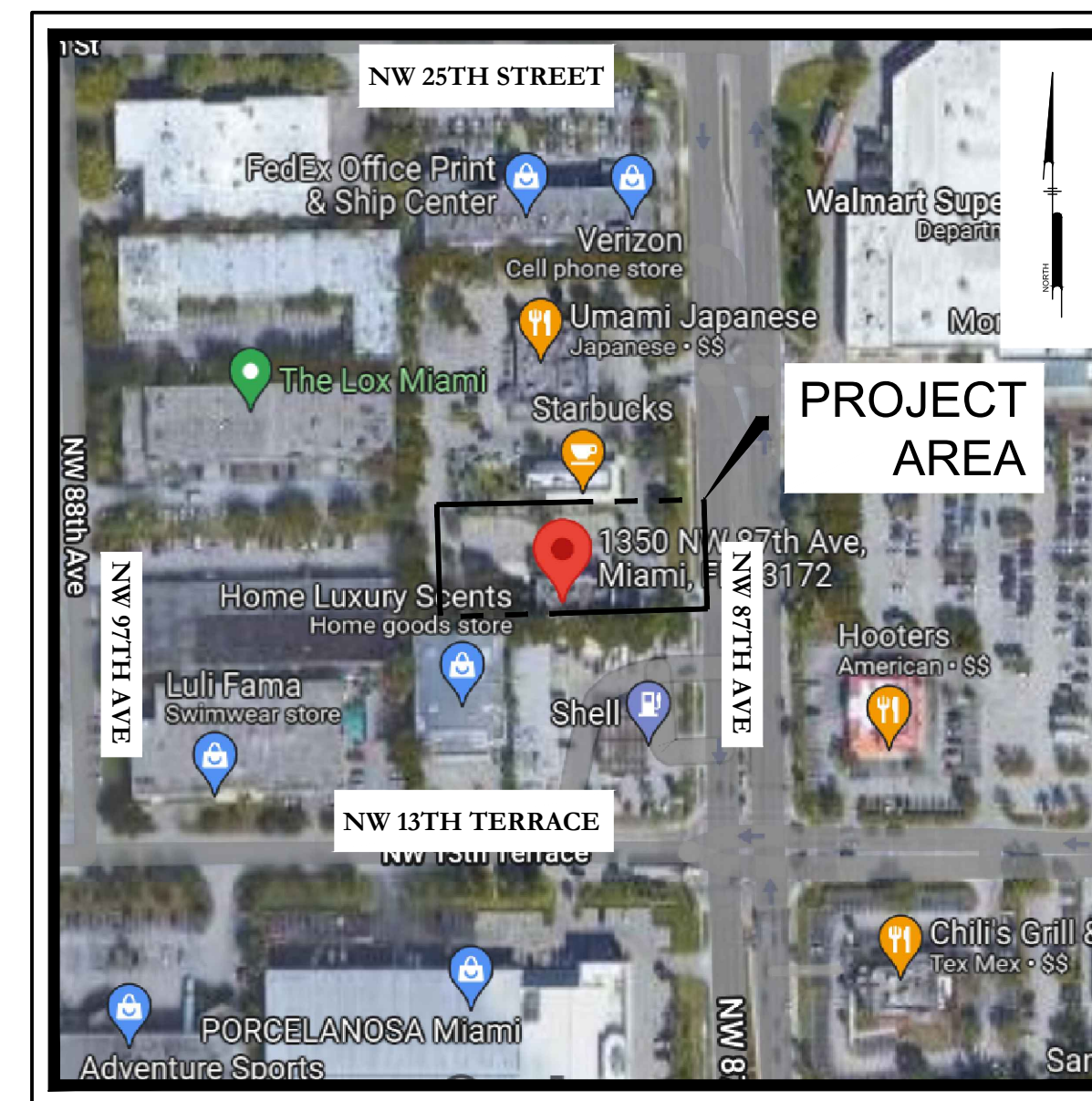
MICHAEL BOBB  
**FLORIDA CITY GAS**  
4045 NW 97TH AVE,  
DORAL, FL 33178  
PHONE: (561) 755-0172

**ENGINEER:**  
JASON SHERIDAN, P.E.  
**PENNONI**  
5755 RIO VISTA DRIVE  
CLEARWATER, FL 33760  
PHONE: (727) 325-1257

**SURVEYOR:**  
ROBERT F. DuBOIS, PSM  
**PENNONI**  
401 THIRD STREET SW,  
WINTER HAVEN, FL 33880  
PHONE: (863) 324-1112

**APPLICANT:**  
MATTHEW GILBERT  
**DRIVEN BRANDS**  
440 SOUTH CHURCH STREET, ST. 700  
CHARLOTTE, NC 28202  
EMAIL: MATTHEW.GILBERT@DRIVENBRANDS.COM

**ARCHITECT:**  
TIFFANY ROTH  
**ROGUE ARCHITECTS**  
513 MAIN STREET, ST. 200  
FORT WORTH, TX 76102  
PHONE: (817) 820-0433  
EMAIL: TIFFANY@ROGUEARCHITECTS.COM



**LOCATION MAP**  
Scale: 1" = 200'

PREPARED BY:

## PENNONI ASSOCIATES INC.



5755 Rio Vista Dr  
Clearwater, FL 33760  
T 727.451.9561  
COA #00007819

## SHEET INDEX

SHEET #	SHEET DESCRIPTION
CS0001	COVER SHEET
V-0301	ALTA/NSPS LAND TITLE SURVEY
CS0201	EXISTING CONDITIONS PLAN
CS0501	DEMOLITION & EROSION CONTROL PLAN
CS0502	EROSION CONTROL NOTES & DETAILS
CS1000	SITE PLAN
CS1200	CIRCULATION PLAN
CS1501	GRADING AND DRAINAGE PLAN
CS1701	UTILITY PLAN
CS2001	LANDSCAPE PLAN
CS2002	IRRIGATION PLAN
CS2501	LANDSCAPE DETAILS
CS6001	SITE DETAILS
CS6002	SITE DETAILS
CS6003	UTILITY DETAILS
CS6004	UTILITY DETAILS

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DATE	DESCRIPTION	DELTA
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XX-XX-XX		2 X
XX-XX-XX		3 X
XX-XX-XX		4 X
XX-XX-XX		5 X
XX-XX-XX		6 X

**TAKE 5 CAR WASH**  
 1350 NW 87TH AVENUE  
 MIAMI, FL

ENGINEER:



**PENNONI ASSOCIATES INC.**  
5755 Rio Vista Drive  
Clearwater, FL 33762  
Florida COA: 7819

STAMPS



COVER SHEET

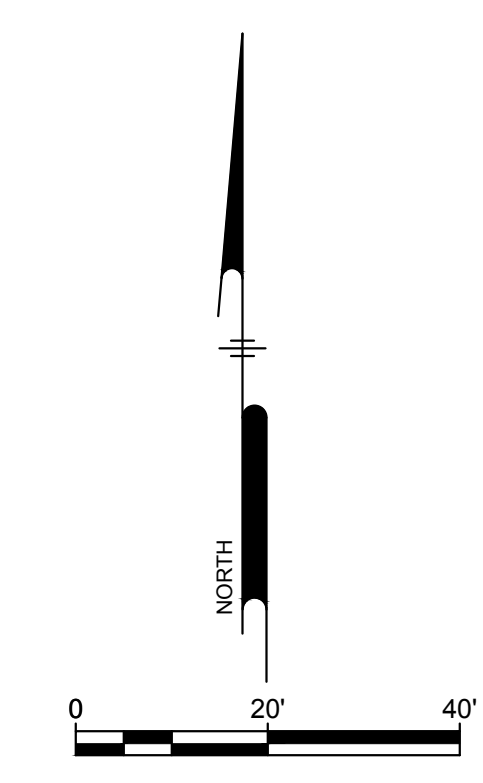
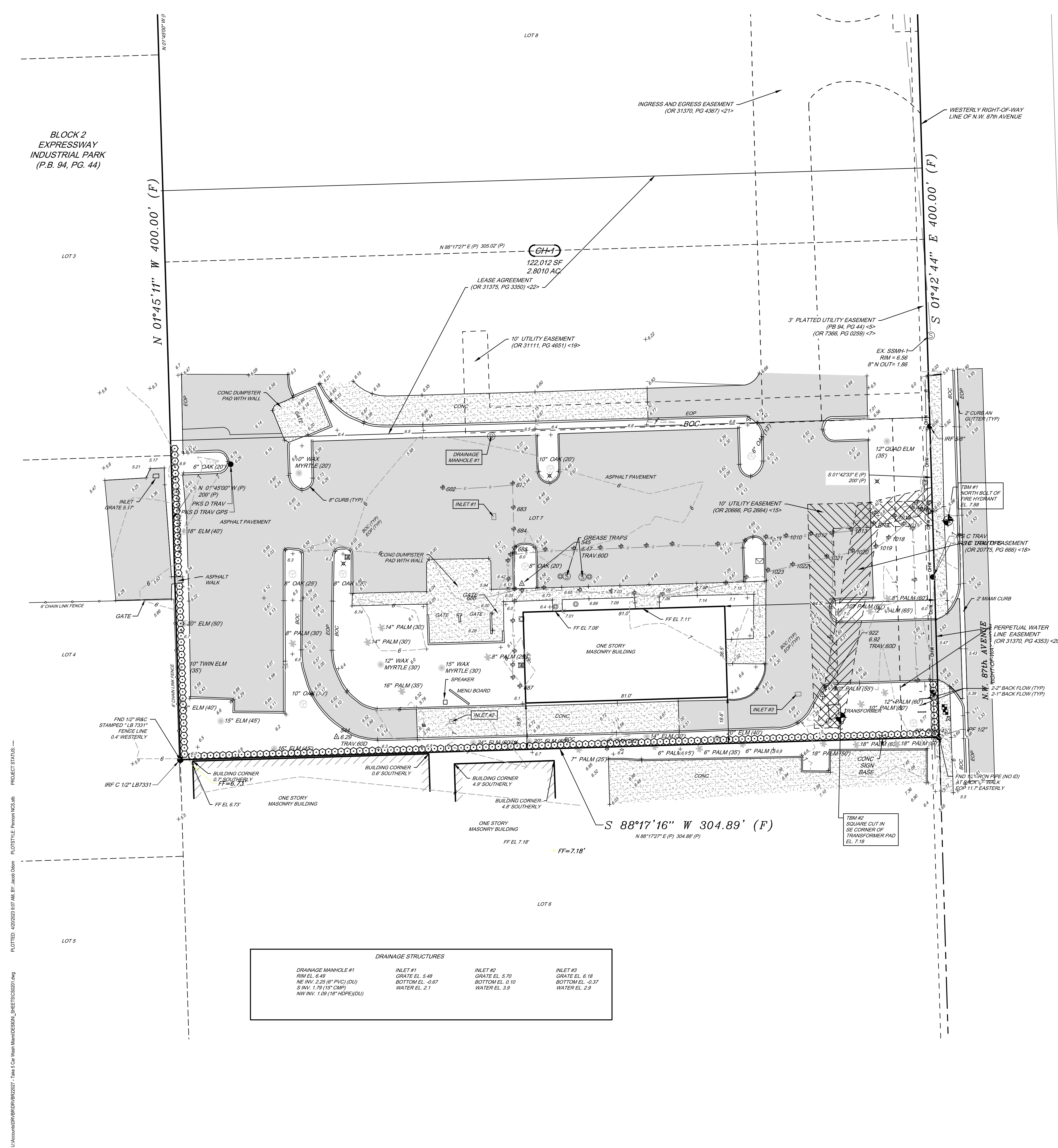
PROJECT NUMBER  
**DRVBR22027**

DATE: 08-01-2022  
SCALE: AS NOTED  
DRAWN: JO  
CHECKED: JS  
SHEET NO

**CS0001**



Know what's below.  
Call before you dig.  
TICKET NUMBER(S): 186205528-000



**EXISTING LEGEND**

---	PROPERTY LINE
---	PROPERTY ADJOINING
---	LEGAL RIGHT-OF-WAY
---	EASEMENT
---	PROPERTY MARKER
---	EXISTING BUILDING
---	EXISTING CURB
---	EXISTING CURB DEPRESSION
---	EXISTING EDGE OF PAVEMENT
---	EXISTING EDGE OF GRAVEL
---	EXISTING FENCE
---	EXISTING WOOD FENCE
---	EXISTING METAL FENCE
---	EXISTING GUIDE RAIL
---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING SPOT ELEVATION
---	EXISTING COMMUNICATION, UNDERGROUND
---	EXISTING NATURAL GAS, UNDERGROUND
---	EXISTING POWER, UNDERGROUND
---	EXISTING SANITARY SEWER, UNDERGROUND
---	EXISTING STORM SEWER, UNDERGROUND
---	EXISTING WATER, UNDERGROUND
---	EXISTING OVERHEAD UTILITY
---	EXISTING MANHOLES
---	EXISTING VALVES
---	EXISTING JUNCTION BOX
---	EXISTING POWER, TRANSFORMER
---	EXISTING SANITARY SEWER, CLEAN-OUT
---	EXISTING STORM SEWER, ROOF DRAIN
---	EXISTING STORM SEWER, INLET
---	EXISTING WATER STRUCTURES
---	EXISTING TREE LINE
---	EXISTING TREES
---	EXISTING BOLLARD
---	EXISTING SIGN
---	EXISTING UTILITY POLE
---	EXISTING GUY POLE
---	BORING LOCATION
---	EXISTING FLAG POLE
---	EXISTING LIGHT
---	EXISTING LIGHT POLE SINGLE ARM

**SITE INFORMATION:**

ADDRESS: 1350 NW 87TH AVENUE  
MIAMI, FL 33172

APPLICANT: DRIVEN BRANDS (BOING US HOLDCO, INC)  
440 SOUTH CHURCH STREET, SUITE 700  
CHARLOTTE, NC 28202

OWNER: LAPCIUC GROUP INC  
6699 NW 36 AVE  
MIAMI FL 33147

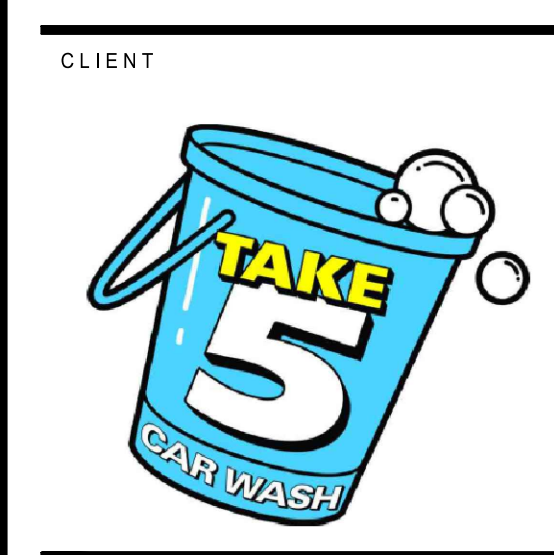
ENGINEER: PENNONI  
JASON SHERIDAN, PE  
5755 RIO VISTA DRIVE  
CLEARWATER, FL 33760

**GENERAL NOTES:**

- BOUNDARY AND TOPOGRAPHICAL INFORMATION OBTAINED FROM "ALTA/NSPS LAND TITLE SURVEY" PERFORMED BY PENNONI ASSOCIATES.
- LOCATIONS OF ON AND OFF SITE UTILITIES AS SHOWN ARE APPROXIMATE AND MAY OR MAY NOT BE COMPLETE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SITE.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
- IN ACCORDANCE WITH "UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" FLORIDA STATUTES, CHAPTER 556. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE SUNSHINE ONE CALL SYSTEM, INC. (800-432-4770) A MINIMUM OF 2 WORKING DAYS BEFORE THE START OF EXCAVATION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
- THIS SITE IS CURRENTLY ZONED IC- INDUSTRIAL COMMERCIAL.
- VERTICAL DATUM IS BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION, DISTRICT 6. BENCHMARK NUMBER "N-465-R-NEW", WITH A PUBLISHED ELEVATION OF 7.97 FEET, AS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
- HORIZONTAL COORDINATE DATUM IS IN FLORIDA STATE PLANE COORDINATE SYSTEM WEST ZONE, NORTH AMERICAN DATUM 1983 BASED ON GPS OBSERVATION.
- ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88). FLORIDA DEPARTMENT OF TRANSPORTATION, DISTRICT 6. BENCHMARK NUMBER "N-465-R-NEW", ELEVATION 7.97 FEET. CONVERSION EQUATION TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD 29): NAVD88 + 1.18' = NGVD 29.

**FLOOD ZONE INFORMATION:**

THE PROPERTY SHOWN LIES IN ZONE "AH" (EL. 8), AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12086C0287L WITH AN EFFECTIVE DATE OF 9/11/2009, AS PREPARED BY THE FEDERAL EMERGENCY AGENCY.



DATE	DESCRIPTION	DELTA
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XX-XX-XX		X
XX-XX-XX		X
XX-XX-XX		X
XX-XX-XX		X
XX-XX-XX		X

**TAKE 5 CAR WASH**

1350 NW 87TH AVENUE  
MIAMI, FL

ENGINEER:

PENNONI ASSOCIATES INC.  
5755 RIO VISTA DRIVE  
CLEARWATER, FL 33772  
FLORIDA C.O.C. 7919

STAMPS

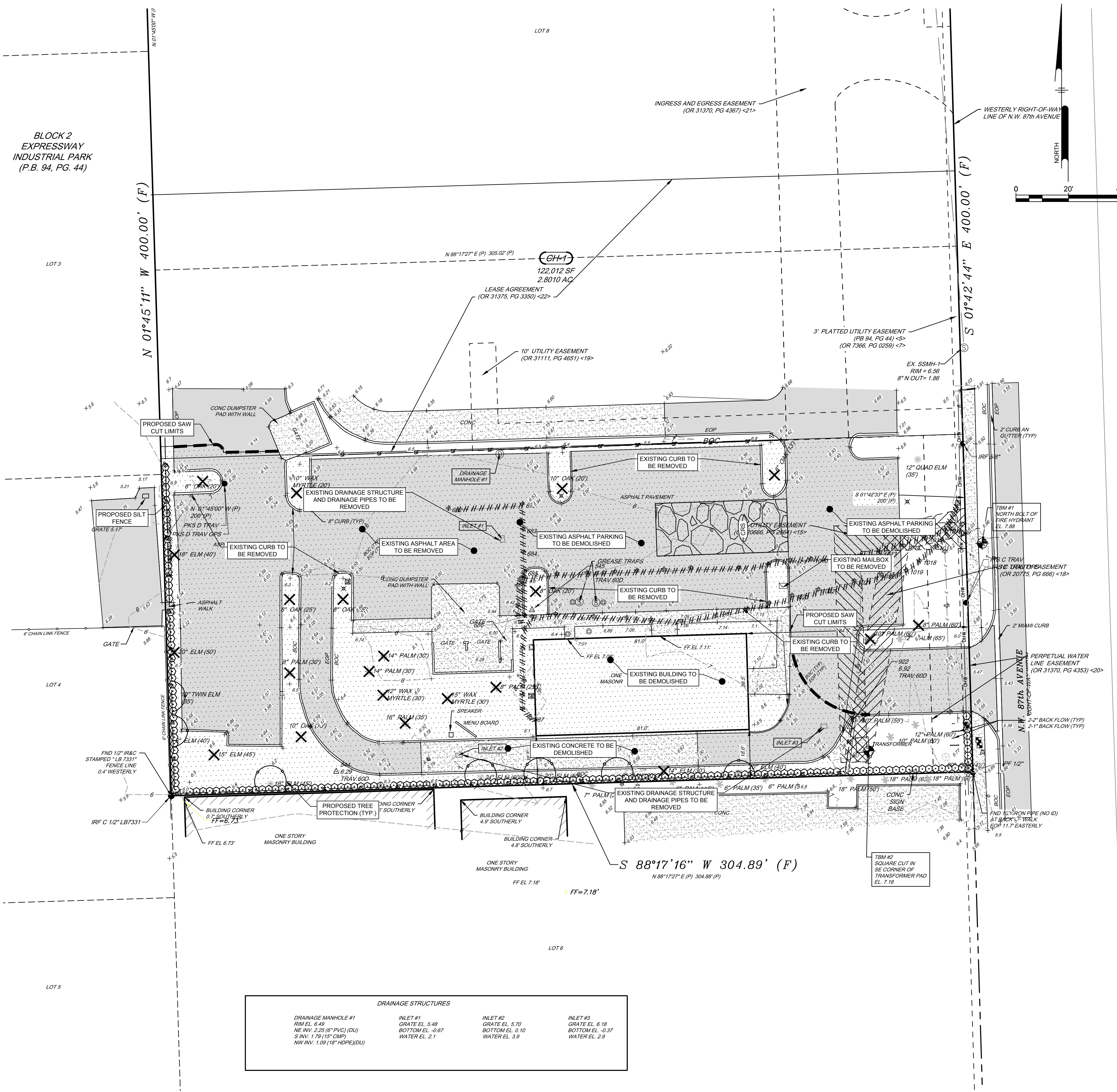
**EXISTING CONDITIONS**

PROJECT NUMBER  
**DRVBR22027**

DATE: 08-01-2022  
SCALE: AS NOTED  
DRAWN: JO  
CHECKED: JS  
SHEET NO.

**CS0201**

PLOTTED: 4/20/2023 10:07 AM BY: south.dcm  
 PROJECT STATUS: PHOTOYCLE Pennoni KCS.dwg  
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**EXISTING LEGEND**

---	PROPERTY LINE
---	PROPERTY ADJOINING
---	LEGAL RIGHT-OF-WAY
---	EASEMENT
●	PROPERTY MARKER
---	EXISTING BUILDING
---	EXISTING CURB
---	EXISTING CURB DEPRESSION
---	EXISTING EDGE OF PAVEMENT
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---	EXISTING STORM SEWER, UNDERGROUND
---	EXISTING WATER, UNDERGROUND
---	EXISTING OVERHEAD UTILITY
○	EXISTING MANHOLES
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○	EXISTING EXISTING TREES
○	EXISTING BOLLARD
○	EXISTING SIGN
○	EXISTING UTILITY POLE
○	EXISTING GUY POLE
○	BORING LOCATION
○	EXISTING FLAG POLE
○	EXISTING LIGHT
○	EXISTING LIGHT POLE SINGLE ARM



DATE	DESCRIPTION	DELTA
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XX-XX-XX		X
XX-XX-XX		X
XX-XX-XX		X

**TAKE 5 CAR WASH**  
 1350 NW 87TH AVENUE  
 MIAMI, FL

- DEMOLITION NOTES:**
- SITE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES ON SITE TO BE REMOVED.
  - ALL DEMOLITION TO BE PERFORMED BY A QUALIFIED, LICENSED CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS. ALL DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
  - ALL UTILITIES SHALL BE DISCONNECTED AND REMOVED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
  - ANY PUBLIC UTILITIES DAMAGED DURING DEMOLITION AND CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED IN KIND BY THE CONTRACTOR AT HIS OWN EXPENSE. UTILITY REMOVAL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY.
  - ALL OPENINGS IN STORM SEWER STRUCTURES RESULTING FROM PIPE REMOVAL SHALL BE FILLED WITH SEWER BRICK AND MORTAR OR REPLACED, AS DIRECTED BY THE CITY ENGINEER.
  - STORMWATER AND SANITARY LINES, STRUCTURES AND APPURTENANCES SHALL BE REMOVED IN THEIR ENTIRETY.
  - ALL EXISTING BUILDING CONCRETE FOUNDATIONS AND FOOTINGS ARE TO BE REMOVED IN THEIR ENTIRETY. ALL SITE STRUCTURES AND IMPROVEMENTS WITHIN THE LIMIT OF DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING FOUNDATIONS UNLESS NOTED OTHERWISE.
  - TREES TO BE REMOVED SHALL INCLUDE REMOVAL AND DISPOSAL OF TREES AND STUMPS.
  - DUST CONTROL - DEMOLITION CONTRACTOR IS RESPONSIBLE FOR WETTING DUST GENERATING DEBRIS FROM TIME OF FIRST CONTACT UNTIL PLACING INTO APPROPRIATE WASTE OR HAULING CONTAINERS OR TRUCKS. DEBRIS SHALL NOT BE ALLOWED TO DRY BEFORE REMOVAL FROM SITE.
  - WATER FOR DUST CONTROL - DEMOLITION CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER TANK / PUMP TRUCKS IF ON-SITE WATER FLOW OR PRESSURE IS NOT SUFFICIENT FOR OPERATIONS.
  - CONTAMINATED SOIL - IF UNUSUAL STAINS OR ODORS ARE DETECTED IN SOILS, CEASE OPERATIONS AND NOTIFY THE EHS IMMEDIATELY.
  - ANY EXCAVATION OR IMPACTS TO THE ROOT SYSTEM OF ANY TREE TO REMAIN MAY REQUIRE ROOT PRUNING, EVEN IF IT IS OUTSIDE OF THE TREE BARRICADE AREA. DO NOT TRENCH UNDER TREES.
  - EROSION CONTROL IS PERFORMANCE BASED. ADDITIONAL EROSION CONTROL MAY BE REQUIRED IF ANYTHING OTHER THAN CLEAN STORMWATER IS LEAVING THE SITE.
  - A PRE-CONSTRUCTION MEETING SHALL BE SET UP TO DISCUSS THESE AND OTHER ISSUES RESULTING IN THIS CONSTRUCTION PROJECT. THIS SHALL BE COORDINATED THROUGH THE CONSTRUCTION SITE PROJECT MANAGER.
  - FIRE DEPARTMENT ACCESS AND WATER SUPPLY SHALL BE ESTABLISHED BEFORE ANY VERTICAL CONSTRUCTION BEINGS. THE CONNECTION SHALL MEET THE REQUIREMENTS OF NFPA 1 2015 EDITION, CHAPTER 18.
  - CONSTRUCTION SHALL MEET THE REQUIREMENTS OF NFPA 1 2013 EDITION CHAPTER 16 FIRE SPRINKLER PROTECTION. SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS TO INCLUDE BUT NOT BE LIMITED TO COMPLYING WITH NFPA 241, ESTABLISHING A FIRE PROTECTION PLAN, PROVIDING AND MAINTAINING ADEQUATE ESCAPE FACILITIES, PROVIDING AND MAINTAINING FIRE DEPARTMENT ACCESS ROADS THROUGHOUT THE ENTIRE PROJECT, PROVIDING STAIRS, STANDPIPE, AND FIRE SPRINKLER PROTECTION AS THE BUILDING PROGRESSES. A PRE-CONSTRUCTION MEETING SHALL BE SET UP TO DISCUSS THESE AND OTHER ISSUES RESULTING IN THIS CONSTRUCTION PROJECT. THIS SHALL BE COORDINATED THROUGH THE CONSTRUCTION SITE PROJECT MANAGER. WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE INSTALLED, THEY SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION AS PER NFPA-241 ALL UNDERGROUND FIRE LINES MUST BE INSTALLED PER NFPA-24 2013 EDITION BY A LICENSED CLASS 1, 2, OR 5 FIRE PROTECTION SYSTEM CONTRACTOR WITH SEPARATE PERMIT AND PLANS.

**DRAINAGE STRUCTURES**

DRAINAGE MANHOLE #1	INLET #1	INLET #2	INLET #3
RIM EL. 6.49	GRATE EL. 5.48	GRATE EL. 5.70	GRATE EL. 6.18
NE INV. 2.25 (6" PVC) (DU)	BOTTOM EL. 0.67	BOTTOM EL. 0.10	BOTTOM EL. 0.37
S INV. 1.79 (15" CMP)	WATER EL. 2.1	WATER EL. 3.9	WATER EL. 2.9
NW INV. 1.09 (18" HDPE) (DU)			

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 PLOTTED: 4/20/2023 10:08 AM BY: jacob.dolan  
 PROJECT STATUS: PLOT STYLE: Penwin V32.dwt

ENGINEER:

PENNONI ASSOCIATES INC.  
 6755 Rio Vista Drive  
 Clearwater, FL 34622  
 Florida C.O.C. 7919

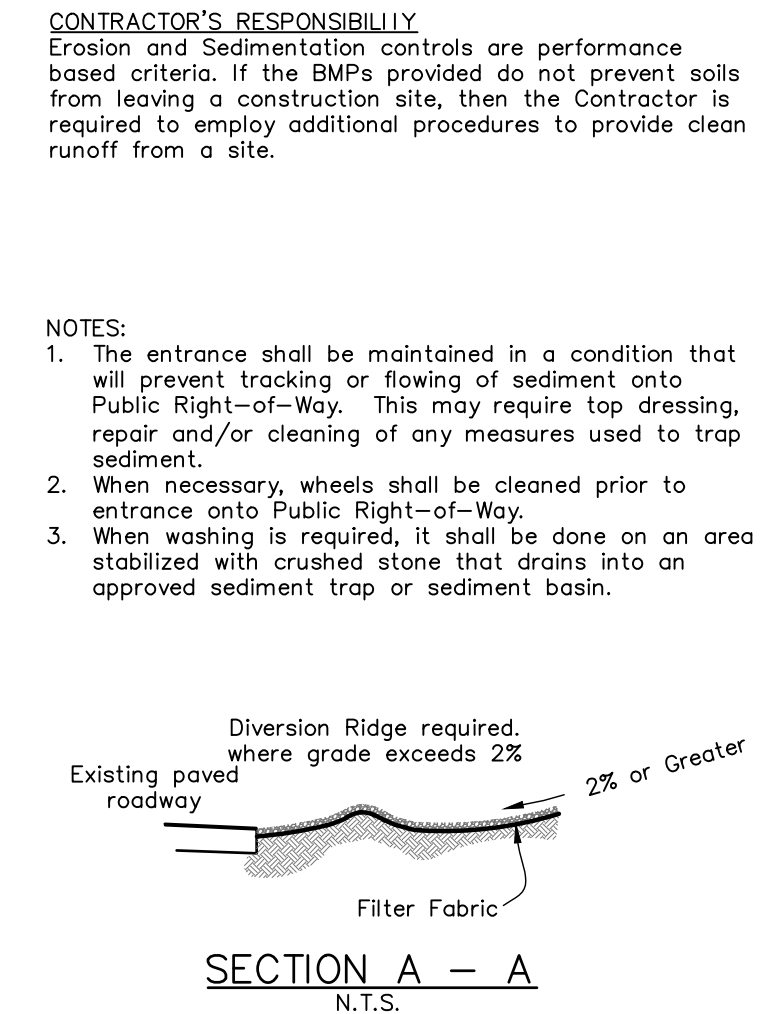
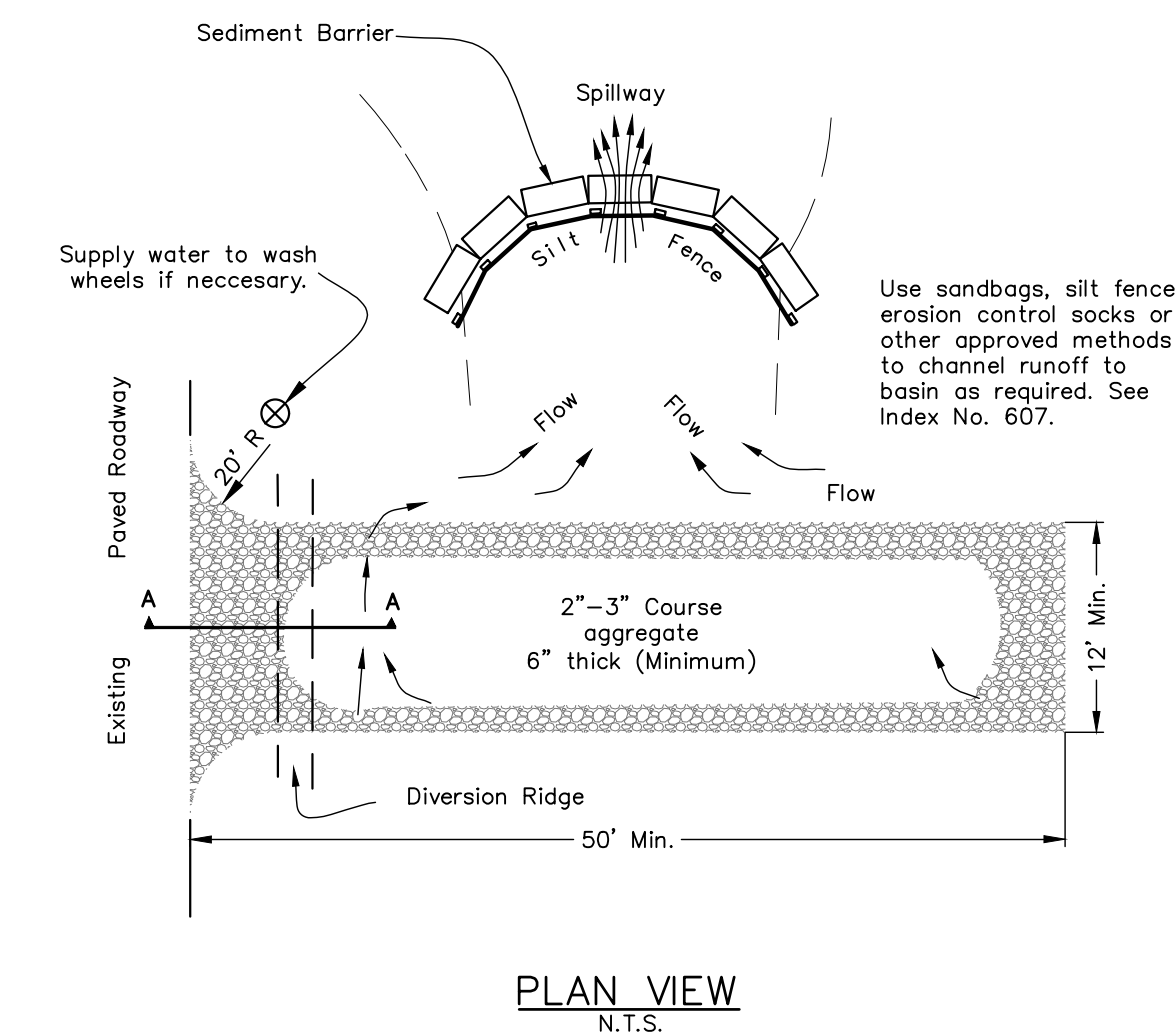
STAMPS

**DEMOLITION & EROSION CONTROL PLAN**

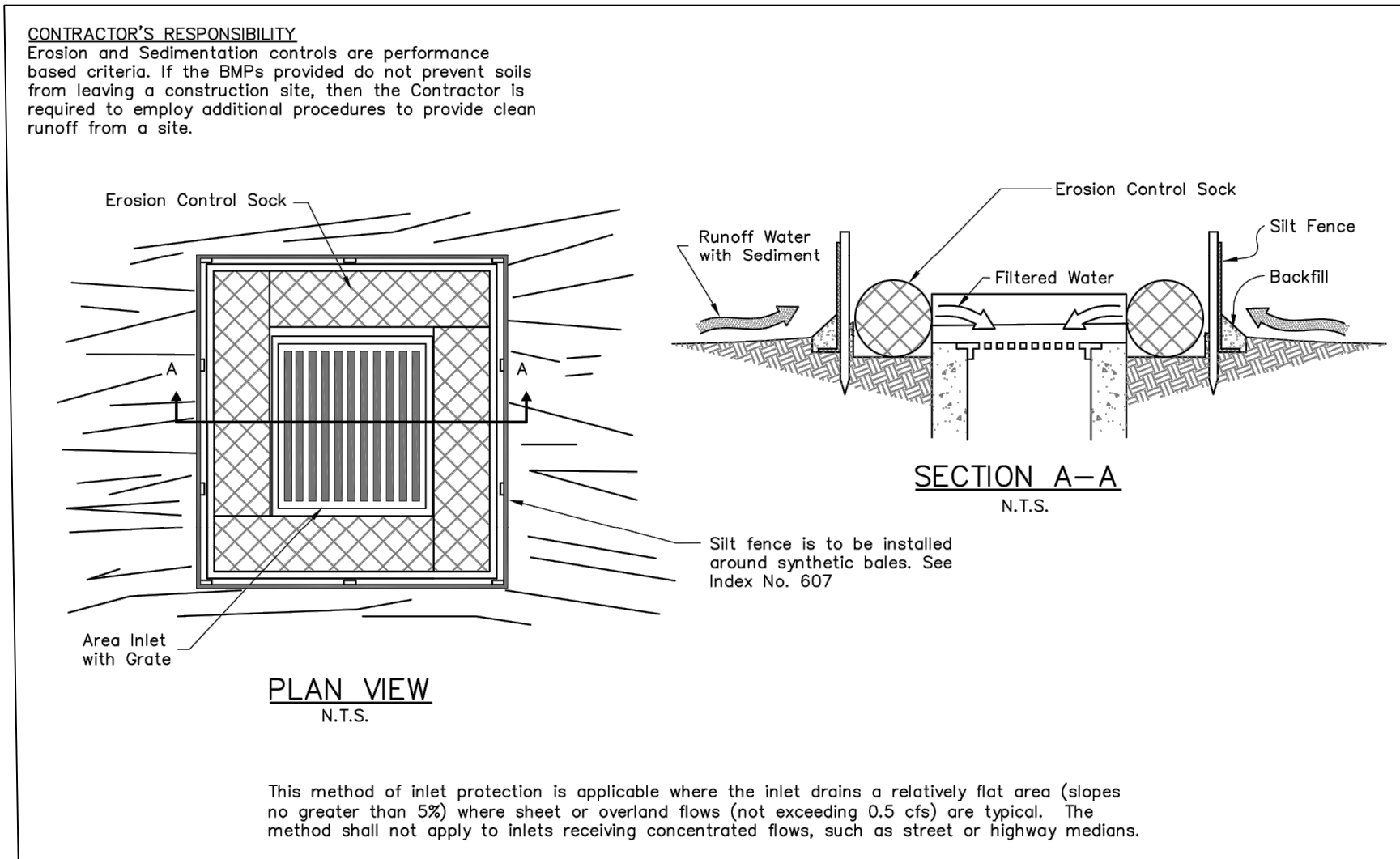
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**DRVBR22027**

DATE: 08-01-2022  
 SCALE: AS NOTED  
 DRAWN: JO  
 CHECKED: JS  
 SHEET NO.

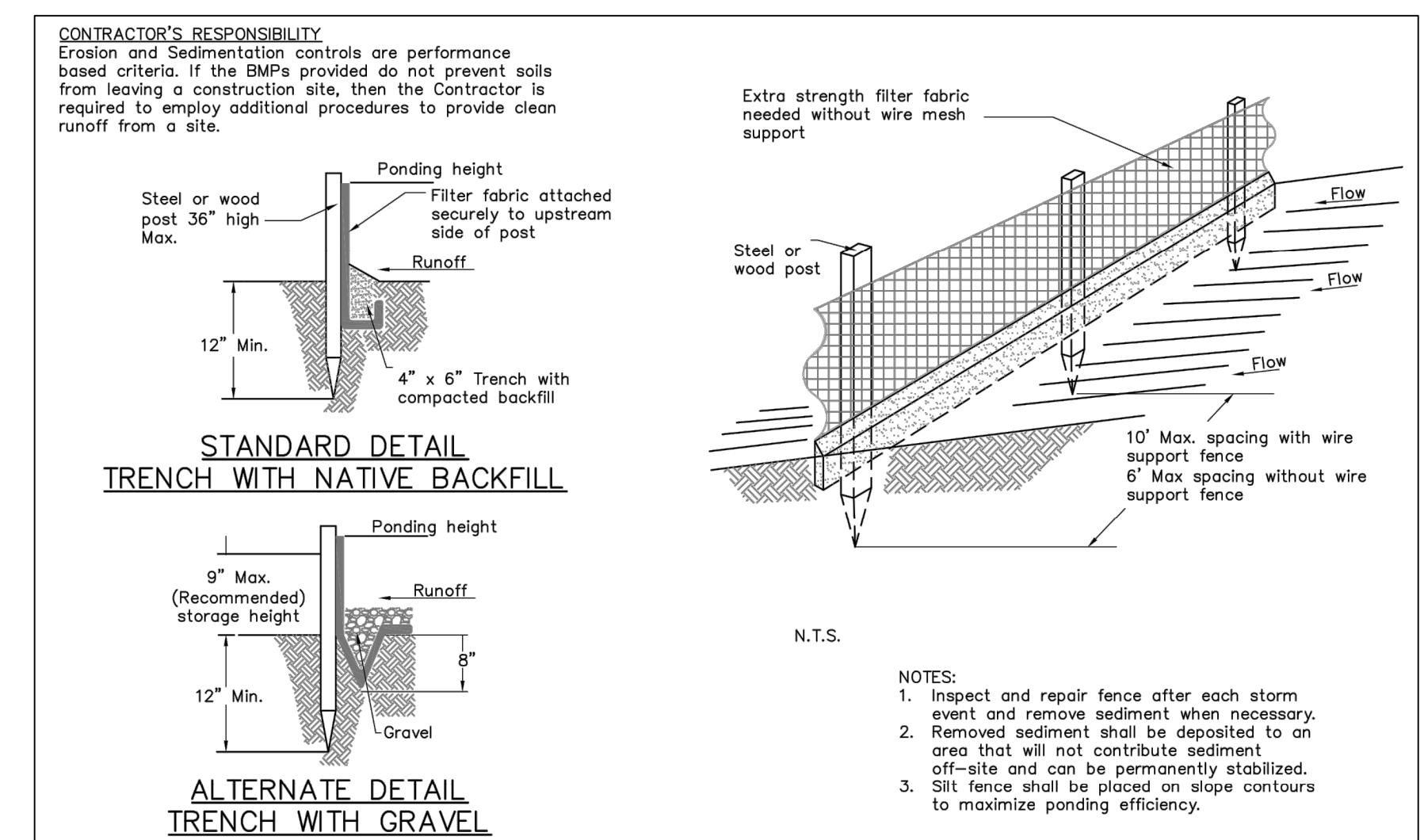
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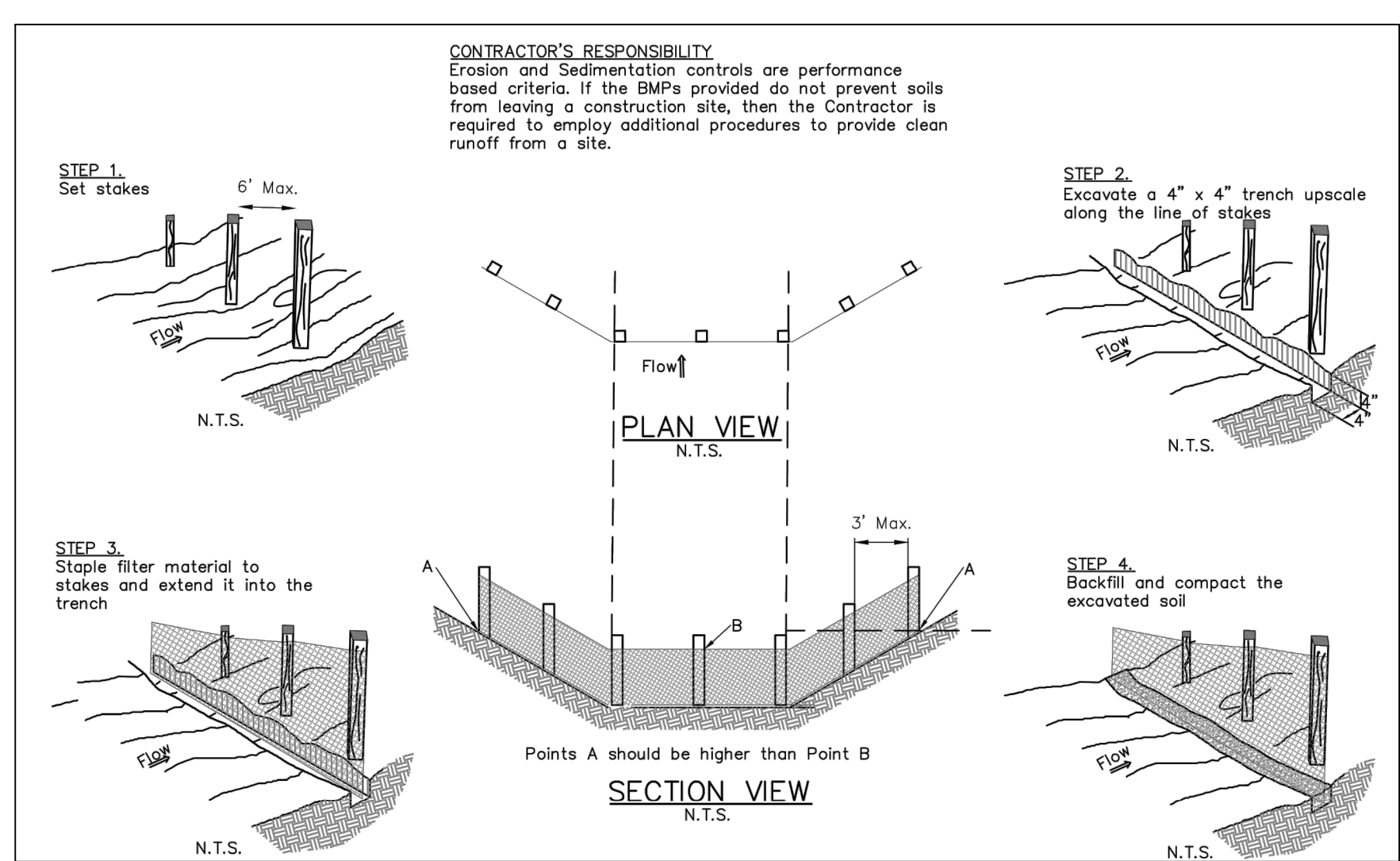
**DETAIL- CONSTRUCTION ENTRANCE DETAIL**  
N.T.S.



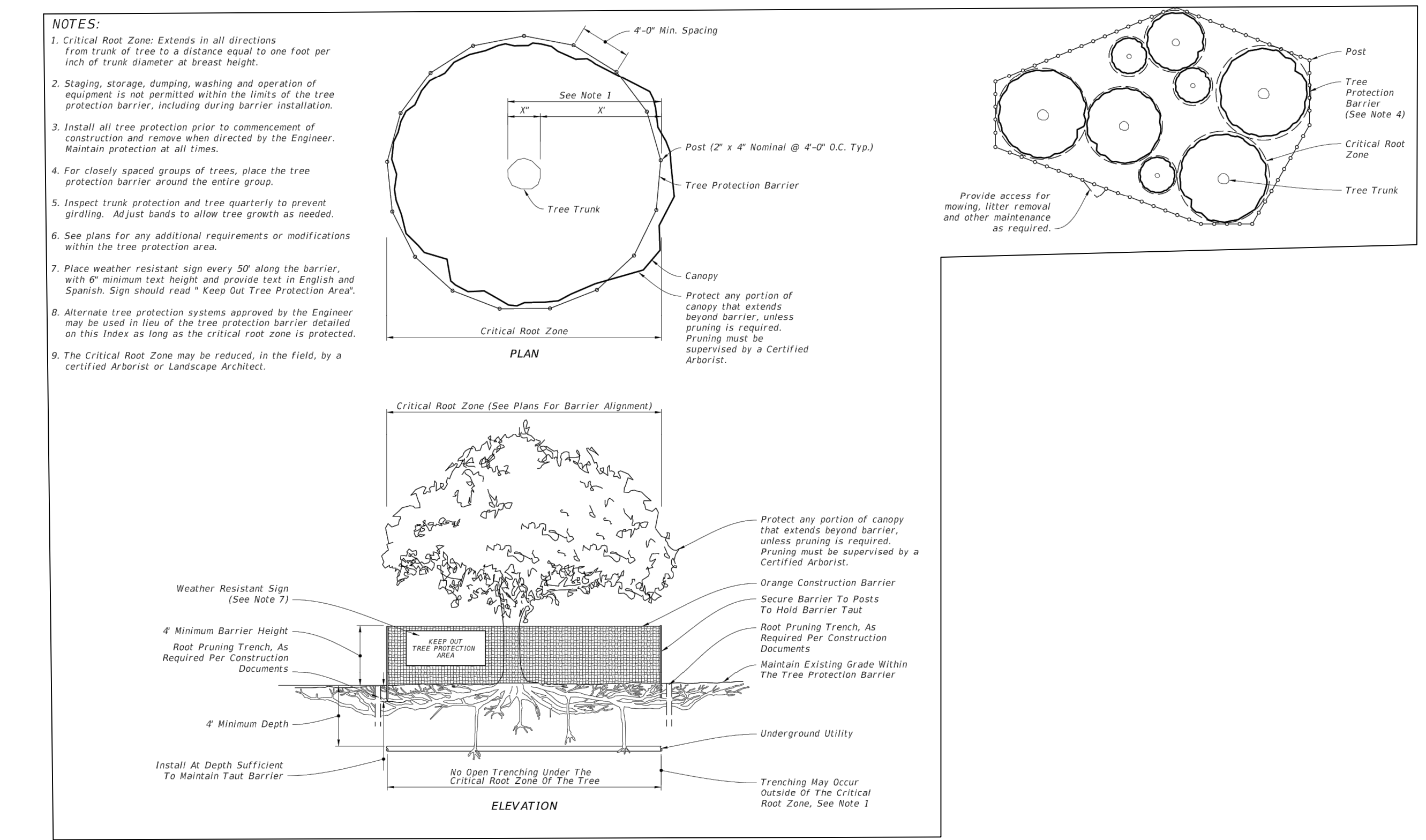
**DETAIL- INLET SEDIMENT BARRIER (INDEX 608)**  
N.T.S.



**DETAIL- STAKED SILT BARRIER**  
N.T.S.



**DETAIL- INLET PROTECTION**  
N.T.S.



**DETAIL- TREE PROTECTION DETAIL**  
N.T.S.

**EROSION AND SEDIMENTATION CONTROL NOTES**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTROL AND PREVENT EROSION AND THE TRANSPORTATION OF SEDIMENT TO SURFACE DRAINS AND OUTFALLS. REFER TO CONSTRUCTION PLANS, DETAILS, SPECIFICATIONS AND APPROVED PERMITS FOR DETAILS. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH SIX INCHES ON AN EROSION DEVICE.
- DURING THE CONSTRUCTION OF DRAINAGE STRUCTURES, AND OTHER STRUCTURES REQUIRING EXCAVATION, THE CONTRACTOR SHALL PLACE APPROVED BARRIERS OR OTHER APPROVED DEVICES AROUND SUCH STRUCTURES TO PREVENT EROSION AND THE MIGRATION OF SEDIMENT TO POINTS OUTSIDE THE CONSTRUCTION AREA. THE APPROVED BARRIERS OR OTHER APPROVED DEVICES SHALL BE PLACED IN ACCORDANCE WITH REQUIREMENTS OF F.D.O.T. INDEX NO. 102, FDEP, OR AS DIRECTED BY THE ENGINEER.
- REQUIRED EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN REQUIRED EROSION CONTROL WILL RESULT IN ENFORCEMENT. ALL EROSION CONTROL MEASURES, SAND, SILT, AND DEBRIS SHALL BE REMOVED FROM ALL DRAINAGE PIPES AND STRUCTURES AFTER CONSTRUCTION HAS BEEN COMPLETED AND PRIOR TO CITY FINAL WALK-THROUGH.
- OUTFALL PROTECTION - PROJECT PIPE OR DITCH DISCHARGES INTO OFF-SITE OUTFALLS SHALL BE INSPECTED DAILY FOR POSSIBLE SEDIMENT BUILDUP OR TRANSPORT. OUTFALLS SHALL BE PROTECTED THROUGH USE OF EROSION CONTROL FEATURES AS NECESSARY TO CONTAIN ANY SEDIMENT LOSS TO THE IMMEDIATE AREA OF THE PROJECT. ANY SEDIMENT BUILDUP OR TRANSPORT OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMEDY. THE CONTRACTOR SHALL USE APPROPRIATE MEASURES AS DIRECTED BY THE PROJECT ENGINEER FOR OUTFALL PROTECTION.
- APPROVED BARRIERS (OR OTHER APPROVED SEDIMENT CONTROL DEVICES); THESE SHALL BE PLACED AT THE BASE OF ANY SLOPE WHERE A RAINFALL EVENT COULD ERODE A SLOPE AND TRANSPORT SEDIMENTS OFF-SITE. APPROVED BARRIERS SHALL BE DOUBLE STAKED IN ACCORDANCE WITH F.D.O.T. INDEX NO. 102 OR FDEP. IF EROSION DEPOSITS REACH THE TOP ELEVATION OF EXISTING APPROVED BARRIERS, THEN SEDIMENTS SHOULD BE REMOVED. ANY DAMAGED OR INEFFECTIVE APPROVED BARRIERS ARE TO BE REPLACED WITH NEW ONES. THE LOCATION AND INSTALLATION OF APPROVED BARRIERS SHALL BE AS DIRECTED BY THE PROJECT ENGINEER.
- BACK OF SIDEWALK INLETS OR MEDIAN INLETS; THESE SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. APPROVED BARRIERS OR OTHER APPROVED SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AROUND INLET TOP. A SECOND ROW OF APPROVED BARRIERS OR OTHER APPROVED SEDIMENT CONTROL DEVICES SHALL BE PLACED AROUND INLET APPROXIMATELY 4' OUTSIDE FIRST ROW. BETWEEN ROWS THERE SHALL BE A DEPRESSION TO ACT AS A SEDIMENT BASIN. COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH A SINGLE LINE OF APPROVED BARRIERS OR OTHER APPROVED SEDIMENT CONTROL DEVICES TO PREVENT SEDIMENT INTAKE FROM OTHER AREAS.
- STOCKPILED MATERIALS SHALL BE PROTECTED BY COVER, APPROVED BARRIERS OR OTHER APPROVED SEDIMENT CONTROL DEVICES.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 3 DAYS AFTER 1/2" RAIN EVENT DISTURBANCE.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY DEWATERING PERMITS FROM THE LOCAL WATER MANAGEMENT DISTRICT OR OTHER REGULATORY AGENCY.
- A DEWATERING PLAN MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO DISCHARGE.
- IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.
- THERE IS TO BE NO DISCHARGE (I.E. PUMPING, SHEET FLOW, SWALE, DITCH, ETC.) INTO EXISTING DITCHES OR CANALS WITHOUT THE USE OF SETTLING PONDS OR DEVICES. IF THE CONTRACTOR DESIRES TO DISCHARGE INTO EXISTING DITCHES OR CANALS A SETTLING PLAN PREPARED BY THE CONTRACTOR MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND LOCAL REGULATORY AGENCY PRIOR TO CONSTRUCTION.
- WHERE APPLICABLE, SOIL TRACKING PREVENTION DEVICES SHALL BE PROVIDED AND MAINTAINED PER F.D.O.T. INDEX NO. 106 OR FDEP.
- ALL EROSION CONTROL FENCES, BARRIERS, AND SILTATION DEVICES SHALL BE ERECTED PRIOR TO ANY LAND ALTERATIONS. SHALL BE MAINTAINED IN GOOD WORKING ORDER DURING CONSTRUCTION, AND REMOVED FOLLOWING SOIL STABILIZATION AND FINAL DRESSING. BUILT-UP SEDIMENT WILL BE REMOVED FROM SILT FENCES AND STAKED TURBIDITY BARRIERS WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE/BARRIER. STOCKPILE AREAS SHALL INCLUDE SILT FENCE AROUND THE PERIMETER.
- THE CONTRACTOR SHALL NOT RESTRICT OR BLOCK THE EXISTING DRAINAGE FLOW OVERLAND OR WITHIN RESHAPED SWALES. FLOW WITHIN EXISTING DRAINAGE PIPES SHALL BE MAINTAINED AT ALL TIMES. STORMWATER WILL BE CONVEYED VIA EXISTING SWALES, DITCHES, OR PROPOSED DITCHES, EXISTING AND PROPOSED STORM SEWERS.
- DURING DEWATERING OPERATIONS, THE CONTRACTOR SHALL NOT DISCHARGE DIRECTLY TO RECEIVING WATERS, EXISTING CONVEYANCES TO RECEIVING WATERS, OR WETLAND SYSTEMS. TEMPORARY SEDIMENT BASINS, TRAPS, OR SILTATION REDUCTION DEVICES SHALL BE UTILIZED TO COLLECT THE DISCHARGE FROM DEWATERING ACTIVITIES TO ELIMINATE THE POTENTIAL FOR OFF-SITE SEDIMENT TRANSPORT AND TO INSURE THAT DIRECT DISCHARGE DOES NOT OCCUR.
- BANKS SHALL BE PROTECTED FROM EROSION OR COLLAPSE DURING CONSTRUCTION. BANK PROTECTION MATERIAL SHALL BE CAREFULLY PLACED FROM THE BANK AND NOT DUMPED FROM ABOVE IN AN UNCONTROLLED MANNER. EROSION CONTROL FABRIC SHALL BE USED FOR EROSION PROTECTION WHERE SOD WILL NOT HOLD OR BECOME ESTABLISHED IN TIME TO PROTECT THE BANKS. UNLESS OTHERWISE SPECIFIED IN THE PLANS, UPON COMPLETION OF CONSTRUCTION, ALL BANKS AND WATERWAYS SHALL BE RESTORED TO THEIR PRE-CONSTRUCTION CONFIGURATION AND PROTECTION FROM EROSION.



DATE	DESCRIPTION	DELTA
XX-XX-XX		1 X
XX-XX-XX		2 X
XX-XX-XX		3 X
XX-XX-XX		4 X
XX-XX-XX		5 X
XX-XX-XX		6 X

**TAKE 5 CAR WASH**

1350 NW 87TH AVENUE  
MIAMI, FL

ENGINEER:



**PENNONI ASSOCIATES INC.**  
5755 NW 75th Drive  
Oswego, FL 32057  
Florida GCA: 7919

STAMPS



**EROSION CONTROL NOTES AND DETAILS**

PROJECT NUMBER  
**DRVBR22027**

DATE: 08-01-2022  
SCALE: AS NOTED  
DRAWN: JO  
CHECKED: JS  
SHEET NO.

**CS0502**

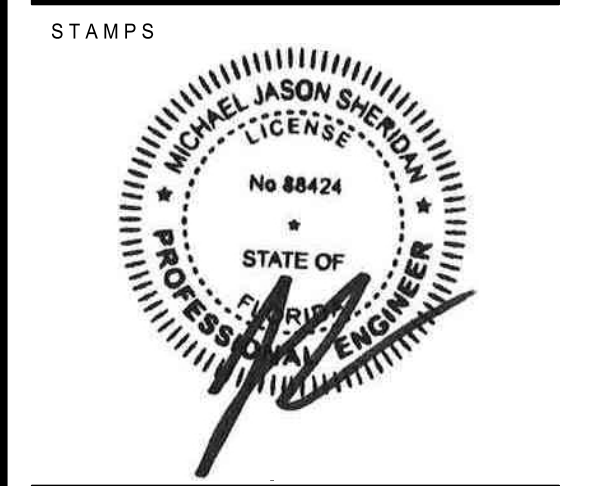
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 PLOTTED: 4/20/2023 10:08 AM BY: ashish.datta  
 PROJECT STATUS: PLOTTED: Pennoni\KSL.dwg



DATE	DESCRIPTION	DELTA
XX-XX-XX		
XX-XX-XX		
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XX-XX-XX		
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XX-XX-XX		

**TAKE 5 CAR WASH**  
 1350 NW 87TH AVENUE  
 MIAMI, FL

ENGINEER:  
  
**PENNONI ASSOCIATES INC.**  
 3835 NW 13th Drive  
 Coral Gables, FL 33134  
 Florida CEA 7919



**SITE PLAN**

PROJECT NUMBER  
**DRVBR22027**

DATE: 08-01-2022  
 SCALE: AS NOTED  
 DRAWN: JO  
 CHECKED: JS  
 SHEET NO  
**CS1000**

**EXISTING LEGEND**

- PROPERTY LINE
- PROPERTY ADJOINING
- LEGAL RIGHT-OF-WAY
- EASEMENT
- PROPERTY MARKER
- EXISTING BUILDING
- EXISTING CURB
- EXISTING CURB DEPRESSION
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING FENCE
- EXISTING WOOD FENCE
- EXISTING METAL FENCE
- EXISTING GUIDE RAIL
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING COMMUNICATION, UNDERGROUND
- EXISTING NATURAL GAS, UNDERGROUND
- EXISTING POWER, UNDERGROUND
- EXISTING SANITARY SEWER, UNDERGROUND
- EXISTING STORM SEWER, UNDERGROUND
- EXISTING WATER, UNDERGROUND
- EXISTING OVERHEAD UTILITY
- EXISTING MANHOLES
- EXISTING VALVES
- EXISTING JUNCTION BOX
- EXISTING POWER, TRANSFORMER
- EXISTING SANITARY SEWER, CLEAN-OUT
- EXISTING STORM SEWER, ROOF DRAIN
- EXISTING STORM SEWER, INLET
- EXISTING WATER STRUCTURES
- EXISTING TREE LINE
- EXISTING EXISTING TREES
- EXISTING BOLLARD
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING GUY POLE
- BORING LOCATION
- EXISTING FLAG POLE
- EXISTING LIGHT
- EXISTING LIGHT POLE SINGLE ARM

**PROPOSED LEGEND**

- PROPOSED CURB LINE
- PROPOSED WALL
- PROPOSED BUILDING OUTLINE
- PROPOSED BUILDING OVERHANG
- PROPOSED FLUSH CURB
- PROPOSED FENCE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND GAS
- PROPOSED UNDERGROUND TELCOM LINE
- PROPOSED AREA DRAIN
- PROPOSED DRAINAGE INLET
- PROPOSED DRAINAGE MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED PAVERS
- PROPOSED BAHIA SOD
- PROPOSED CONCRETE PAVEMENT
- DIRECTIONAL TRAFFIC ARROWS (NOT PAINTED)

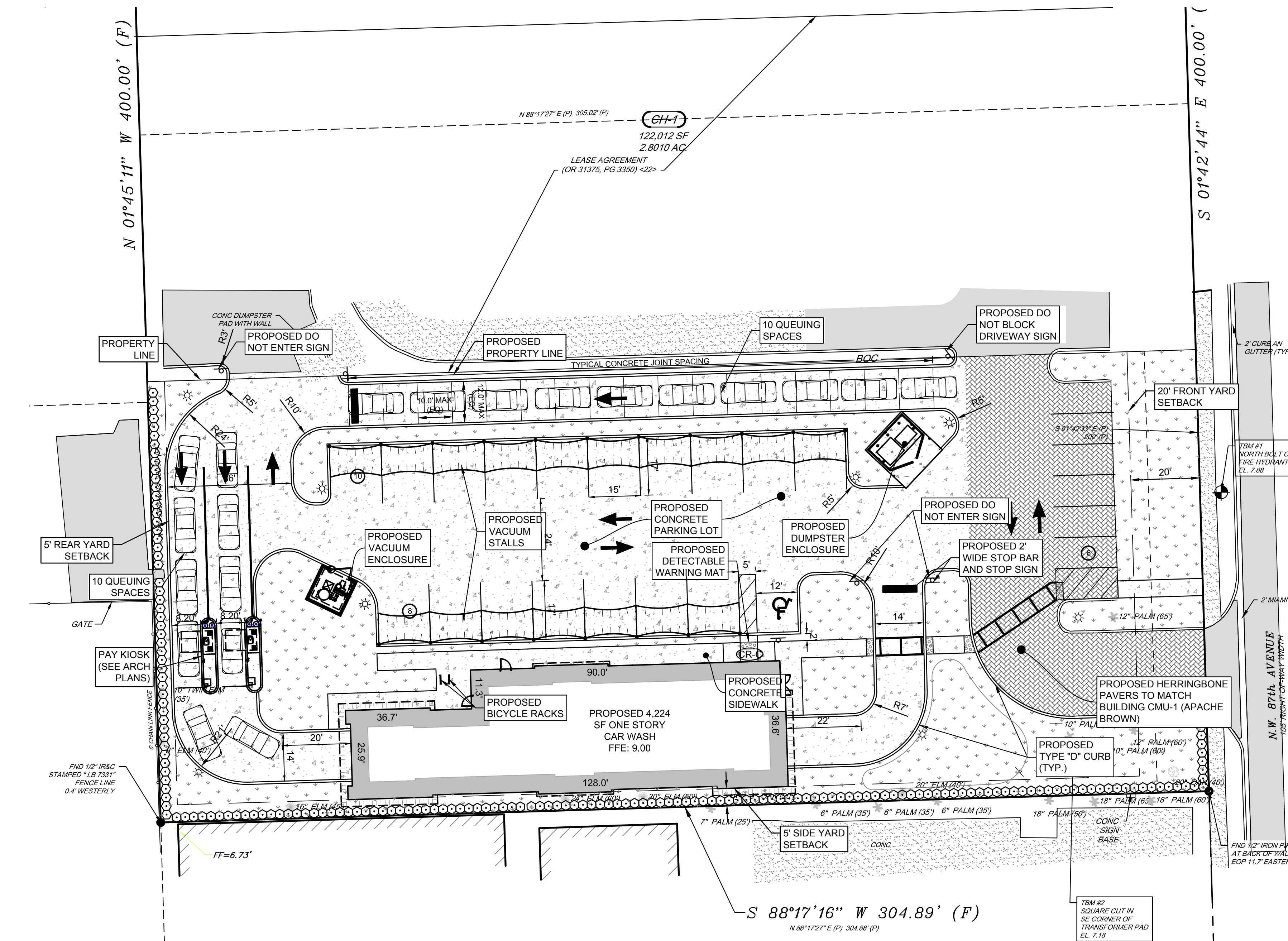
**SITE DATA TABLES:**

SECTION	PARKING REQUIREMENTS		
	REQUIRED ALLOWABLE	REQUIRED	PROPOSED
77-139.E	THREE SPACES FOR THE 2,500 SQUARE FEET OF GROSS FLOOR AREA OR FRACTION THEREOF AND ONE SPACE ADDITIONAL PER 500 SQUARE FEET OF GROSS FLOOR AREA OR FRACTION THEREOF	3 SPACES (INITIAL 2500 SF) + 4 SPACES (1724 SF / 500 SF) = 7 REQUIRED SPACES	17 VACUUM SPACES + 7 EXISTING STANDARD SPACES + 1 HANDICAP SPACES = 25 TOTAL SPACES
77-139.E	BICYCLE PARKING: 0.10 PER REQUIRED PARKING SPACES	7 * 0.10 = 1 REQUIRED BICYCLE PARKING SPACE	1 SPACE
77-140	ADA PARKING 1-25 SPACES	1 SPACE	1 SPACE

**GENERAL NOTES:**

- CONTRACTOR IS REQUIRED TO FOLLOW ALL STATE AND LOCAL BUILDING AND DEVELOPMENT CODES AND STANDARDS. ALL WORK WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH COUNTY ENGINEERING DESIGN STANDARDS AND FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION. FEDERAL ADA REQUIREMENTS WILL SUPERSEDE ALL CONFLICTS WITH STATE AND LOCAL STANDARDS. ALL DEVIATIONS FROM THE COUNTY ENGINEERING DESIGN STANDARDS SHALL BE SPECIFICALLY ADDRESSED IN WRITING FOR REVIEW AND APPROVAL BY THE COUNTY ENGINEER PRIOR TO RIGHT-OF-WAY FINAL. ALL OTHER ERRORS, OMISSIONS OR CONFLICTS WITH THE SITE PLAN OR SPECIFICATIONS SHALL BE RESOLVED IN FAVOR OF THE COUNTY ENGINEERING DESIGN STANDARDS.
- ALL WORK OR MATERIALS WHICH DO NOT CONFORM TO THE SPECIFICATION OF THE MIAMI-DADE COUNTY ENGINEERING DESIGN STANDARDS OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR ANY WORK PERFORMED WITHOUT AN INSPECTION BY A REPRESENTATIVE OF THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS REQUIRED TO GET ALL THE NECESSARY RIGHT-OF-WAY PERMITS AND PROVIDE ALL NECESSARY WORK ZONE CONTROLS AND SAFETY REQUIREMENTS FOR THE PROJECT. TRAFFIC CONTROLS ARE REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY. MIAMI-DADE COUNTY HAS ADOPTED THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND REQUIRES A MAINTENANCE OF TRAFFIC PERMIT TO ENSURE COMPLIANCE WITH THESE STANDARDS. A TRAFFIC MAINTENANCE PLAN IS REQUIRED FROM THE CONTRACTOR AND MUST BE APPROVED BY THE COUNTY TRANSPORTATION DEPARTMENT PRIOR TO STARTING WORK IN THE RIGHT-OF-WAY. FOR MORE INFORMATION THE CONTRACTOR SHOULD REFERENCE COUNTY ENGINEERING DESIGN STANDARDS SHEET G-4 AND THE CURRENT VERSION OF SECTION 600 AND SECTION 700 OF D.O.T. STANDARD SPECIFICATIONS. CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS COULD RESULT IN THE COUNTY IMPOSING A STOP WORK ORDER ON THE PROJECT.
- CONTRACTOR TO NOTE THAT DESIGN ELEVATIONS FOR THE RIGHT-OF-WAY SHOWN, ON THE PLANS MAY DIFFER FROM THE COUNTY'S MASTER DESIGN PLAN. THE COUNTY'S SURVEY DEPARTMENT WILL SET THE GRADES FOR CURB AS PER THE COUNTY'S CURB AND ROAD WIDENING MASTER PLAN. THE CONTRACTOR SHOULD CHECK WITH THE COUNTY'S ENGINEERING DEPARTMENT TO OBTAIN RIGHT-OF-WAY DESIGN INFORMATION AND LATEST CHANGES IF ANY.
- THE CONTRACTOR SHALL ENSURE THAT WITH ALL ROAD IMPROVEMENTS, THE EXISTING ASPHALT ROAD EDGE IS CUT BACK A MIN. OF 1 FT FOR THE ENTIRE LENGTH OF THE ASPHALT WIDENING TO BE CONSTRUCTED AND ANY OF THE EXISTING THERMOPLASTIC STRIPING REMAINING ALONG THE CUT EDGE WILL BE GROUND OFF. THE SUB-BASE AND CUT EDGE ARE TO BE TACK COATED PRIOR TO THE INSTALLATION OF THE NEW ASPHALT, AND THAT ALL NEW STRIPING SHALL BE THERMOPLASTIC AND PLACED ALONG THE CURB PER M.U.T.C.D. SPECIFICATIONS.
- CONCRETE FORMS ARE REQUIRED ON BOTH SIDES OF ALL REPLACEMENT CURBS AS OUTLINED CITY OF DORAL DESIGN STANDARDS. INSPECTIONS SHALL BE REQUESTED AND APPROVED PRIOR TO PLACEMENT OF CONCRETE AND/OR ASPHALT IN THE MIAMI-DADE COUNTY RIGHT-OF-WAY.
- ALL BROKEN AND VERTICALLY MISALIGNED SECTIONS OF EXISTING SIDEWALKS AND CURB IN THE CITY OR COUNTY RIGHT-OF-WAY DIRECTLY ADJACENT TO THIS SITE THAT DO NOT MEET A D.A. MINIMUM REQUIREMENTS SHALL BE REPLACED AT THE OWNER'S EXPENSE.
- SIDEWALKS PASSING THROUGH DRIVEWAY APPROX SHALL COMPLY WITH LATEST VERSION OF THE FEDERAL D.A. SEE ALSO F.D.O.T. INDEX 515 PAGES 1-6 FOR MORE DETAILS.
- CONTRACTOR SHALL INSTALL EXPANSION JOINTS AT INTERVALS OF 100 FT. ON CENTER FOR ALL CURB GUTTER AND SIDEWALK INSTALLED IN THE RIGHT-OF-WAY. CONTRACTION JOINTS ARE TO BE SAW CUT AT 5' ON CENTER FOR SIDEWALKS AND 10' ON CENTER FOR CURB. EXPANSION MATERIAL IS NOT TO BE PLACED BETWEEN THE BACK OF THE CURB AND THE SIDEWALK OR DRIVEWAY APPROX. FOR ADDITIONAL DETAILS REFER TO F.D.O.T. INDEXES 300 AND 310.
- COUNTY REQUIREMENTS FOR MATERIALS TEST REPORTS SHOULD BE DETERMINED AT THE BEGINNING OF THE PROJECT AND SHOULD BE AVAILABLE TO THE INSPECTOR AT THE TIME OF REQUIRED INSPECTION. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED TESTING OF RIGHT-OF-WAY IMPROVEMENTS AT THE APPROPRIATE TIME DURING DEVELOPMENT TO ENSURE COMPLIANCE WITH MINIMUM COUNTY DESIGN STANDARDS. CERTIFIED TEST REPORTS ARE REQUIRED FOR COMPACTION OF SUB-GRADE AND BASE COURSE. IN-PLACE THICKNESS OF ROAD BASE AND ASPHALT FOR NEW ROAD AND/OR ALLEY CONSTRUCTION IS ALSO REQUIRED PRIOR TO AN ENGINEERING RIGHT-OF-WAY FINAL. DELAY IN RECEIVING AN APPROVED RIGHT-OF-WAY FINAL COULD RESULT IN DELAYS IN RECEIVING THE CERTIFICATE OF OCCUPANCY FOR THE COMPLETED PROJECT. TESTING OF IMPROVEMENTS IN THE RIGHT-OF-WAY IS REQUIRED TO ENSURE COMPLIANCE WITH THE MINIMUMS OF THE DESIGN CROSS SECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL COUNTY RIGHT-OF-WAY DISTURBED OR DAMAGED DURING CONSTRUCTION UP AND TO THE POINT THAT FINAL APPROVAL IS RECEIVED FROM THE COUNTY. RIGHT-OF-WAY SWALE 17. AND OTHER DIFFERENCES IN GRADE INCLUDING PRIVATE PROPERTY SHOULD BE GRADED AT A 4:1 SLOPE. THESE AREAS SHALL BE COVERED WITH HYDRO SEED OR SOD. SOD ONLY IS TO BE PLACED ALONG THE EDGE OF NEW OR EXISTING PAVEMENT AND 10-FEET IN ALL DIRECTIONS AROUND STORM WATER INLETS. THIS INCLUDES PROPERTIES LOCATED CROSS ALLEYS IMPROVED AS PART OF THE PROJECT.
- CONTRACTOR WILL BE REQUIRED TO CONTACT THE SITE DEVELOPMENT AND REVIEW DIVISION TO COORDINATE THE INSTALLATION AND INSPECTIONS FOR RESTORATION OF THE COUNTY STORM WATER SYSTEM. AFTER ALL OF THE NEW PIPES AND STRUCTURE HAVE BEEN INSTALLED AND APPROVED BY THE COUNTY, THE OLD PIPES AND ANY STRUCTURES ON THE PROPERTY MUST BE REMOVED. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A SURVEYOR TO DO THE LAYOUT FOR INSTALLATION OF THE NEW SYSTEM.
- CONTRACTOR SHALL PROVIDE EROSION CONTROLS FOR THE STORM WATER SYSTEM OF THE COUNTY RIGHT-OF-WAY AT THE START OF CONSTRUCTION. CONTROLS MUST BE MAINTAINED UNTIL THE RIGHT-OF-WAY CONSTRUCTION IS COMPLETE AND RESPONSIBILITY FOR THE WORK IS ACCEPTED BY CITY OF DORAL. SHOULD THE CONTRACTOR'S STORM WATER PROTECTIVE SYSTEM NOT BE INSTALLED OR FAIL THE CONTRACTOR SHALL UPON COMPLETION CLEAR AND CLEAN THE ENTIRE STORM SEWER SYSTEM. EROSION CONTROLS METHODS ARE DETAILED IN THE CITY OF DORAL DESIGN STANDARDS. (SEE ALSO FLORIDA STORM WATER, EROSION AND SEDIMENTATION CONTROL INSPECTION MANUAL FOR ADDITIONAL INFO.).
- ALL COUNTY SIGNS IN OR ADJACENT TO THE COUNTY RIGHT OF WAY THAT MUST BE RELOCATED SHALL BE COORDINATED WITH THE COUNTY TRAFFIC DEPARTMENT. STOP SIGNS MUST BE MAINTAINED DURING CONSTRUCTION BY RELOCATING THE EXISTING SIGN IF POSSIBLE. USE A TEMPORARY SIGN OR A COMBINATION OF BOTH. PLEASE GET IN TOUCH WITH THE TRAFFIC DEPARTMENT FOR RELOCATION OF SIGNS, APPROVAL OF NEW SIGNS, AND REQUIRED STRIPING OF ADJACENT RIGHT-OF-WAY. ALL RIGHT-OF-WAY STRIPING AND SIGNS MUST COMPLY WITH THE LATEST VERSION OF THE M.U.T.C.D. ALL PRIVATE TRAFFIC SIGNS AND STOP BARS ARE TO BE LOCATED ON PRIVATE PROPERTY BEHIND THE COUNTY RIGHT-OF-WAY LINE. TEMPORARY STREET SIGNS MAY BE PLACED WITHIN THE RIGHT-OF-WAY TO IDENTIFY STREET LOCATIONS. COORDINATION WITH THE COUNTY TRAFFIC DEPARTMENT IS REQUIRED.
- THE SITE CONTRACTOR WILL BE RESPONSIBLE TO ENSURE THAT ALL ABOVE GROUND PUBLIC UTILITY STRUCTURES IN THE RIGHT-OF-WAY WILL BE RELOCATED TO THE UTILITY EASEMENT BEHIND THE RIGHT-OF-WAY LINE. THIS WOULD INCLUDE ALL TYPES SUCH AS POWER POLES, TELEPHONE CONNECTION BOXES, SWITCH GEAR BOXES AND ANY STRUCTURES USED TO SUPPLY OR SUPPORT A PUBLIC SERVICE NOT SUPPLIED BY FLORIDA GOVERNMENTAL UTILITY AUTHORITY. FOR ALL OTHER UTILITIES MAINTAINED BY FLORIDA GOVERNMENTAL UTILITY AUTHORITY
- ALL FRAMES, COVERS, VALVE BOXES AND MANHOLES SHALL BE ADJUSTED TO FINISHED GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION
- ROUND STORM DRAINS ADJACENT TO INLETS ARE SUMP WELLS THAT CONNECT TO UNDERGROUND RETENTION SYSTEMS THAT PARALLEL THE RIGHT-OF-WAY AND SHALL BE ATTACHED TO INLETS AS PER DETAILS SHOWN.
- ALL WORK/MATERIALS THAT DO NOT CONFORM TO LOCAL OR STATE STANDARDS, OR THAT ARE NOT PROPERLY INSPECTED BY A COUNTY REPRESENTATIVE ARE SUBJECT TO REMOVAL OR REPLACEMENT AT THE CONTRACTOR'S EXPENSE. ALL CONCRETE WITHIN COUNTY R.O.W. MUST BE 3000 P.S.I. MINIMUM.
- ALL PROPERTY SURVEY MONUMENTS IN MIAMI-DADE COUNTY RIGHT-OF-WAY ARE TO BE IN PLACE AND MARKED PRIOR TO REQUESTING SERVICES FOR SURVEYING LAY OUT AND/OR INSPECTIONS. ALL PROPERTY CORNERS AND SURVEY MONUMENTS SHALL BE PRESERVED. IF A PROPERTY CORNER OR

**QUEUING:**  
 \*20 TOTAL QUEUING SPACES ARE PROVIDED



**FACILITIES IMPACTS TABLE**

ESTIMATED TRIPS GENERATED (1 TUNNEL)	
WEEKDAY PEAK PM	78 TRIPS
SATURDAY PEAK	41 TRIPS
QUEUING SPACES	20 SPACES

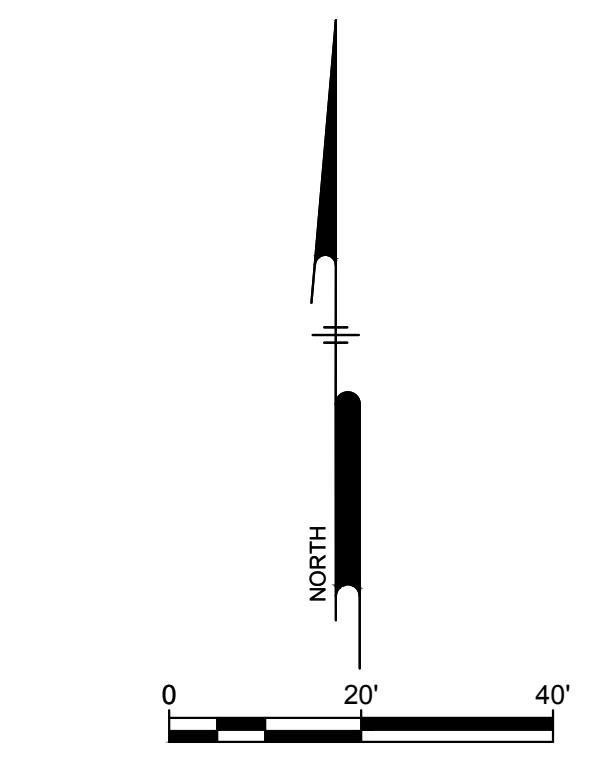
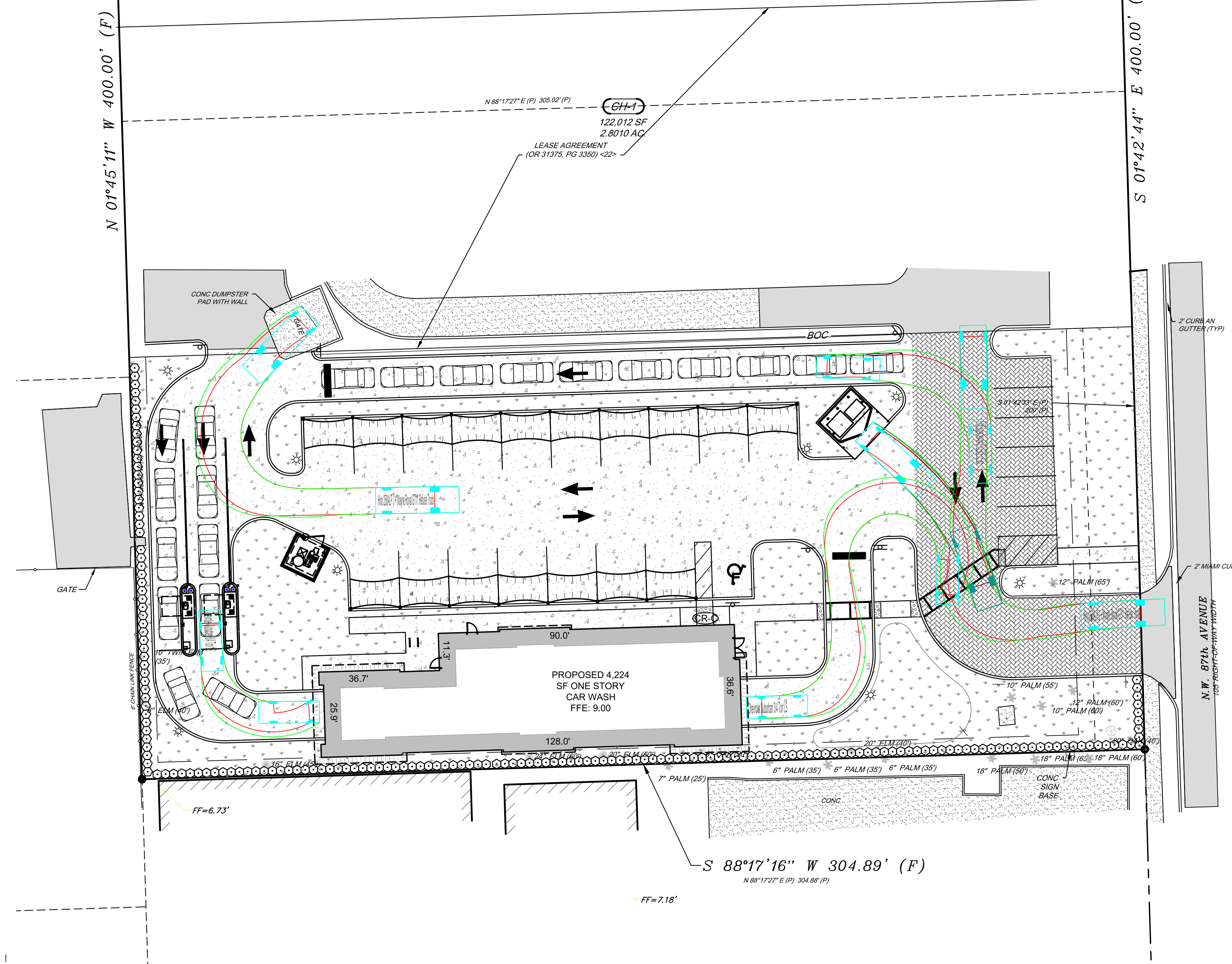
ESTIMATED DEMANDS	
WATER	3,900 GPD
IRRIGATION	300 GPD
SEWER	1,560 GPD

**ZONING REQUIREMENTS - IC - INDUSTRIAL COMMERCIAL**

FUTURE LAND USE CLASSIFICATION - COMMERCIAL  
 CITY OF DORAL LAND DEVELOPMENT CODE - ARTICLE II DIVISION 5 SECTION 5-127  
 PROPOSED DEVELOPMENT AREA: - 39,183 SF (0.90 ACRES)

SECTION	REQUIRED/ALLOWABLE	EXISTING	PROPOSED
	USE REGULATIONS	CAR WASH	VACANT
		CAR WASH	CAR WASH
5.13	MINIMUM LOT SIZE	7,500 SF	39,183 SF
	*MINIMUM FRONT YARD	20 FT	84.5 FT
	MINIMUM SIDE YARD	5 FT	18.6 FT
	MINIMUM REAR YARD	5 FT	139.4 FT
	MAXIMUM BUILDING HEIGHT	128 FT (R-O-W WIDTH)	+/- 25 FT
	MAXIMUM IMPERVIOUS COVERAGE (SF)	31,346 SF	27,037 SF
	MAXIMUM IMPERVIOUS COVERAGE (%)	80%	69.0%
	GROSS FLOOR AREA (SF)	N/A	2,957 SF
	VEHICULAR USE AREA (SF)	N/A	20,874 SF
	MINIMUM OPEN SPACE AREA (SF)	7,837 SF	12,146 SF
MINIMUM OPEN SPACE AREA (%)	20%	31.0%	

PLOTTED: 4/20/2022 10:08 AM BY: Jack Odom  
 PROJECT STATUS:   
 FLOUTYLE: Pennoni VCS.dwg  
 U:\Account\DRIVER\DRVBR22027 - Take 5 Car Wash Miami\DESIGN\_LAYOUTS\CS1000.dwg



- PROPOSED LEGEND**
- PROPOSED CURB LINE
  - PROPOSED WALL
  - PROPOSED BUILDING OUTLINE
  - PROPOSED BUILDING OVERHANG
  - PROPOSED FLUSH CURB
  - PROPOSED FENCE
  - PROPOSED SIGN
  - PROPOSED LIGHT
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED WATER MAIN
  - PROPOSED STORM SEWER
  - PROPOSED SANITARY SEWER
  - PROPOSED UNDERGROUND ELECTRIC
  - PROPOSED UNDERGROUND GAS
  - PROPOSED UNDERGROUND TELCOM LINE
  - PROPOSED AREA DRAIN
  - PROPOSED DRAINAGE INLET
  - PROPOSED DRAINAGE MANHOLE
  - PROPOSED SANITARY MANHOLE
  - PROPOSED PAVERS
  - PROPOSED BAHIA SOD
  - PROPOSED CONCRETE PAVEMENT
  - DIRECTIONAL TRAFFIC ARROWS (NOT PAINTED)

- EXISTING LEGEND**
- PROPERTY LINE
  - PROPERTY ADJOINING
  - LEGAL RIGHT-OF-WAY
  - EASEMENT
  - PROPERTY MARKER
  - EXISTING BUILDING
  - EXISTING CURB
  - EXISTING CURB DEPRESSION
  - EXISTING EDGE OF PAVEMENT
  - EXISTING EDGE OF GRAVEL
  - EXISTING FENCE
  - EXISTING WOOD FENCE
  - EXISTING METAL FENCE
  - EXISTING GUIDE RAIL
  - EXISTING MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING SPOT ELEVATION
  - EXISTING COMMUNICATION, UNDERGROUND
  - EXISTING NATURAL GAS, UNDERGROUND
  - EXISTING POWER, UNDERGROUND
  - EXISTING SANITARY SEWER, UNDERGROUND
  - EXISTING STORM SEWER, UNDERGROUND
  - EXISTING WATER, UNDERGROUND
  - EXISTING OVERHEAD UTILITY
  - EXISTING MANHOLES
  - EXISTING VALVES
  - EXISTING JUNCTION BOX
  - EXISTING POWER, TRANSFORMER
  - EXISTING SANITARY SEWER, CLEAN-OUT
  - EXISTING STORM SEWER, ROOF DRAIN
  - EXISTING STORM SEWER, INLET
  - EXISTING WATER STRUCTURES
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  - EXISTING UTILITY POLE
  - EXISTING GUY POLE
  - BORING LOCATION
  - EXISTING FLAG POLE
  - EXISTING LIGHT
  - EXISTING LIGHT POLE SINGLE ARM



DATE	DESCRIPTION	DELTA
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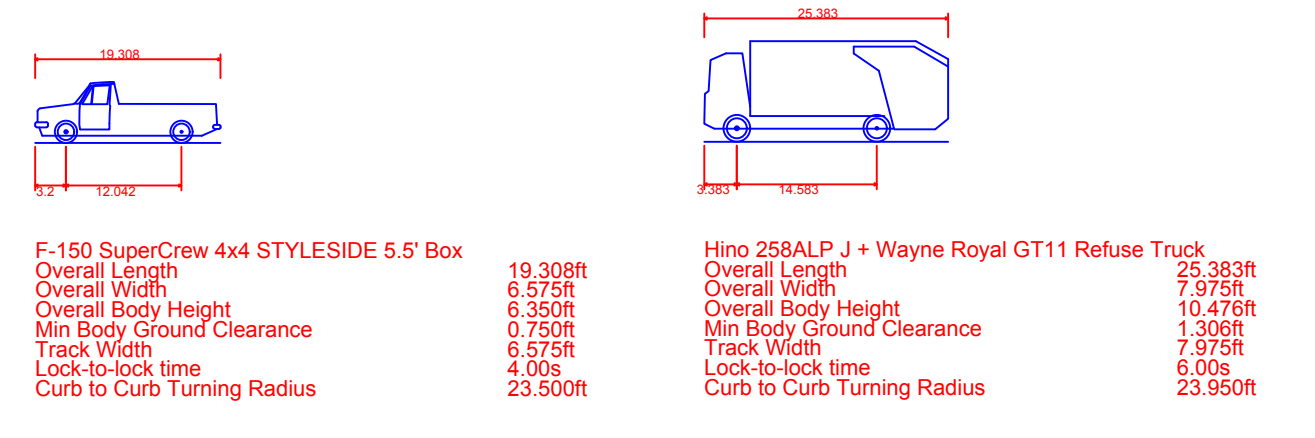
**TAKE 5 CAR WASH**  
1350 NW 87TH AVENUE  
MIAMI, FL

ENGINEER:  
**Pennoni**  
PENNONI ASSOCIATES INC.  
3753 Rio Vista Drive  
Clearwater, FL 34617  
Florida C.O.A. 7819

STAMPS  
Professional Engineer Seal for Michael Jason Sherman, License No. 88424, State of Florida.

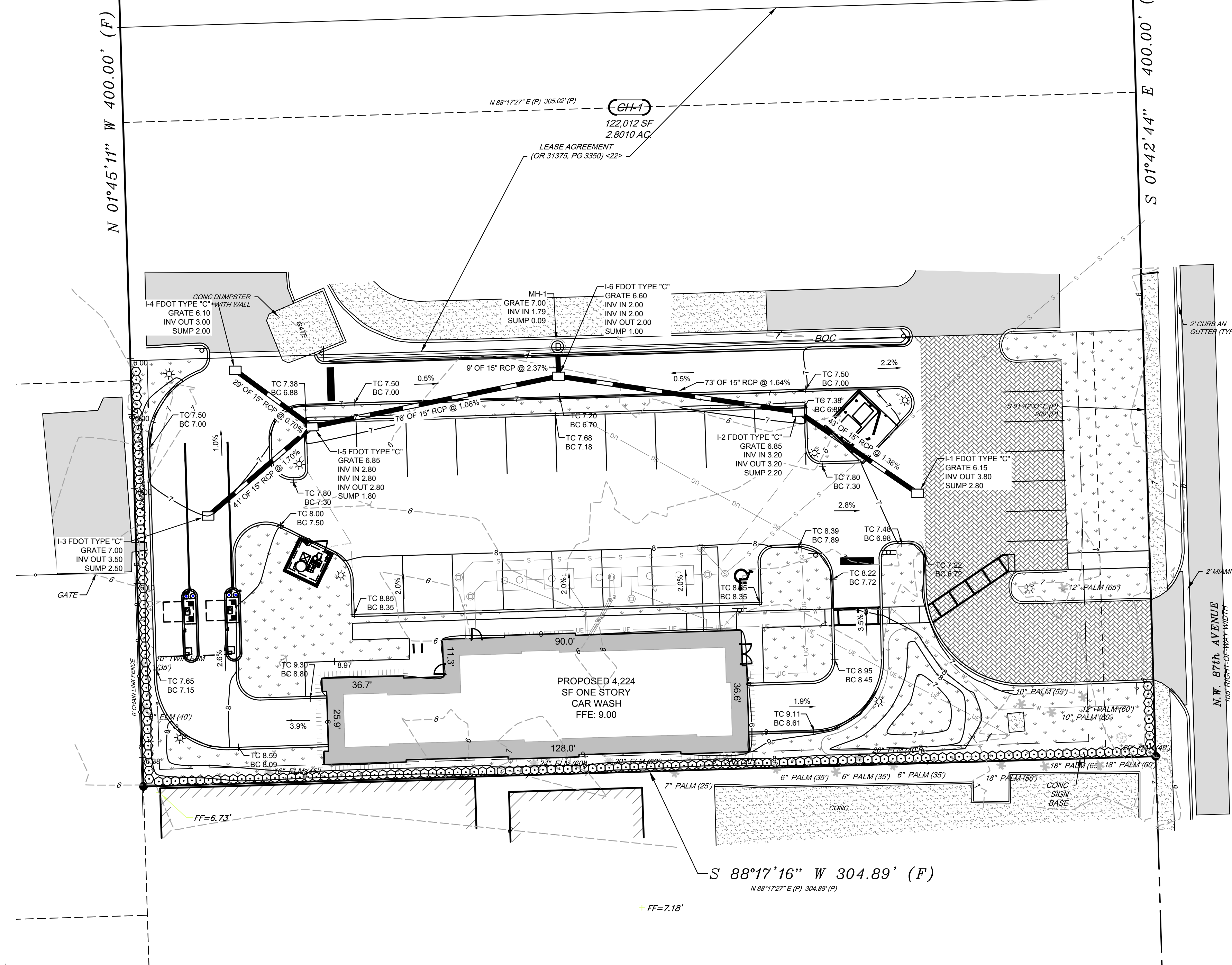
**CIRCULATION PLAN**  
PROJECT NUMBER: **DRVBR22027**  
DATE: 08-01-2022  
SCALE: AS NOTED  
DRAWN: JO  
CHECKED: JS  
SHEET NO.

**CS1200**



**DETAIL- AUTOTURN VEHICLE TRACKING**  
SCALE: NO SCALE

U:\Account\DR\BR\BR22027 - Take 5 Car Wash Miami\DESIGN\_SHEETS\CS1200.dwg  
 PLOTTED: 4/20/2022 9:08 AM BY: Jacki Conm  
 PLOTSTYLE: Pennoni VCS.ctb  
 PROJECT STATUS:



### EXISTING LEGEND

- PROPERTY LINE
- PROPERTY ADJOINING
- LEGAL RIGHT-OF-WAY
- EASEMENT
- PROPERTY MARKER
- EXISTING BUILDING
- EXISTING CURB
- EXISTING CURB DEPRESSION
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING FENCE
- EXISTING WOOD FENCE
- EXISTING METAL FENCE
- EXISTING GUIDE RAIL
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING COMMUNICATION, UNDERGROUND
- EXISTING NATURAL GAS, UNDERGROUND
- EXISTING POWER, UNDERGROUND
- EXISTING SANITARY SEWER, UNDERGROUND
- EXISTING STORM SEWER, UNDERGROUND
- EXISTING WATER, UNDERGROUND
- EXISTING OVERHEAD UTILITY

### PROPOSED LEGEND

- PROPOSED CURB LINE
- PROPOSED WALL
- PROPOSED BUILDING OUTLINE
- PROPOSED BUILDING OVERHANG
- PROPOSED FLUSH CURB
- PROPOSED FENCE
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND GAS
- PROPOSED UNDERGROUND TELCO LINE
- PROPOSED AREA DRAIN
- PROPOSED DRAINAGE INLET
- PROPOSED DRAINAGE MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED PAVERS
- PROPOSED BAHIA SOD
- PROPOSED CONCRETE PAVEMENT
- DIRECTIONAL TRAFFIC ARROWS (NOT PAINTED)

### EXISTING LEGEND (Continued)

- EXISTING MANHOLES
- EXISTING VALVES
- EXISTING JUNCTION BOX
- EXISTING POWER, TRANSFORMER
- EXISTING SANITARY SEWER, CLEAN-OUT
- EXISTING STORM SEWER, ROOF DRAIN
- EXISTING STORM SEWER, INLET
- EXISTING WATER STRUCTURES
- EXISTING TREE LINE
- EXISTING EXISTING TREES
- EXISTING BOLLARD
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING GUY POLE
- BORING LOCATION
- EXISTING FLAG POLE
- EXISTING LIGHT
- EXISTING LIGHT POLE SINGLE ARM

**GRADING NOTES:**

1. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. ALL EXISTING UNDERGROUND UTILITIES SHALL BE REMOVED OR RELOCATED. THE PREPARED SUBGRADE SHALL BE PROOF ROLLED WITH A SMOOTH-DRUM VIBRATING ROLLER TO DELINEATE SOFT/UNSTABLE AREAS AND COMPACT SOILS DISTURBED DURING EXCAVATION OPERATIONS. AREAS WHICH EXHIBIT INSTABILITY SHALL BE UNDERCUT AND REPLACED WITH LOAD-BEARING FILL.
2. MINIMUM PAVEMENT GRADE SHALL BE 1.0% SLOPE UNLESS NOTED OTHERWISE.
3. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
4. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
6. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
7. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
9. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).



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XX-XX-XX		6 X

**TAKE 5 CAR WASH**  
1350 NW 87TH AVENUE  
MIAMI, FL

ENGINEER:

**PENNONI ASSOCIATES INC.**  
3755 NW 75th Street  
Oswego, FL 32772  
Florida C.O.A. 7919

STAMPS

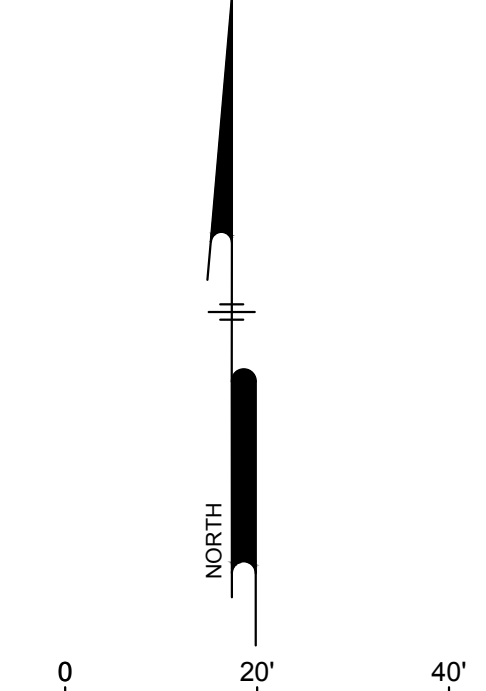
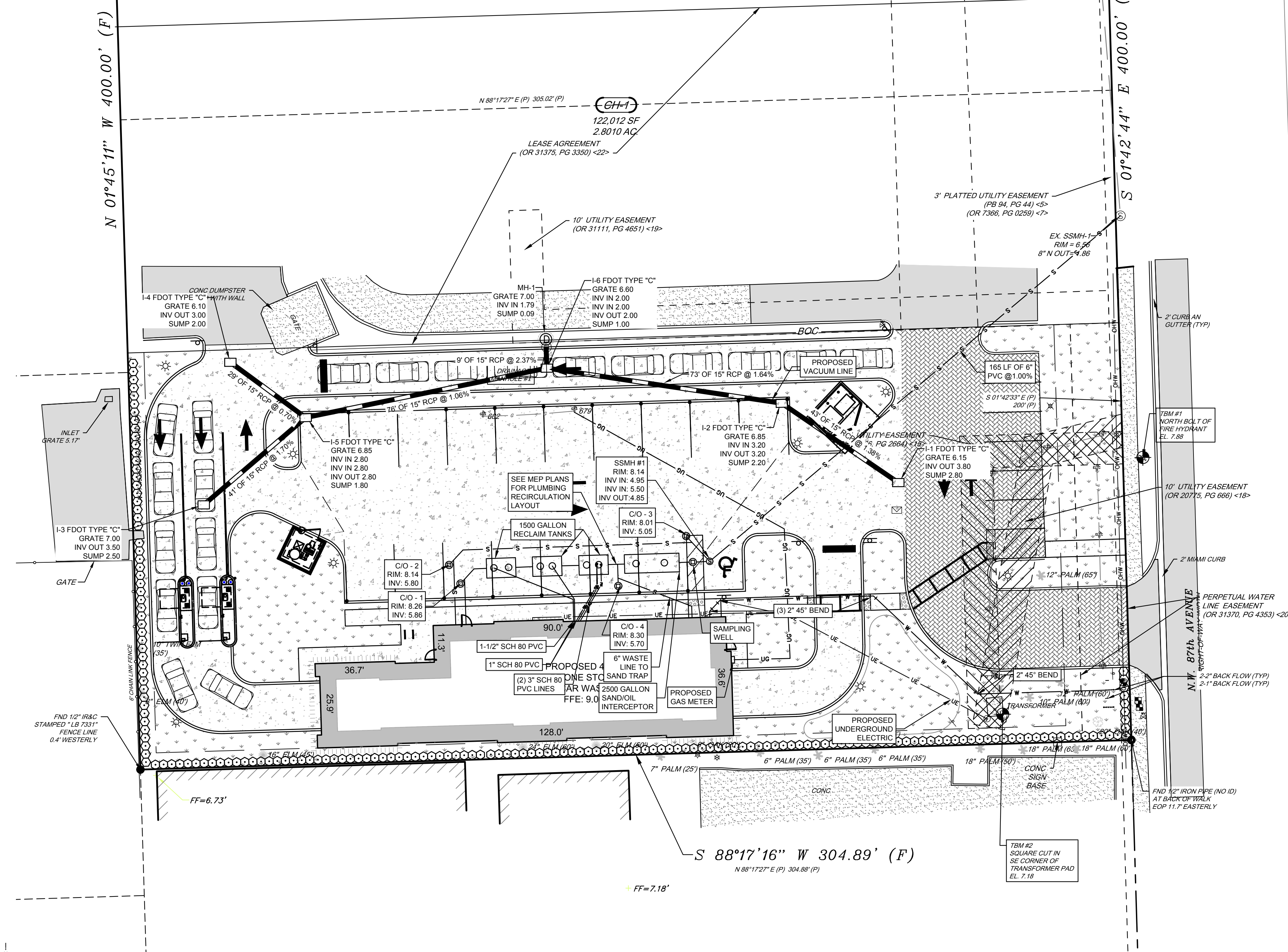
**GRADING AND DRAINAGE PLAN**

PROJECT NUMBER  
**DRVBR22027**

DATE: 08-01-2022  
SCALE: AS NOTED  
DRAWN: JO  
CHECKED: JS  
SHEET NO.

**CS1501**

PLOTTED: 4/20/2023 10:09 AM BY: Jack Odom  
 PROJECT STATUS: R:\PROJECTS\Pennoni\KCS.dwg  
 U:\Accounting\DRIVER\DRVBR22027 - Take 5 Car Wash Miami\DESIGN\DWG\CS1501.dwg



**EXISTING LEGEND**

	PROPERTY LINE
	PROPERTY ADJOINING
	LEGAL RIGHT-OF-WAY
	EASEMENT
	PROPERTY MARKER
	EXISTING BUILDING
	EXISTING CURB
	EXISTING CURB DEPRESSION
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING FENCE
	EXISTING WOOD FENCE
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	EXISTING STORM SEWER, UNDERGROUND
	EXISTING WATER, UNDERGROUND
	EXISTING OVERHEAD UTILITY
	EXISTING MANHOLES
	EXISTING VALVES
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	EXISTING POWER, TRANSFORMER
	EXISTING SANITARY SEWER, CLEAN-OUT
	EXISTING STORM SEWER, ROOF DRAIN
	EXISTING STORM SEWER, INLET
	EXISTING WATER STRUCTURES
	EXISTING TREE LINE
	EXISTING EXISTING TREES
	EXISTING BOLLARD
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING GUY POLE
	BORING LOCATION
	EXISTING FLAG POLE
	EXISTING LIGHT
	EXISTING LIGHT POLE SINGLE ARM

**PROPOSED LEGEND**

	PROPOSED CURB LINE
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	PROPOSED BUILDING OUTLINE
	PROPOSED BUILDING OVERHANG
	PROPOSED FLUSH CURB
	PROPOSED FENCE
	PROPOSED SIGN
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**TAKE 5 CAR WASH**  
 1350 NW 87TH AVENUE  
 MIAMI, FL

**UTILITY NOTES:**

- ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
- ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT JOINTS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING, PAVING, AND COMPACTED SUBGRADE.
- CONTRACTOR SHALL EXCAVATE ONLY AS MUCH TRENCH WHICH PIPE CAN BE INSTALLED AND TRENCH BACKFILLED BY THE END OF EACH WORK DAY.
- ALL UNDERGROUND UTILITY TRENCHES SHALL BE BACKFILLED WITH SAFE CLEAN FILL.
- FLOW PRESSURE TO ALL FIRE HYDRANTS SHALL HAVE MINIMUM 600 GALLONS PER MINUTE AT A MINIMUM RESIDUAL PRESSURE OF 20 POUNDS PER SQUARE INCH.
- THE CONTRACTOR OR OWNER'S REPRESENTATIVE WILL BE RESPONSIBLE FOR OBTAINING AN APPROPRIATELY SIZED TEMPORARY JUMPER ASSEMBLY WITH METER FROM THE CITY OF DORAL UTILITY COLLECTION AND DISTRIBUTION DEPARTMENT, PRIOR TO RECEIVING CITY WATER FOR CONSTRUCTION AND TYPING INTO ANY EXISTING POTABLE WATER MAIN LINES. A BILLING ACCOUNT MUST BE SET UP THROUGH THE CITY'S CUSTOMER BILLING DEPARTMENT PRIOR TO INSTALLATION. A REPRESENTATIVE FROM THE CITY OF DORAL'S DEVELOPMENT SERVICES, MUST BE NOTIFIED 48 HOURS IN ADVANCE OF INSTALLATION AND BE PRESENT TO WITNESS AND RECORD THE INSTALLATION PROCESS. ACCOUNT DOCUMENTATION MUST BE SUBMITTED TO THE SITE DEVELOPMENT AND REVIEW INSPECTOR AT THE TIME OF METER INSTALLATION. AFTER CONSTRUCTION IS COMPLETE AND BEFORE THE TEMPORARY JUMPER AND METER IS REMOVED ALL POTABLE WATER MAINS SHALL BE FLUSHED AND PRESSURE TESTED PER AWWA SECTION C 600 AND DISINFECTED PER AWWA C 651.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE CITY OF DORAL'S UTILITIES COLLECTION/DISTRIBUTION DIVISION A MINIMUM OF 7 DAYS PRIOR TO ANY SHUT DOWN OR DIVERSION OF AN EXISTING WATER MAIN. A 48-HOUR NOTICE IS REQUIRED FOR A PRESSURE TEST, HOT TAP, OR TIE INTO EXISTING UTILITY MAIN, AND PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION. ALSO, THE CONTRACTOR WILL DISTRIBUTE ANY INTERRUPTION OF SERVICES NOTICES TO ALL AFFECTED PARTIES AND THE CITY WILL DISTRIBUTE ALL BOLL WATER AND RECONSTRUCTION NOTICES.
- IF ANY UTILITY WORK (WATER, SEWER AND IRRIGATION) IS PERFORMED AFTER HOURS (SCHEDULED OR UNSCHEDULED) AND THE UTILITY WORK REQUIRES THE PRESENCE OF A CITY OF DORAL UTILITY INSPECTOR THE SUBJECT OVERTIME WILL BE REQUIRED TO BE PAID FOR BY THE CONTRACTOR. A BILL WILL BE CREATED AND ATTACHED TO THE APPROPRIATE PERMIT AND PAYMENT WILL BE REQUIRED BEFORE THE WATER FINAL INSPECTION IS COMPLETED.
- ALL UTILITY MAIN EXTENSIONS AND UTILITY MAIN REPLACEMENTS ARE REQUIRED TO BE A MINIMUM 6" MAIN. ALL SERVICE LATERALS 3" AND LARGER WILL REQUIRE A MINIMUM 6" TAP WITH 6" GATE VALVE AT THE CONNECTION POINT TO THE UTILITY MAIN WITH THE EXCEPTION OF TAPS ON MAINS SMALLER THAN 6".
- THE CONTRACTOR IS PROHIBITED FROM TURNING OFF ANY EXISTING MAIN LINE VALVES. THESE WILL BE TURNED OFF BY A REPRESENTATIVE OF THE CITY OF DORAL UTILITY DEPARTMENT AT THE CONTRACTORS ARRANGED TIME AND DATE.
- ALL EXISTING UTILITY SERVICE CONNECTIONS THAT WILL NOT BE UTILIZED FOR THIS PROJECT SHALL BE ABANDONED AT THE MAIN OR POINT AGREED UPON BY THE UTILITY INSPECTOR, PER CITY OF DORAL SPECIFICATIONS. WATER AND IRRIGATION SERVICES MUST BE ABANDONED AT THE MAIN. SEWER LATERALS MUST BE CAPPED AT THE ROW WITH AN APPROVED LOCATOR INSTALLED. A VISUAL INSPECTION MUST BE COMPLETED BY A CITY OF DORAL UTILITIES INSPECTOR.
- THE ENGINEERS ESTIMATED FLOW DEMANDS FOR POTABLE WATER, IRRIGATION WATER AND SANITARY SEWER MUST BE PROVIDED ON THE UTILITY PAGE OF THE SITE PLANS.
- THE CONTRACTOR WILL NEED TO ADJUST THE EXISTING UTILITIES AFFECTED BY THE NEWLY PROPOSED FINISHED GRADE AT THEIR EXPENSE. THESE ITEMS INCLUDE BUT NOT LIMITED TO: VALVE BOXES, VALVE PADS, VALVE STEM EXTENSIONS, SERVICE CONNECTIONS AND ACCESSORIES, BACKFLOW PREVENTION DEVICES, METER BOXES, FIRE HYDRANTS, MANHOLE COVERS AND/OR ADJUSTMENT RINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT ADEQUATE DEPTHS AND CLEARANCES EXIST TO MAKE THE SYSTEM HYDRAULICS WORK PROPERLY. ANY CHANGES TO EXISTING UTILITIES MUST MEET THE CITY OF DORAL SPECIFICATIONS. DISINFECTION AND RE-SAMPLING WILL BE REQUIRED WHEN ANY EXISTING POTABLE WATER MAIN OR SERVICE IS DISTURBED AND IS THE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
- ALL FIRE LINES AND PRIVATE HYDRANTS WILL REQUIRE THE INSTALLATION OF AN APPROVED DDCV ASSEMBLY INSTALLED AS CLOSE TO THE ROW AS POSSIBLE WITHIN THE PUE. A FIRE HYDRANT RESPONSIBILITY AGREEMENT WILL BE REQUIRED FOR ALL PRIVATE FIRE HYDRANTS. ALL ABOVE GROUND ASSEMBLIES, PIPE, AND FITTINGS MUST BE PAINTED PER CITY OF DORALS TECHNICAL SPECIFICATIONS PROTECTIVE COATINGS SECTION.
- ALL BACKFLOW CERTIFICATIONS MUST BE EMAILED TO THE ASSIGNED UTILITY INSPECTOR.
- ANY WORK OR MATERIALS WHICH DO NOT CONFORM TO THE CITY OF DORAL'S SPECIFICATIONS OR ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF THE CITY OF BELL VIEW UTILITY INSPECTORS OR REPRESENTATIVES IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE STANDARD MINIMUM COVER FOR A WATER, IRRIGATION OR FORCE MAIN, WHICH IS NOT UNDER PAVEMENT, IS 36" BELOW FINISHED GRADE, OR 42" BELOW THE EDGE OF PAVEMENT. THE MINIMUM COVER FOR WATER MAINS PLACED UNDER PAVEMENT IS 36". PLEASE DEFER TO THE UTILITY DESIGN PROCEDURES MANUAL.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO DEWATER TRENCH AND SECURE EXCAVATIONS. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS ASSOCIATED WITH THE CITY OF DORALS UTILITY DESIGN PROCEDURES MANUAL TECHNICAL SPECIFICATIONS. ALL DEWATERING SHALL COMPLY WITH THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT AND ANY AGENCY WITH JURISDICTION.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES ON SITE. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR HAS SOLE RESPONSIBILITY TO LOCATE AND PROTECT UNDERGROUND UTILITIES IN THE PROJECT AREA. THE CONTRACTOR SHALL HAVE ALL UTILITIES IDENTIFIED AND MARKED PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA BEFORE BEGINNING CONSTRUCTION AND BE RESPONSIBLE FOR PROTECTION OF ON-SITE UTILITIES INCLUDING LOCATES DURING CONSTRUCTION. ANY UTILITIES THAT ARE DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE USING CITY APPROVED MATERIALS AND MUST BE REPORTED TO THE CITY OF DORALS UTILITIES COLLECTION/DISTRIBUTION DEPARTMENT. ALL REPAIRS MUST BE INSPECTED BY A CITY UTILITIES INSPECTOR PRIOR TO BACKFILL AND RESTORATION. IF THE CONTRACTOR IS UNABLE TO MAKE THE NECESSARY REPAIRS, THE CONTRACTOR WILL BE HELD LIABLE FOR COSTS ASSOCIATED WITH THE REPAIRS BY CITY PERSONNEL.
- THE CONTRACTOR SHALL ADJUST (AS REQUIRED) PIPELINE ALIGNMENTS HORIZONTALLY AND/OR VERTICALLY TO AVOID CONFLICTS WITH ACTUAL FIELD CONDITIONS AS UNCOVERED DURING CONSTRUCTION. HORIZONTAL AND VERTICAL SEPARATION SHALL CONFORM TO THE CITY OF DORAL DESIGN PROCEDURES MANUAL SECTIONS.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND UPDATED SET OF AS-BUILT DRAWINGS AT ALL TIMES AND PROVIDE ONE COPY TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION. ACCEPTANCE OF THE COMPLETED UTILITY SYSTEM WILL NOT BE GIVEN FINAL APPROVAL BY THE UTILITIES DEPARTMENT UNTIL AS-BUILT PLANS HAVE BEEN SUBMITTED AND APPROVED BY THE ENGINEER OF RECORD.

**FACILITIES IMPACTS TABLE**

ESTIMATED TRIPS GENERATED (1 TUNNEL)	
WEEKDAY PEAK PM	78 TRIPS
SATURDAY PEAK	41 TRIPS
ESTIMATED DEMANDS	
WATER	3,900 GPD
IRRIGATION	300 GPD
SEWER	1,560 GPD

ENGINEER:



**PENNONI ASSOCIATES INC.**  
 5355 NW 15th Drive  
 Ocala, FL 32772  
 Florida CEA, 7919

STAMPS



**UTILITY PLAN**

PROJECT NUMBER  
**DRVBR22027**

DATE 08-01-2022  
 SCALE AS NOTED  
 DRAWN JO  
 CHECKED JS  
 SHEET NO

**CS1701**



**RECEIVED**  
By Stephanie Puglia at 10:43 am, Apr 24, 2023



DATE	DESCRIPTION	DELTA
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**TAKE 5 CAR WASH**

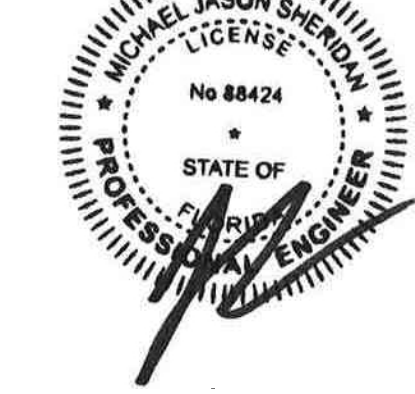
1350 NW 87TH AVENUE  
MIAMI, FL

ENGINEER:



**PENNONI ASSOCIATES INC.**  
3935 NW 10th Street  
Ocala, FL 34472  
Florida C.O.C. 7919

STAMPS



**LANDSCAPE PLAN**

PROJECT NUMBER  
**DRVBR22027**

DATE: 08-01-2022  
SCALE: AS NOTED  
DRAWN: JO  
CHECKED: JS  
SHEET NO.

**CS2001**

**EXISTING LEGEND**

- PROPERTY LINE
- PROPERTY ADJOINING
- LEGAL RIGHT-OF-WAY
- EASEMENT
- PROPERTY MARKER
- EXISTING BUILDING
- EXISTING CURB
- EXISTING CURB DEPRESSION
- EXISTING EDGE OF PAVEMENT
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- EXISTING WATER, UNDERGROUND
- EXISTING OVERHEAD UTILITY

**EXISTING MANHOLES**

- EXISTING VALVES
- EXISTING JUNCTION BOX
- EXISTING POWER, TRANSFORMER
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- BORING LOCATION
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- EXISTING LIGHT
- EXISTING LIGHT POLE SINGLE ARM

**PROPOSED LEGEND**

- PROPOSED CURB LINE
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- PROPOSED PAVERS
- PROPOSED BAHIA SOD
- PROPOSED CONCRETE PAVEMENT
- DIRECTIONAL TRAFFIC ARROWS (NOT PAINTED)

**LANDSCAPE LEGEND**

Zoning District IC Net Lot Area: 0.90 Acres or 39,183 SF

**OPEN SPACE**

	REQUIRED	PROVIDED
A. Square feet of open space required by Chp. 71, as indicated on site plan: Net Lot area = 39,183 x 20% =	7,837 SF	8,266 SF
B. Square feet of parking lot open space required by Chp 18A, as indicated on site plan: The number of parking spaces = 25 x 10 SF per parking space =	250 SF	3,208 SF
C. Total SF of landscaped open space required by Chp. 71 = A + B	8,087 SF	11,474 SF

**LAWN AREA CALCULATION**

	REQUIRED	PROVIDED
A. Total square feet of landscape open space required by Chp. 71 =	8,087 SF	
B. Maximum lawn area permitted = 20% x required landscape open space =	1,607 SF	- SF

Note: Very dry tolerant grasses and low growing native plants, including grasses and forbs, as referenced in the Landscape Manual, may be used as groundcover beyond the maximum permitted grass area specified.

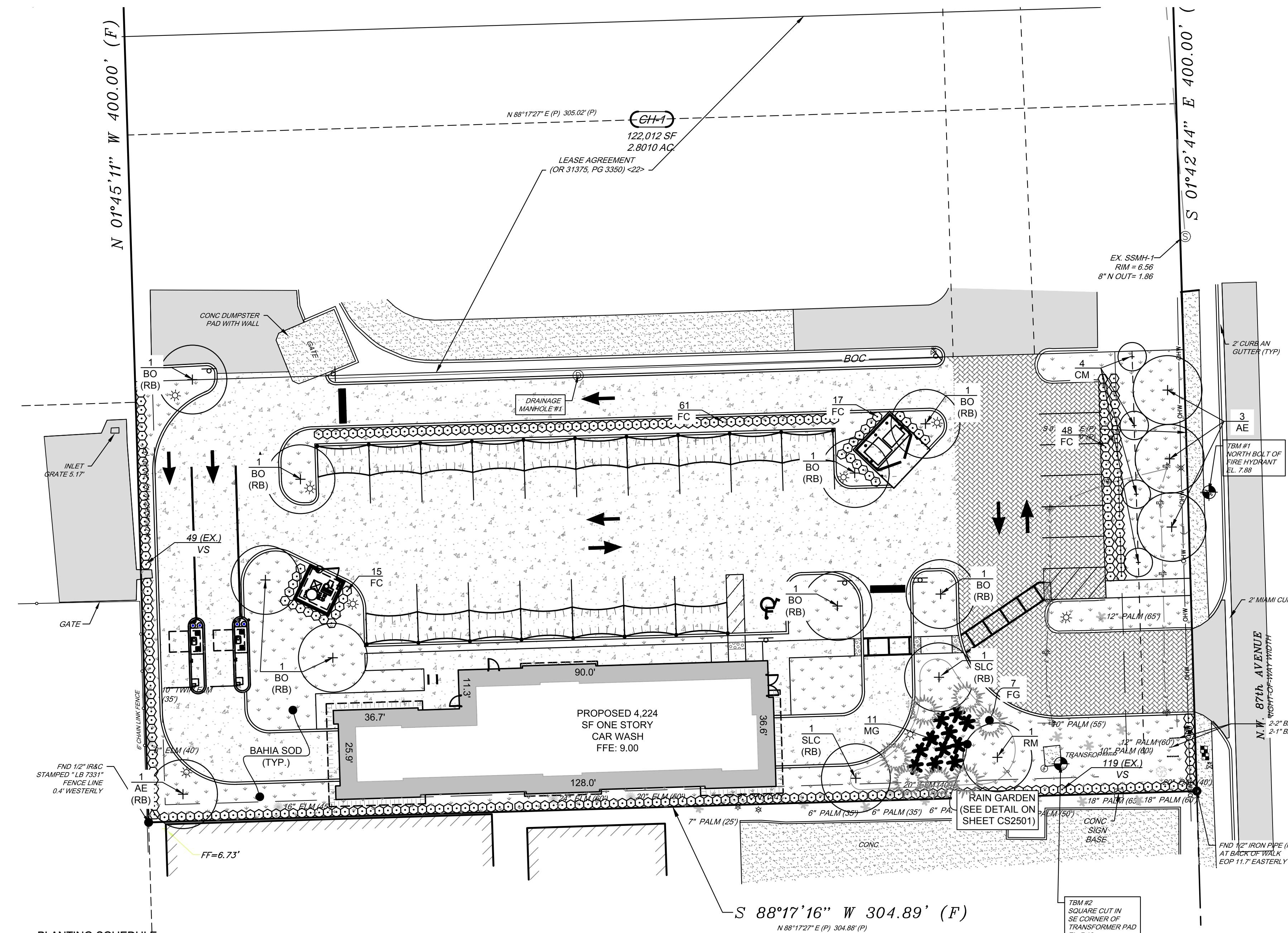
**TREES**

	REQUIRED	PROVIDED
A. The number of site trees required per net lot area = 14 site trees per net lot area less the existing number of trees that meet minimum requirements = 18 existing trees	14 trees	29 trees
B. 30% palm trees allowed (two palms = one tree) =	5 "trees"	0 "trees"
C. Percentage of native trees required = the number of trees provided x 30% =	5 trees	29 trees
Percentage of low maintenance and drought tolerant trees = provided trees x 50% =	15 trees	29 trees
D. Street trees (max. average spacing of 35' O.C.):	0 trees	- trees
0 linear feet along street / 35 =	- trees	- trees
E. Street trees located directly beneath power lines (max. average spacing of 25' O.C.):	6 trees	8 trees
128 linear feet along street / 25 =	- trees	- trees
F. Total number of trees provided: required site trees + street trees =		

**SHRUBS**

	REQUIRED	PROVIDED
A. The total number of trees required 14 x 10 = the number of shrubs required	140 shrubs	233 shrubs
B. The number of shrubs required x 50% = the number of native shrubs required	70 shrubs	233 shrubs

**IRRIGATION PLAN**  
Required by Chp. 71:  
Auto Irrigation   x  



**PLANTING SCHEDULE**

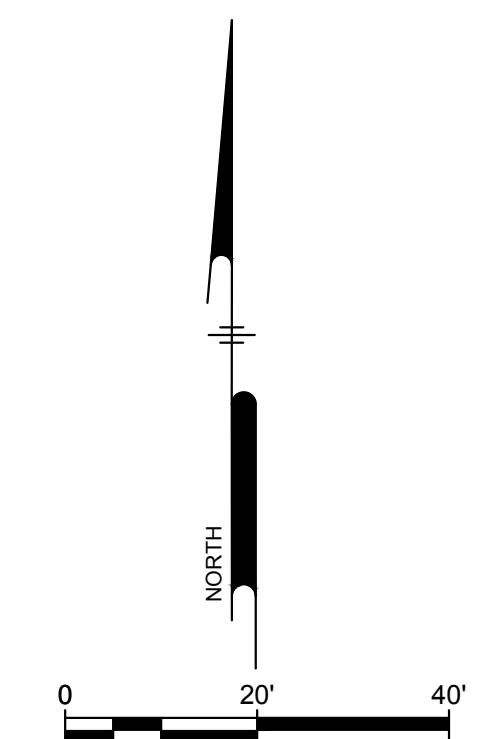
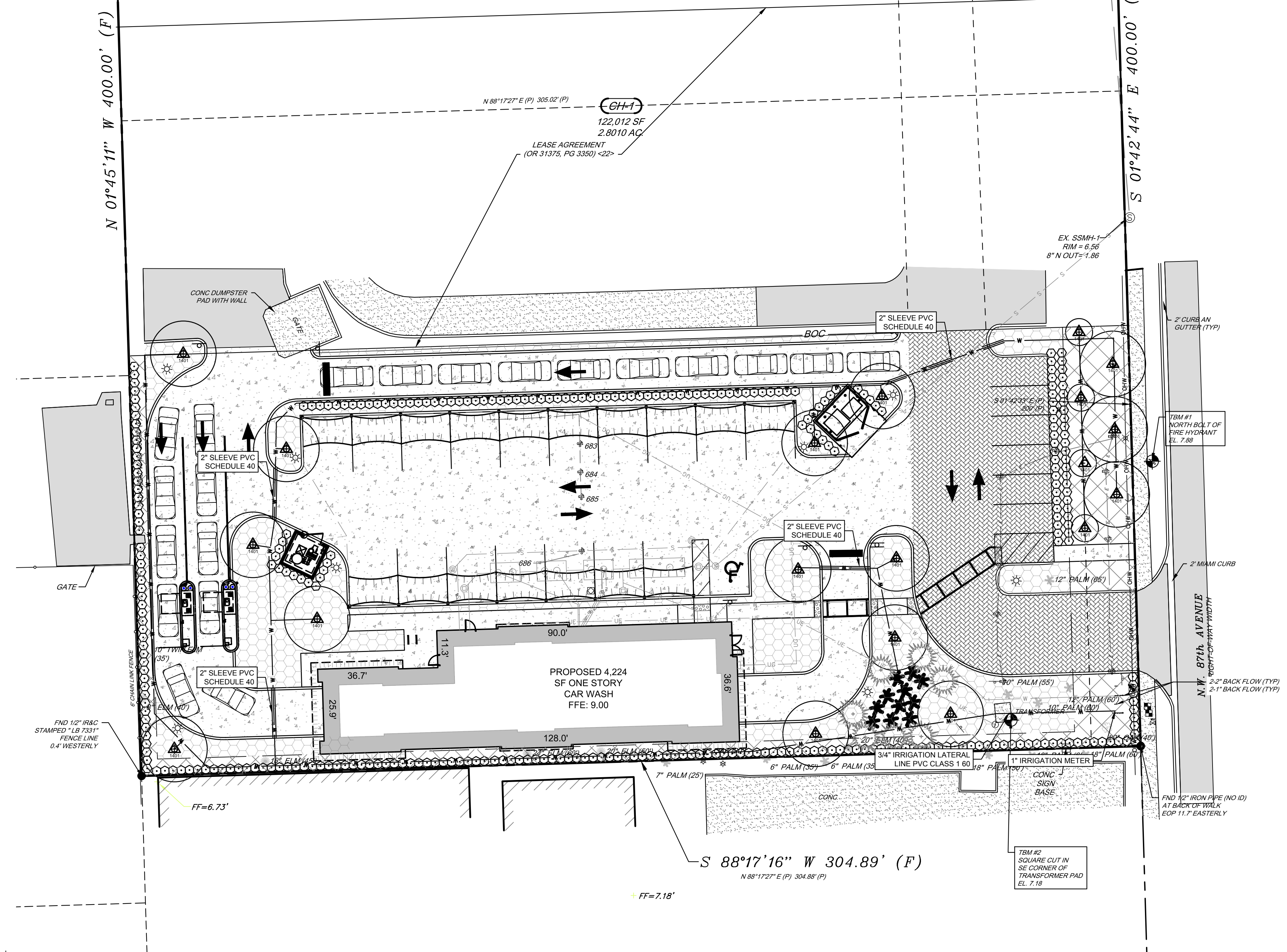
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	MIN. INITIAL SIZE	MEASURED AT HEIGHT	CONTAINER SIZE	NOTES
CANOPY TREES							
BO	7	QUERCUS	BAY OAK	4" Caliper / 14' ht.	40' - 50'	30 gal.	
AE	4	ULMUS AMERICANA	AMERICAN ELM	4" Caliper / 14' ht.	30' - 60'	30 gal.	
RM	1	ACER RUBRUM	RED MAPLE	4" Caliper / 14' ht.	40'-70'	30 gal.	
UNDERSTORY TREES							
CM	4	LAGERSTROEMIA	CREPE MYRTLES	3" Caliper / 10' ht.	18' - 25'	25 gal.	
SLC	2	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	3" Caliper / 10' ht.	25'	25 gal.	
SHRUBS							
FC	138	CLUSIA ROSEA	FLORIDA CLUSIA	18"	36"	Min. 3 gal.	NATIVE, SPACED 30" O.C.
VS	167 (EX)	VIBURNUM SUSPENSUM	SANDANKWA	18"	36"	Min. 3 gal.	NATIVE, SPACED 30" O.C.
GRASS							
MG	11	MUHLENBERGIA CAPILLARIS	MUHLY GRASS	18"	36"	Min. 3 gal.	NATIVE, SPACED 36" O.C.
FG	7	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	18"	48"	Min. 3 gal.	NATIVE, SPACED 48" O.C.
SOD							
SA	11,474 SF	STENOTAPHRUM SECUNDATUM	BAHIA SOD	N/A	N/A	N/A	Wherever used, sod shall be installed with no gaps or overlaps, so as to present a finished appearance and prohibit erosion of the planted area

**REQUIRED SITE LANDSCAPING**

CHAPTER/SECTION	REQUIRED	PROPOSED
71.183	BUFFER YARD CALCULATIONS	BUFFER YARD DESIGN: GENERAL COMMERCIAL TYPE 7 (ISR 0.66-0.80) - GENERAL COMMERCIAL TYPE 7 (ISR 0.66-0.80) (SURROUNDING NORTH, SOUTH, AND WEST PROPERTIES) = BUFFER DESIGN TYPE 0
71.188	PARKING LOT	PLANTING MATERIAL AT TIME OF PLANTING SHALL BE EITHER A MINIMUM HEIGHT OF 18 INCHES WITH A MAXIMUM AVERAGE SPACING OF 30 INCHES ON CENTER, OR A MINIMUM HEIGHT OF 36 INCHES WITH A MAXIMUM AVERAGE SPACING OF 48 INCHES ON CENTER.
71.193	LANDSCAPING AND BUFFERS	PARKING LOT BUFFERS: ALL PARKING LOTS ADJACENT TO A RIGHT-OF-WAY OR PRIVATE STREET SHALL BE SCREENED BY A CONTINUOUS PLANTING AND/OR THREE-FOOT HIGH WALL WITH A SEVEN-FOOT LANDSCAPED STRIP INCORPORATING SAID PLANTING AND/OR WALL ON PRIVATE PROPERTY.

- LANDSCAPE NOTES:**
- EACH CANOPY, ACCENT TREE, PALM TREE, AND SHRUBS ARE REQUIRED TO HAVE A 2-INCH LAYER OF ORGANIC MULCH NO LESS THAN 36-INCHES BEYOND ITS TRUNK IN ALL DIRECTIONS
  - CANOPY TREES PLANTED WITHIN 7 FEET OF ANY ROADWAY, SIDEWALK, OR PUBLIC UTILITY MUST HAVE A 24" ROOT BARRIER MATERIAL INSTALLED
  - ROOT BARRIER TO BE INSTALLED ON TREES MARKED (RB)
  - SOD ALL AREAS DISTURBED BY CONSTRUCTION NOT OTHERWISE PAVED OR PLANTED. RESTORE AND SOD ALL RIGHT OF WAY AREAS DISTURBED BY CONSTRUCTION.
  - PLANTS INSTALLED SHALL CONFORM TO, OR EXCEED, THE MINIMUM STANDARDS FOR FLORIDA NO. 1 AS PROVIDED IN THE MOST CURRENT EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS," PARTS I AND II, PREPARED BY THE STATE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES
  - PLANTING MATERIAL AT TIME OF PLANTING SHALL BE EITHER A MINIMUM HEIGHT OF 18 INCHES WITH A MAXIMUM AVERAGE SPACING OF 30 INCHES ON CENTER, OR A MINIMUM HEIGHT OF 36 INCHES WITH A MAXIMUM AVERAGE SPACING OF 48 INCHES ON CENTER.

PLOTTED: 4/20/2023 9:09 AM BY: Jack Odom PROJECT STATUS: PLOTSTYLE: Pennon VSS.dwg  
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**PROPOSED LEGEND**

[Symbol]	PROPOSED CURB LINE
[Symbol]	PROPOSED WALL
[Symbol]	PROPOSED BUILDING OUTLINE
[Symbol]	PROPOSED BUILDING OVERHANG
[Symbol]	PROPOSED FLUSH CURB
[Symbol]	PROPOSED FENCE
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED LIGHT
[Symbol]	PROPOSED MAJOR CONTOUR
[Symbol]	PROPOSED MINOR CONTOUR
[Symbol]	PROPOSED WATER MAIN
[Symbol]	PROPOSED STORM SEWER
[Symbol]	PROPOSED SANITARY SEWER
[Symbol]	PROPOSED UNDERGROUND ELECTRIC
[Symbol]	PROPOSED UNDERGROUND GAS
[Symbol]	PROPOSED UNDERGROUND TELCOM LINE
[Symbol]	PROPOSED AREA DRAIN
[Symbol]	PROPOSED DRAINAGE INLET
[Symbol]	PROPOSED DRAINAGE MANHOLE
[Symbol]	PROPOSED SANITARY MANHOLE
[Symbol]	PROPOSED PAVERS
[Symbol]	PROPOSED BAHIA SOD
[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	DIRECTIONAL TRAFFIC ARROWS (NOT PAINTED)

**EXISTING LEGEND**

[Symbol]	PROPERTY LINE
[Symbol]	PROPERTY ADJOINING
[Symbol]	LEGAL RIGHT-OF-WAY
[Symbol]	EASEMENT
[Symbol]	PROPERTY MARKER
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING CURB
[Symbol]	EXISTING CURB DEPRESSION
[Symbol]	EXISTING EDGE OF PAVEMENT
[Symbol]	EXISTING EDGE OF GRAVEL
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING WOOD FENCE
[Symbol]	EXISTING METAL FENCE
[Symbol]	EXISTING GUIDE RAIL
[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING COMMUNICATION, UNDERGROUND
[Symbol]	EXISTING NATURAL GAS, UNDERGROUND
[Symbol]	EXISTING POWER, UNDERGROUND
[Symbol]	EXISTING SANITARY SEWER, UNDERGROUND
[Symbol]	EXISTING STORM SEWER, UNDERGROUND
[Symbol]	EXISTING WATER, UNDERGROUND
[Symbol]	EXISTING OVERHEAD UTILITY
[Symbol]	EXISTING MANHOLES
[Symbol]	EXISTING VALVES
[Symbol]	EXISTING JUNCTION BOX
[Symbol]	EXISTING POWER, TRANSFORMER
[Symbol]	EXISTING SANITARY SEWER, CLEAN-OUT
[Symbol]	EXISTING STORM SEWER, ROOF DRAIN
[Symbol]	EXISTING STORM SEWER, INLET
[Symbol]	EXISTING WATER STRUCTURES
[Symbol]	EXISTING TREE LINE
[Symbol]	EXISTING EXISTING TREES
[Symbol]	EXISTING BOLLARD
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING GUY POLE
[Symbol]	BORING LOCATION
[Symbol]	EXISTING FLAG POLE
[Symbol]	EXISTING LIGHT
[Symbol]	EXISTING LIGHT POLE SINGLE ARM

- IRRIGATION NOTES:**
- CONTRACTOR TO RECONNECT IRRIGATION BUBBLERS TO EXISTING TREES DESIGNATED TO REMAIN.
  - ALL LANDSCAPING SHALL CONTAIN AN AUTOMATIC IRRIGATION SYSTEM.
  - ALL REQUIRED IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE APPLICATION OF WATER TO IMPERVIOUS AREAS, INCLUDING ROADS, DRIVES, AND OTHER VEHICLE AREAS. REQUIRED IRRIGATION SHALL ALSO BE DESIGNED TO AVOID DAMAGE TO EXISTING NATIVE VEGETATION FROM OVER WATERING OR FROM PHYSICAL CONFLICTS WITH PLANT ROOTS.
  - THE IRRIGATION SYSTEM SHALL BE PROPERLY MAINTAINED AND OPERATED CONSISTENT WITH WATERING SCHEDULES ESTABLISHED BY THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT OR THE CITY OF DORAL, WHICHEVER IS MORE RESTRICTIVE. EXISTING NATIVE PLANTS ARE EXEMPT FROM THIS REQUIREMENT.
  - AUTOMATIC CONTROL SYSTEMS SHALL BE EQUIPPED WITH AN OPERABLE RAIN SENSOR OR OTHER DEVICES, SUCH AS SOIL MOISTURE SENSORS, TO PREVENT UNNECESSARY IRRIGATION.
  - CONTRACTOR TO SUBMIT FULL IRRIGATION DESIGN, MEETING THE REQUIRED PRECIPITATION RATES IN VEGETATED AREAS TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION

**IRRIGATION LEGEND:**

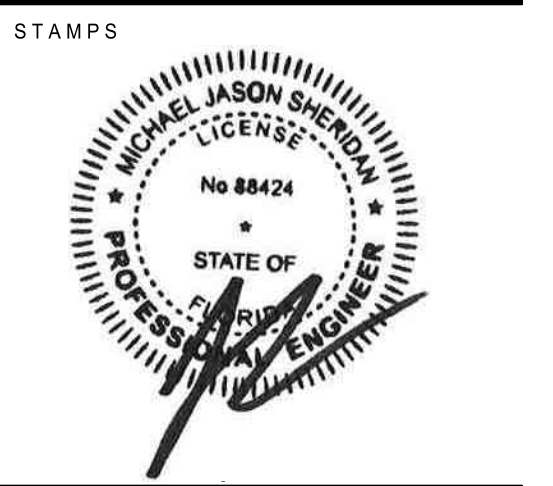
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[Symbol]	4'-15' RADIUS, TRIANGULAR SPACED, HEAD TO HEAD COVERAGE.	1.9 in/h
[Symbol]	RAIN BIRD 1806-PRS30 12' RADIUS	19



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XX-XX-XX		4 X
XX-XX-XX		5 X
XX-XX-XX		6 X

**TAKE 5 CAR WASH**  
1350 NW 87TH AVENUE  
MIAMI, FL

ENGINEER:  
**Pennoni**  
PENNONI ASSOCIATES INC.  
595 SW 10th Street  
Coral Gables, FL 33134  
Florida CEA: 7819



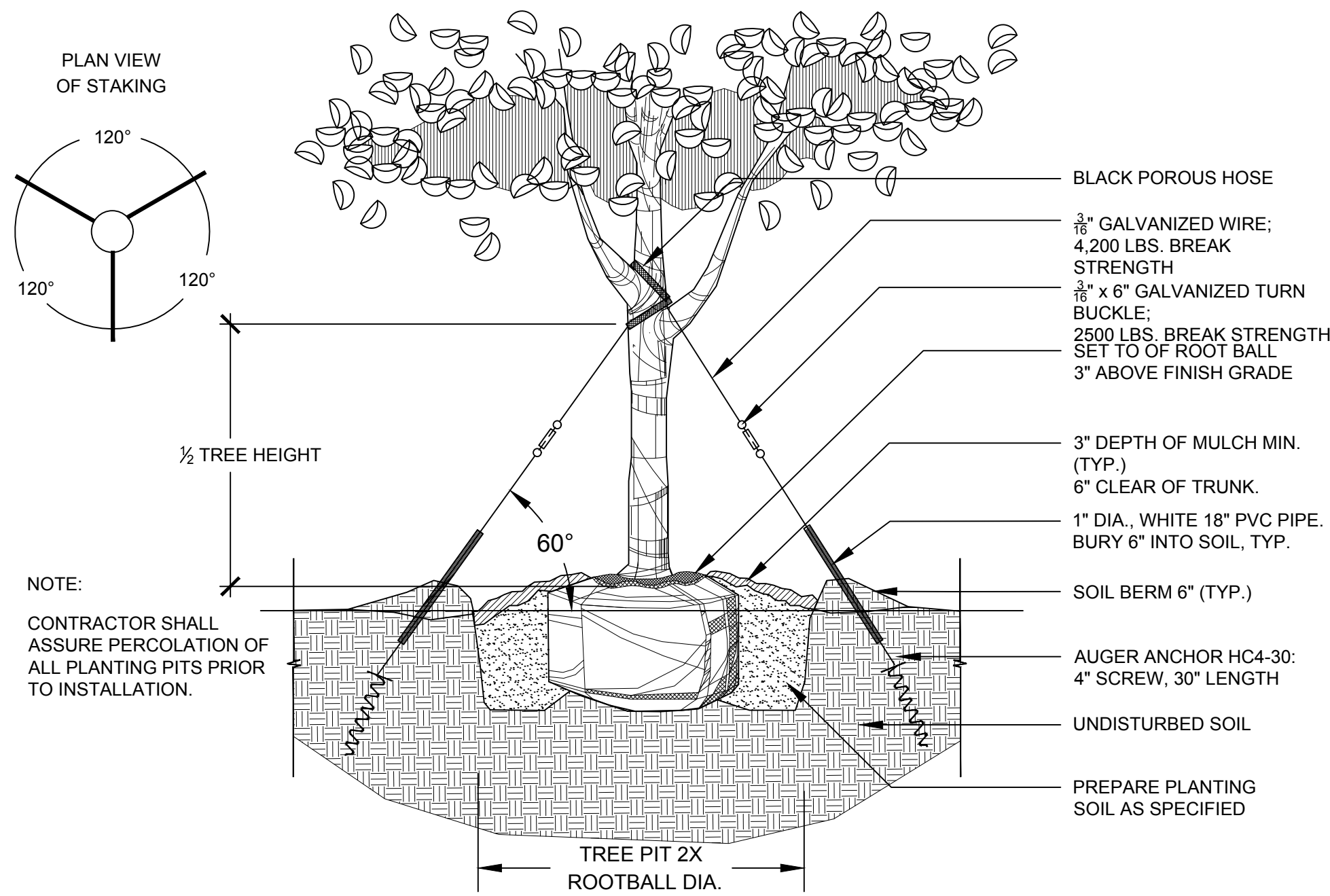
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PROJECT NUMBER  
**DRVBR22027**

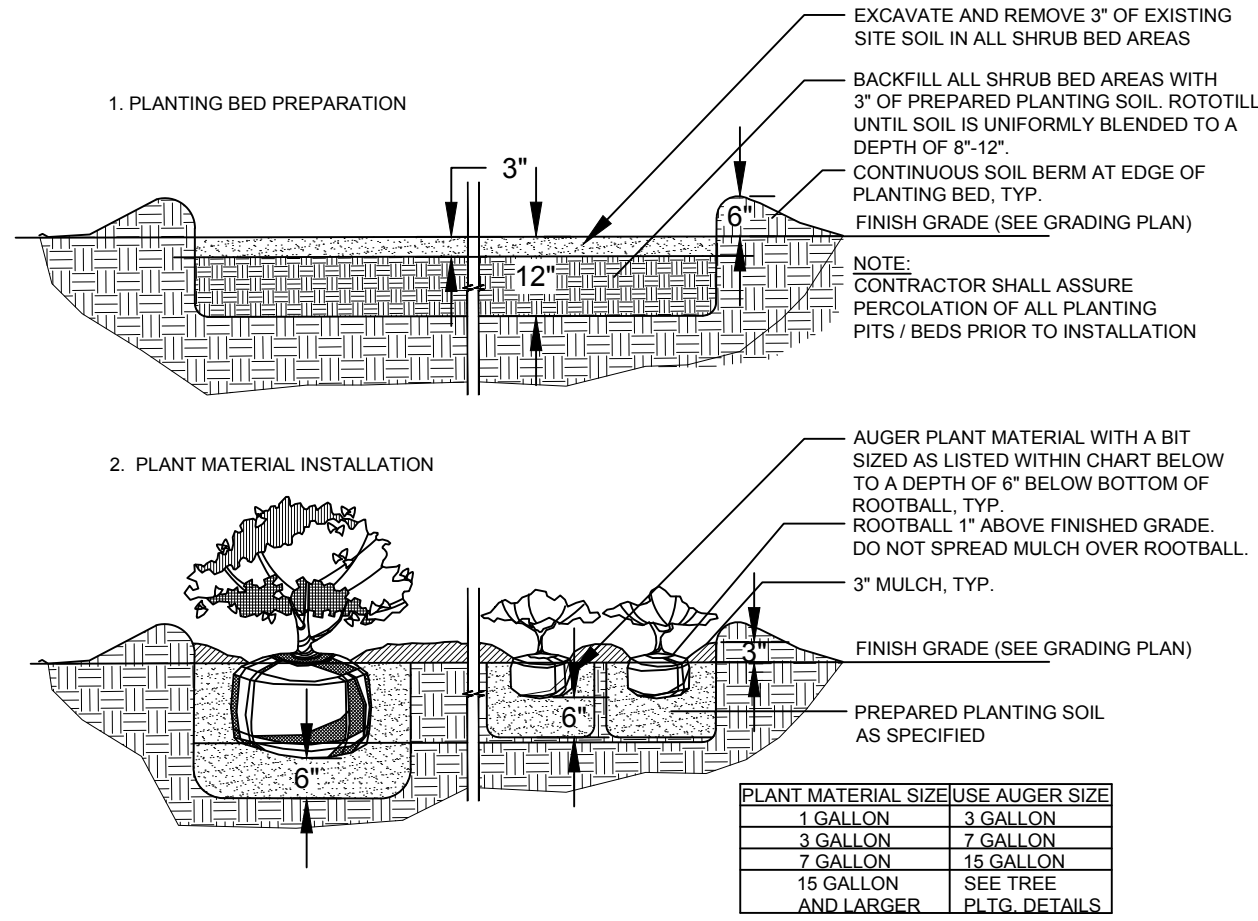
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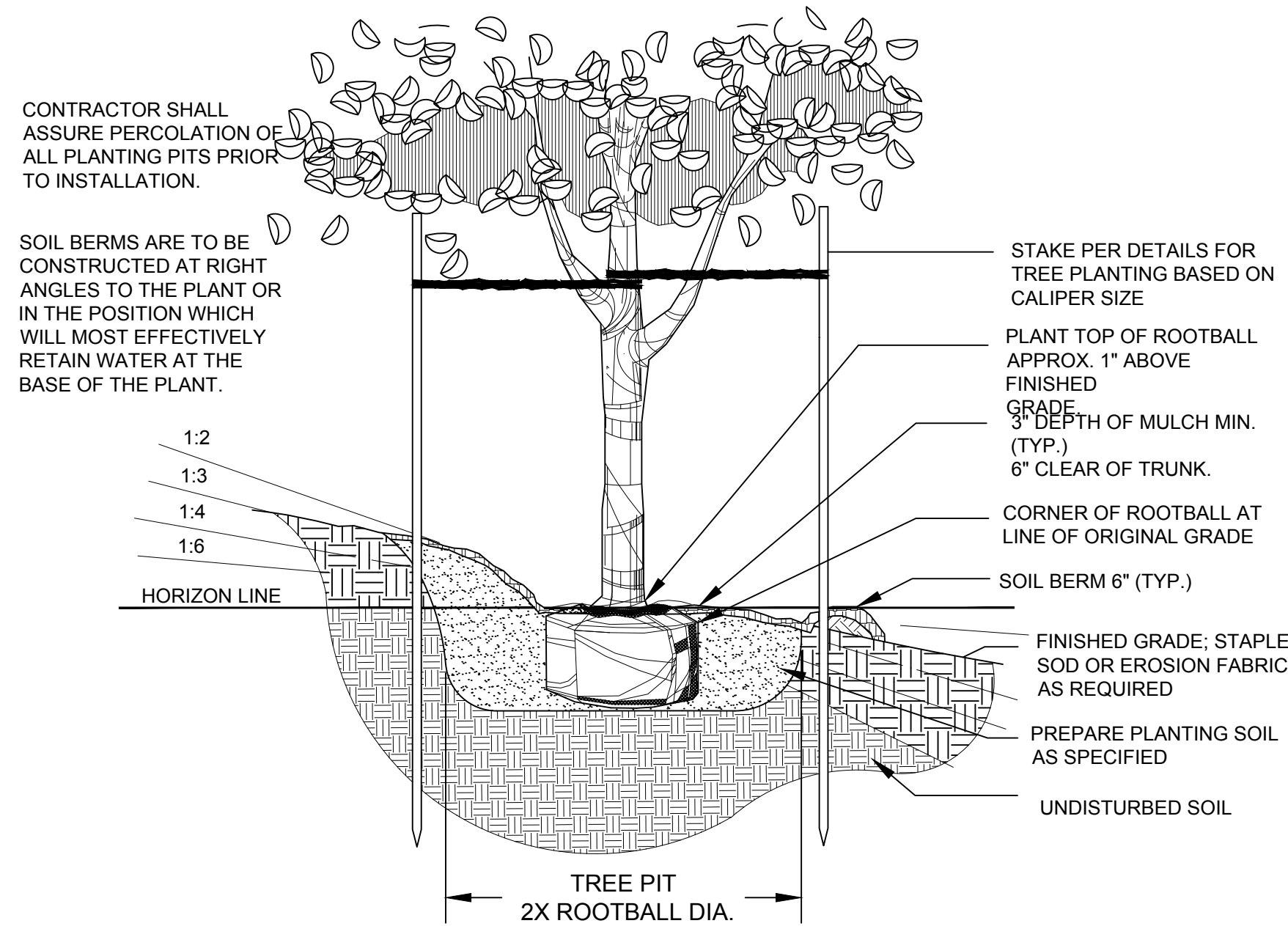
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**DETAIL- TREE PLANTING - 3" TO 7" CAL**  
N.T.S.

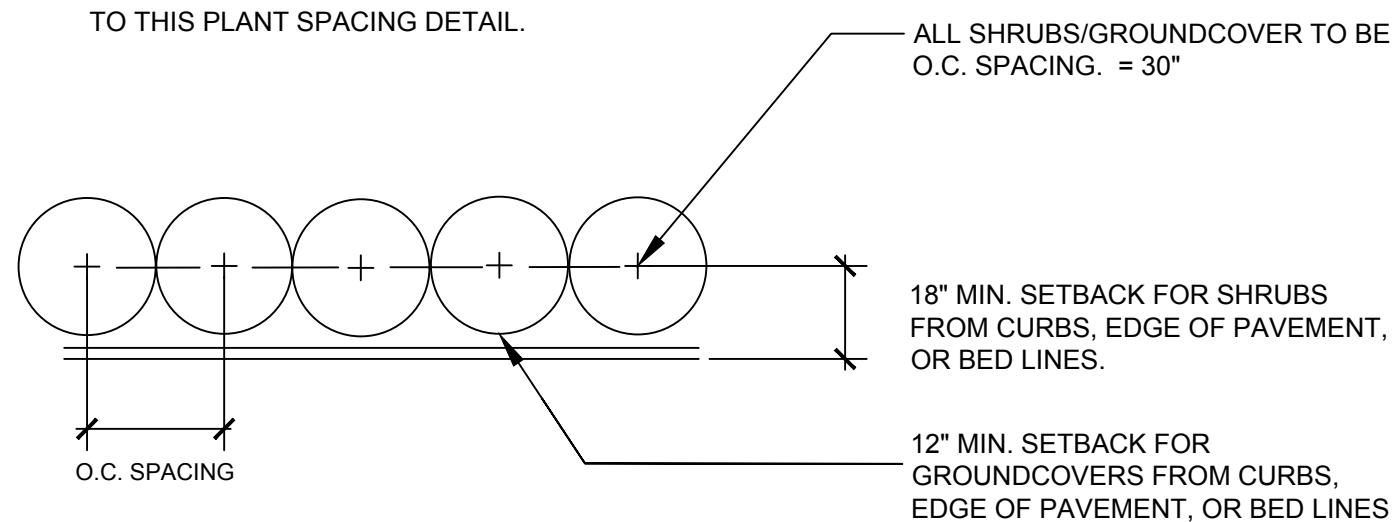


**DETAIL- SHRUB AND BUFFER PLANTING**  
N.T.S.



**DETAIL- TREE PLANTING ON SLOPE**  
N.T.S.

NOTE:  
THE PERIMETER OF ALL CURVED PLANTING BEDS SHALL BE PLANTED WITH A ROW OF SHRUBS AS SHOWN IN THE PLANS AND AT THE SPACING SHOWN IN THE PLANT LIST. INTERIOR PORTIONS OF EACH BED SHALL BE PLANTED AT APPROPRIATE SPACING ACCORDING TO THIS PLANT SPACING DETAIL.



**DETAIL- SHRUB AND BUFFER SPACING**  
N.T.S.

**LANDSCAPE NOTES:**

- THE CONTRACTOR SHALL REVIEW PLANS TO BECOME THOROUGHLY FAMILIAR WITH SURFACE AND SUBSURFACE UTILITIES.
- THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE ENGINEER FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
- ALL INSTALLATION OF PLANT MATERIAL SHALL COMPLY WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THIS WORK.
- PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. SUBMIT DATED PHOTOGRAPHS OF ALL TREE MATERIAL AND SPECIMEN MATERIAL AS TO THE OWNER'S REPRESENTATIVE FOR REVIEW.
- ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. CONTAINER SIZE SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
- IF PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN, THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED AND FOUND TO BE ACCEPTABLE.
- THE CONTRACTOR SHALL PROVIDE AN APPROVED PLANTING SOIL MIXTURE FOR ALL PLANT MATERIAL. SEE SPECIFICATIONS FOR REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS, AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF TREES OR SHRUBS SHALL BE DONE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL ENSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. IF INADEQUATE VERTICAL DRAINAGE IS ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT RECOMMENDATIONS FOR PROVIDING ADEQUATE DRAINAGE TO THE OWNER'S REPRESENTATIVE.
- PEG SOIL ON SLOPES GREATER THAN 3:1.
- CONTRACTOR SHALL INVESTIGATE SITE AND REMOVE ALL INVASIVE PLANT SPECIES LISTED BY SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT WITH APPROPRIATE HERBICIDE OR MECHANICAL METHODS ON AN ANNUAL BASIS.
- CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN AS SHOWN ON DRAWINGS OR BY MEANS APPROVED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR TO CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNER'S REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
- CONTRACTOR SHALL FIELD-ADJUST LOCATION OF PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- EACH CANOPY TREE, ACCENT TREE, AND PALM TREE MUST HAVE ORGANIC MULCH NO LESS THAN 36 INCHES BEYOND ITS TRUNK IN ALL DIRECTIONS. CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS

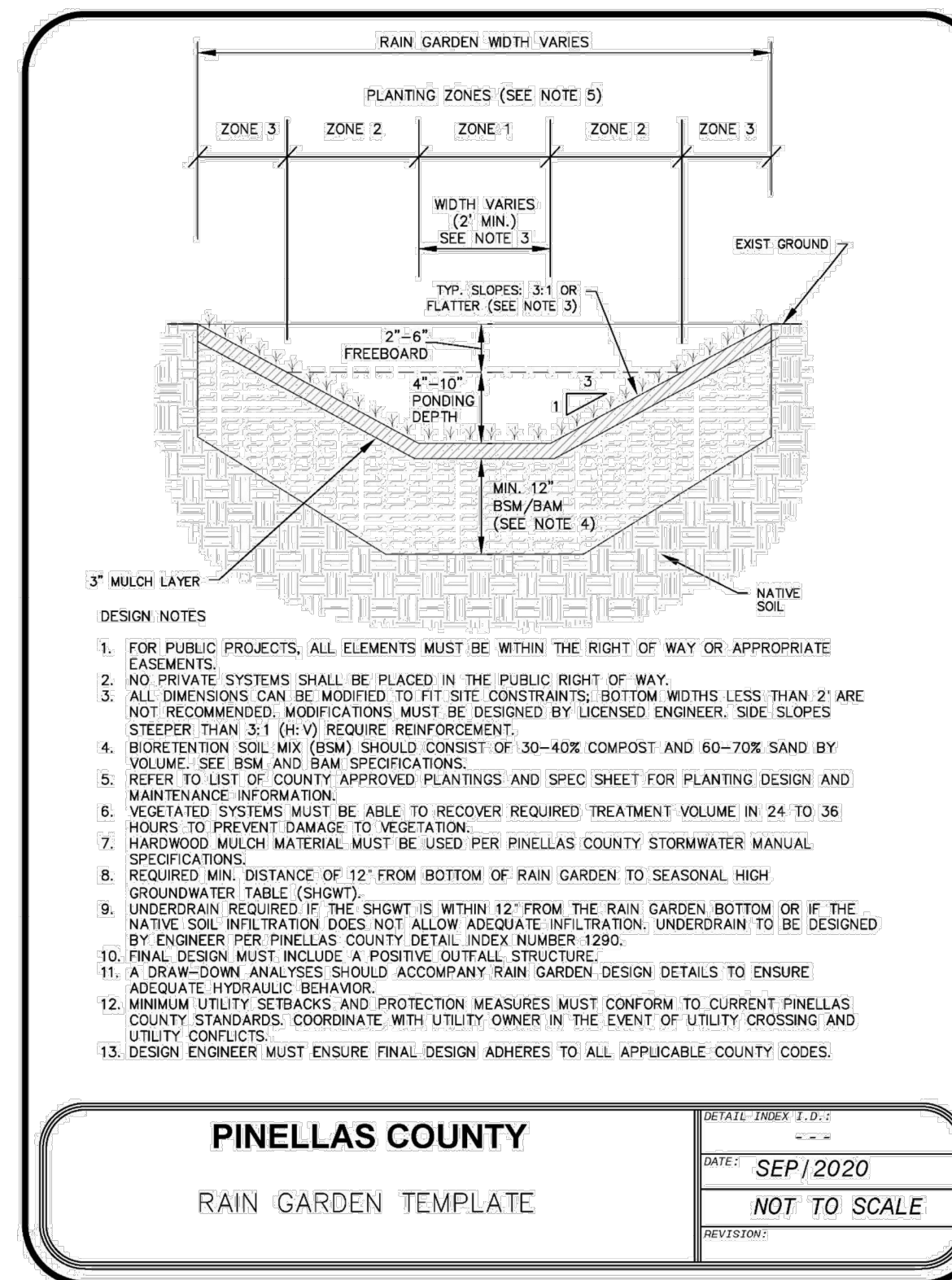


Figure 4.13.1: Pinellas County CAD template for rain gardens

CLIENT



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XX-XX-XX		3 X
XX-XX-XX		4 X
XX-XX-XX		5 X
XX-XX-XX		6 X

**TAKE 5 CAR WASH**

1350 NW 87TH AVENUE  
MIAMI, FL

ENGINEER:



PENNONI ASSOCIATES INC.  
3555 NW 10th Drive  
Coral Gables, FL 33134  
Florida CCA, 7919

STAMPS

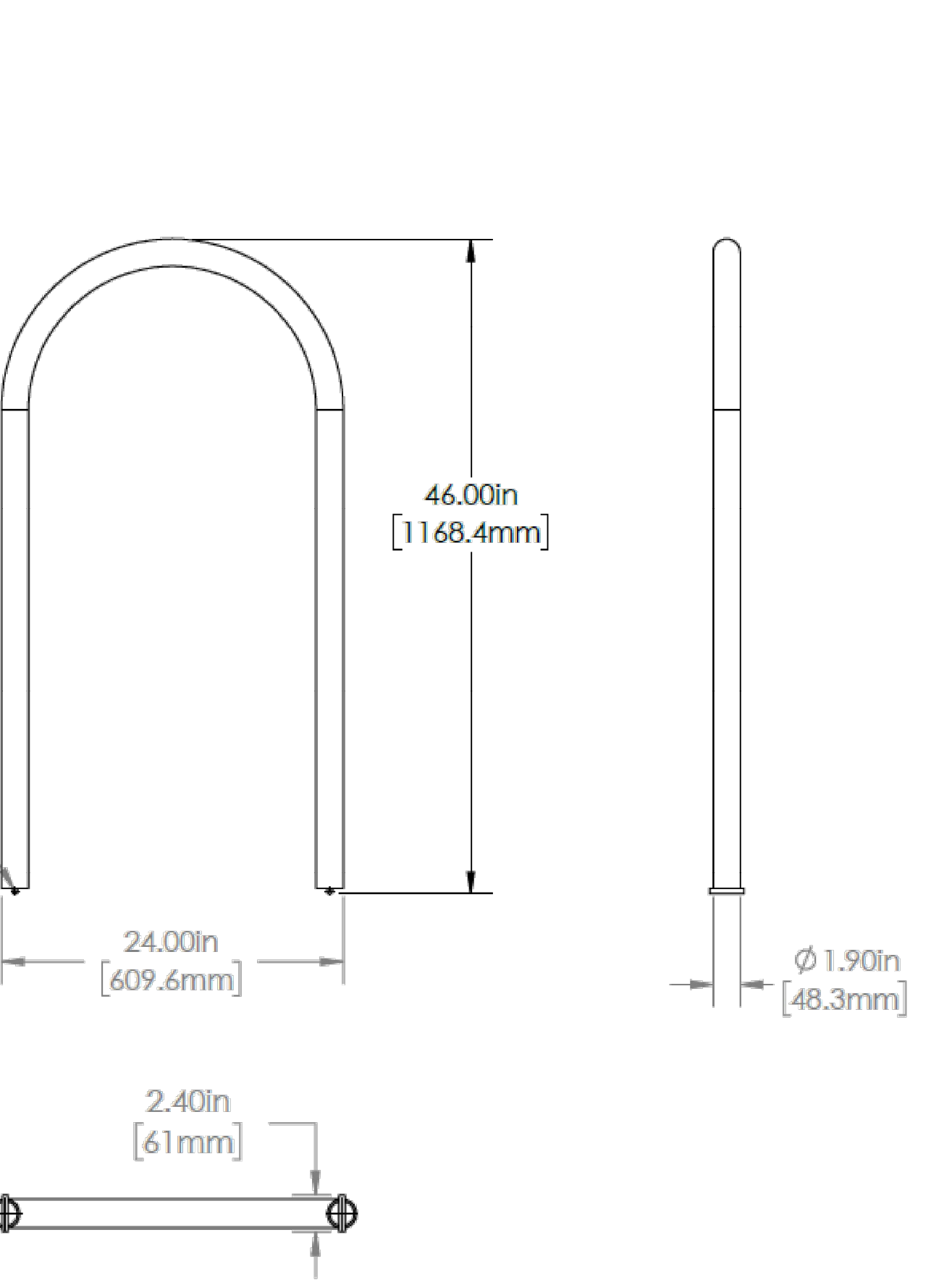
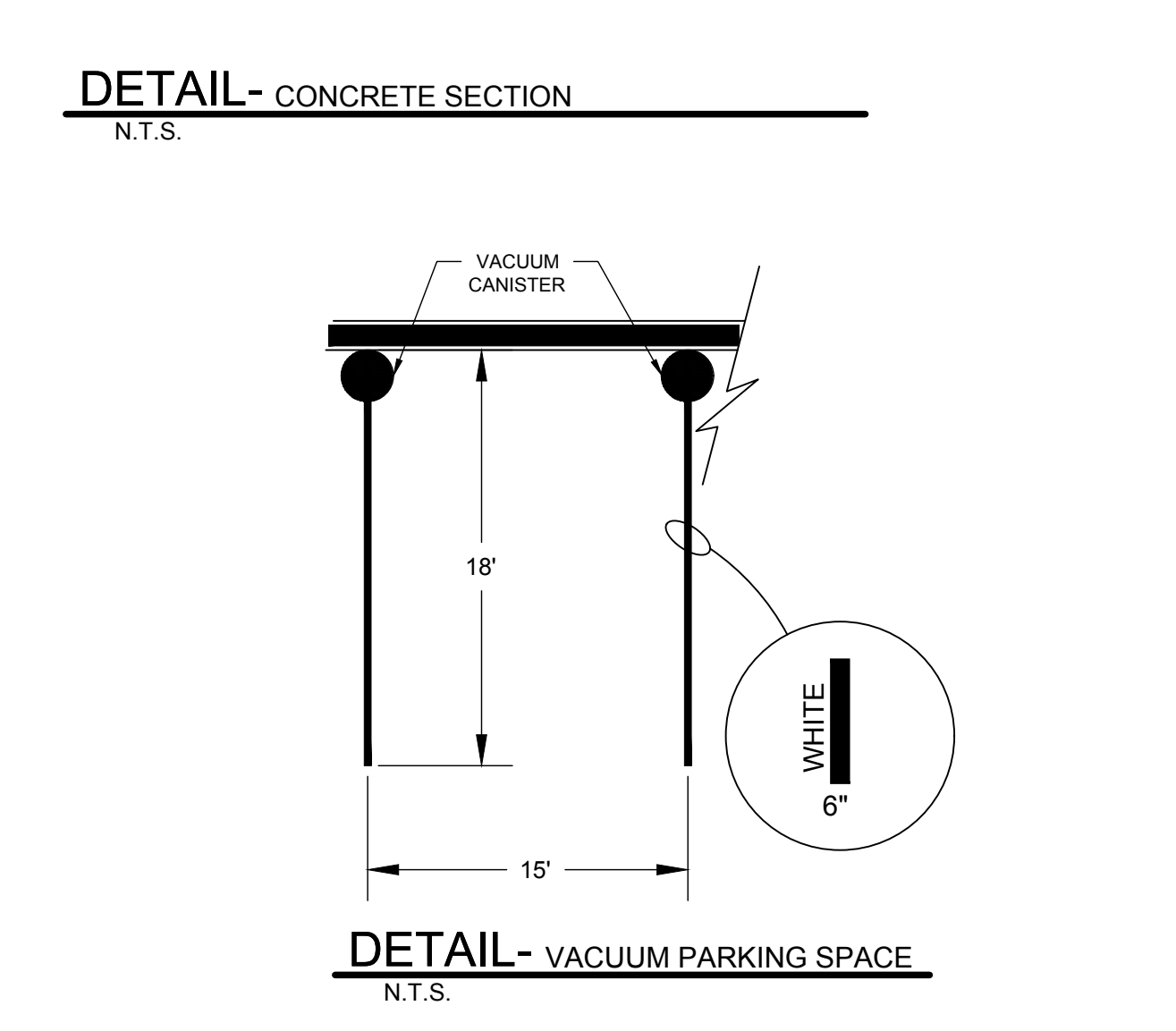
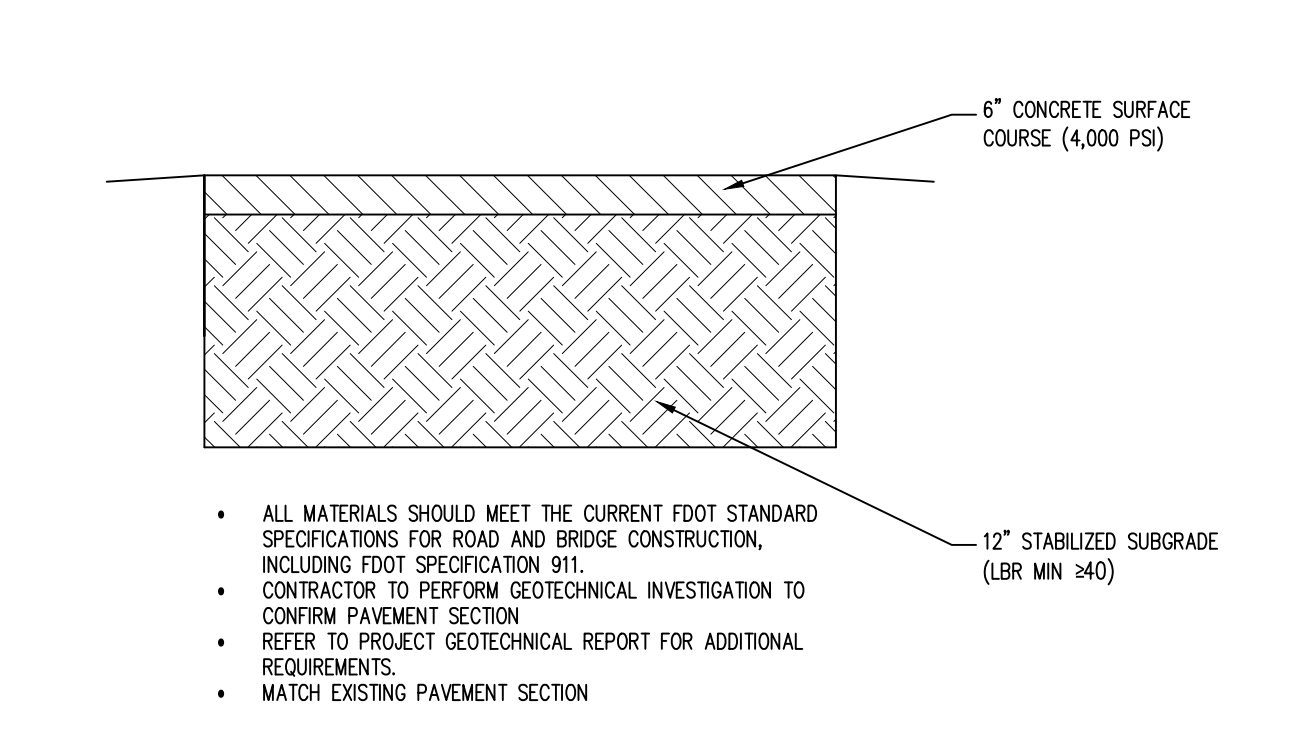
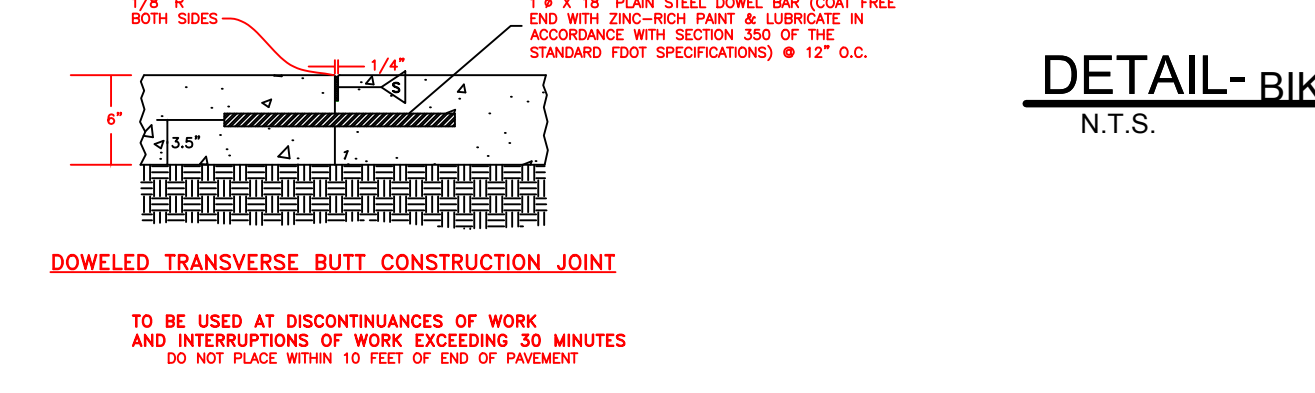
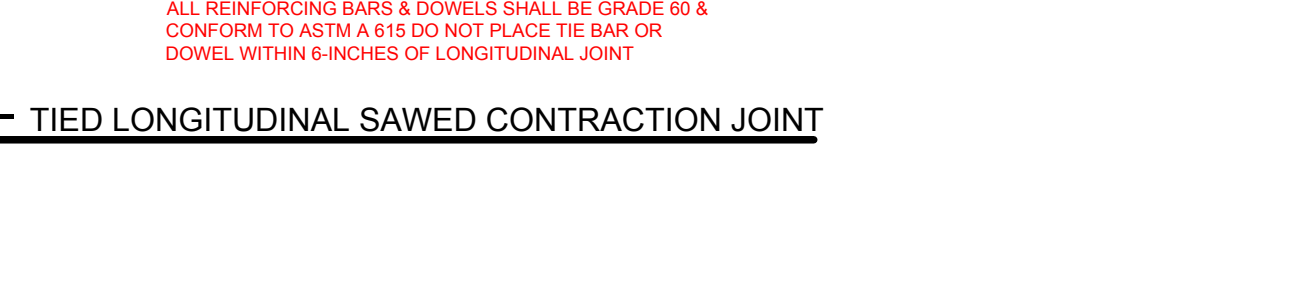
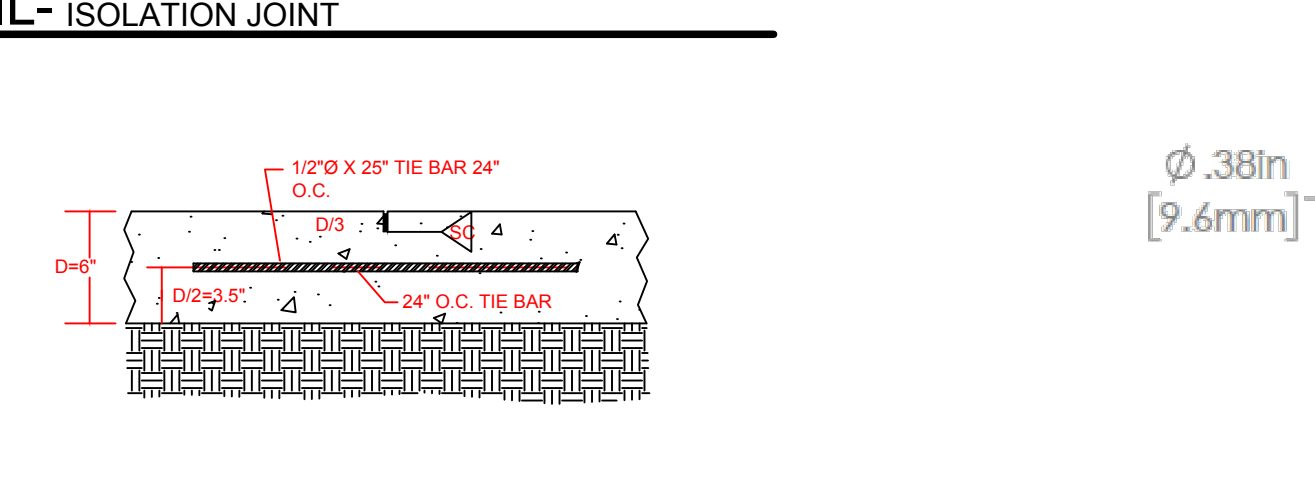
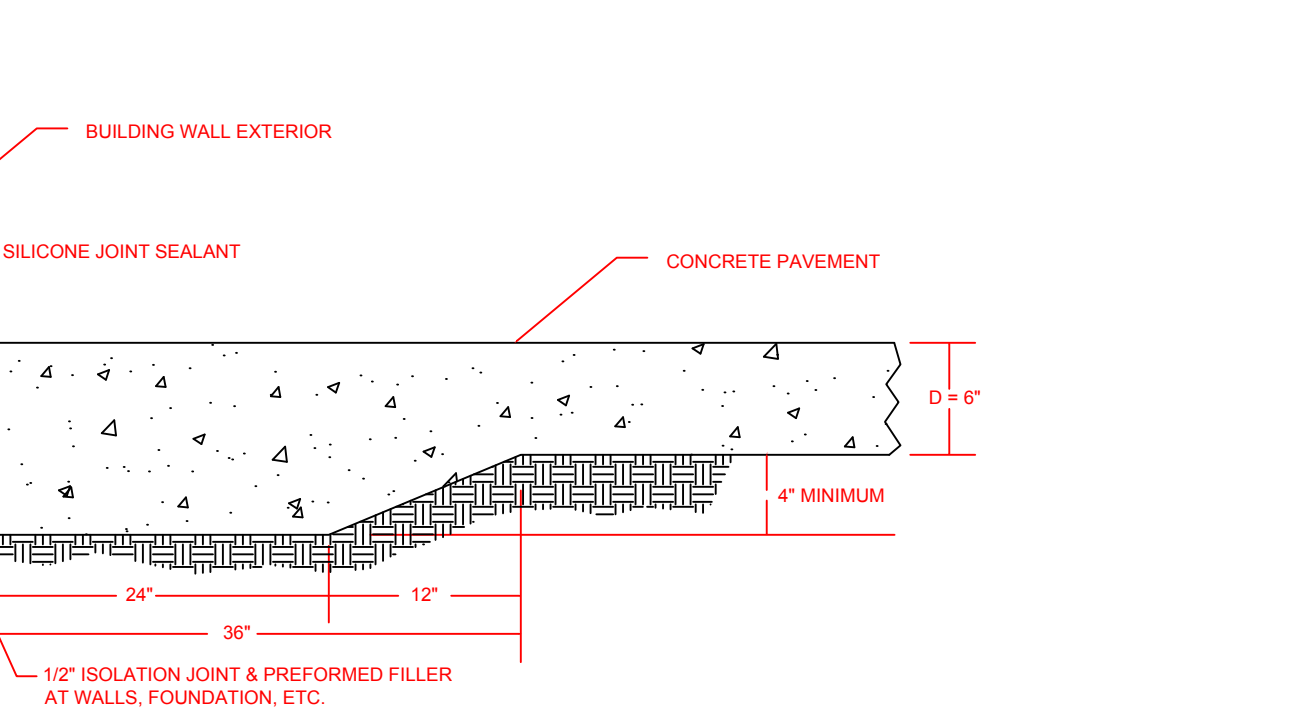
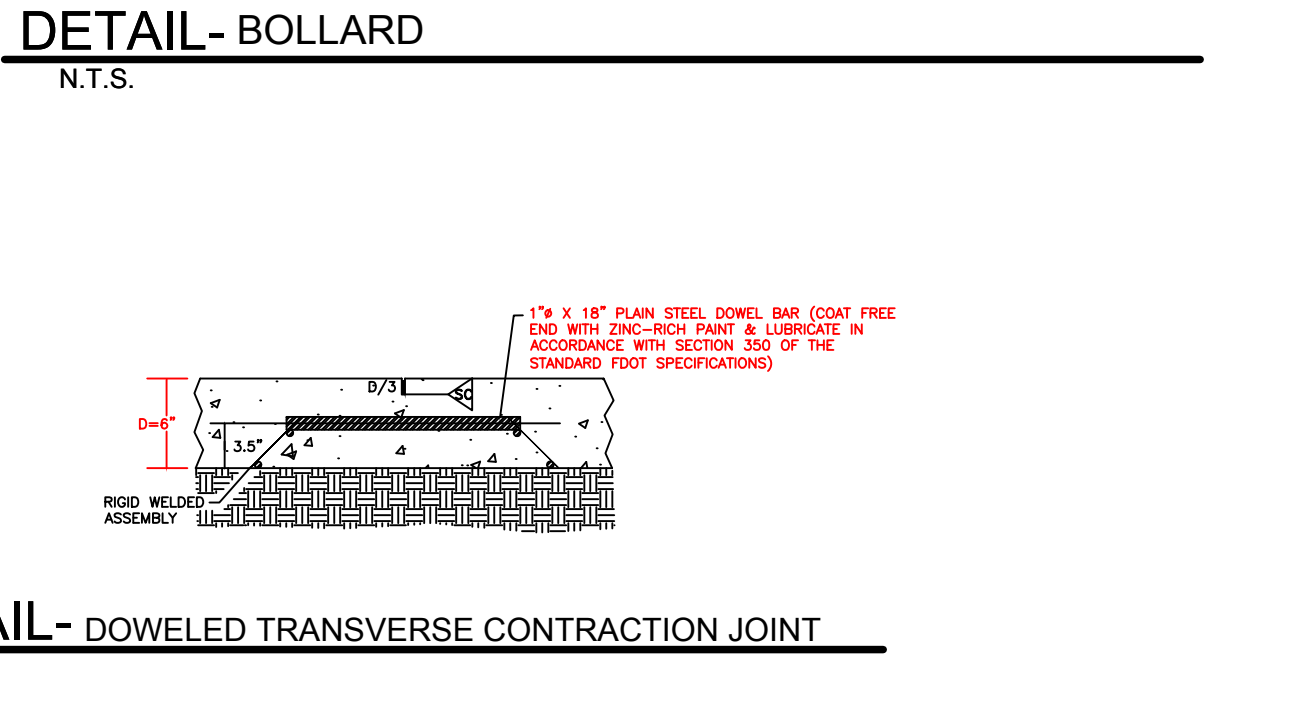
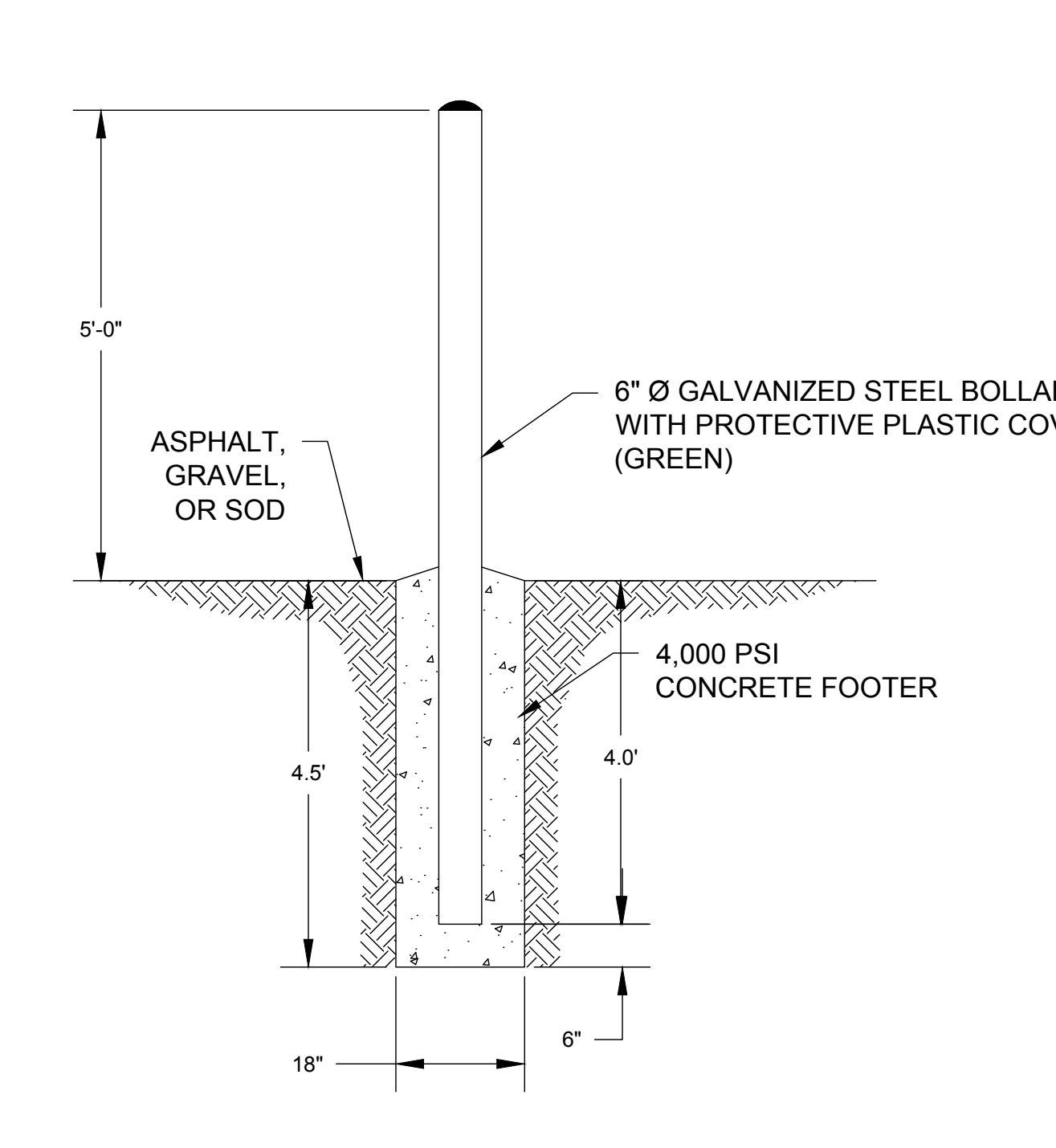
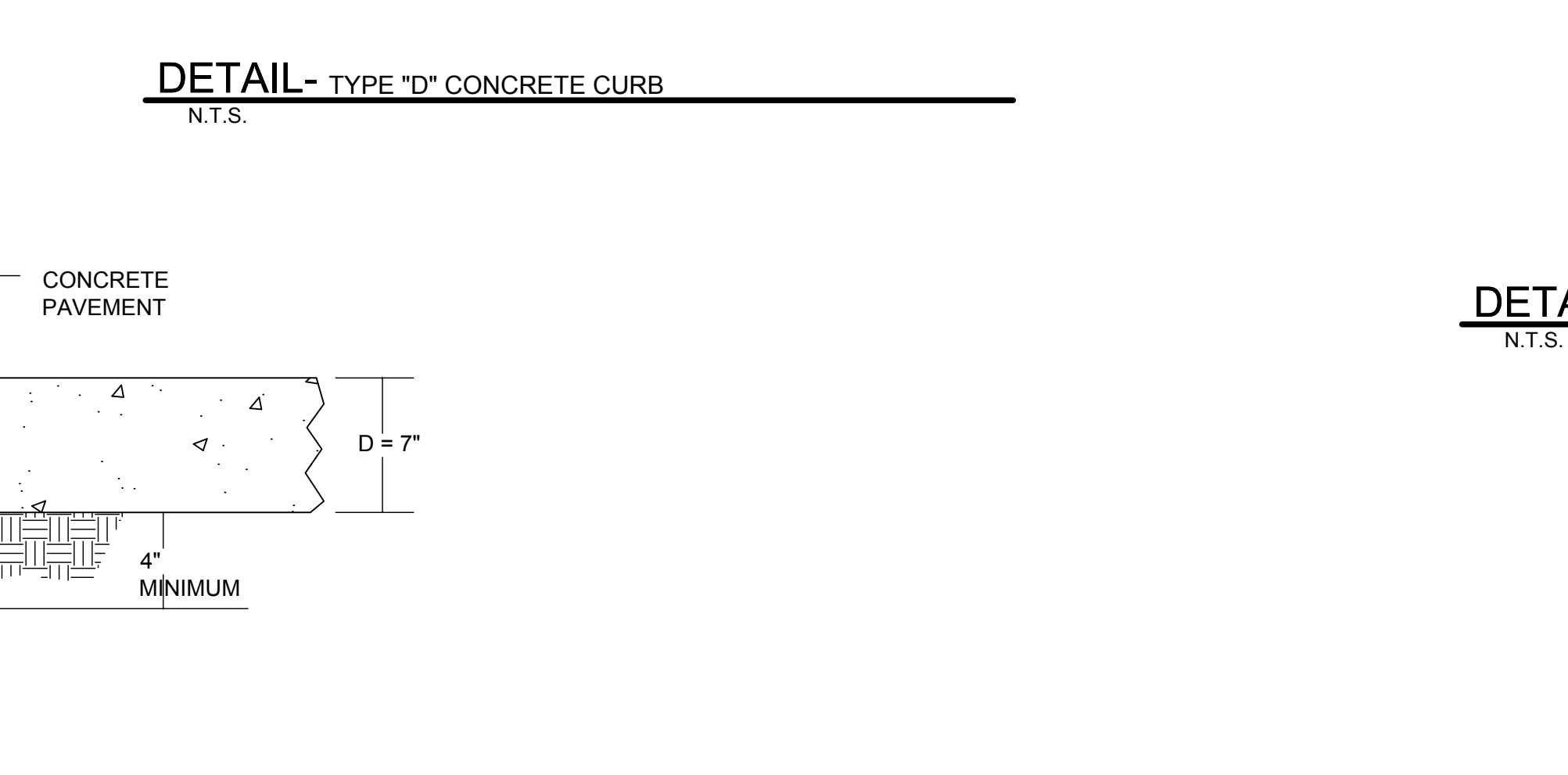
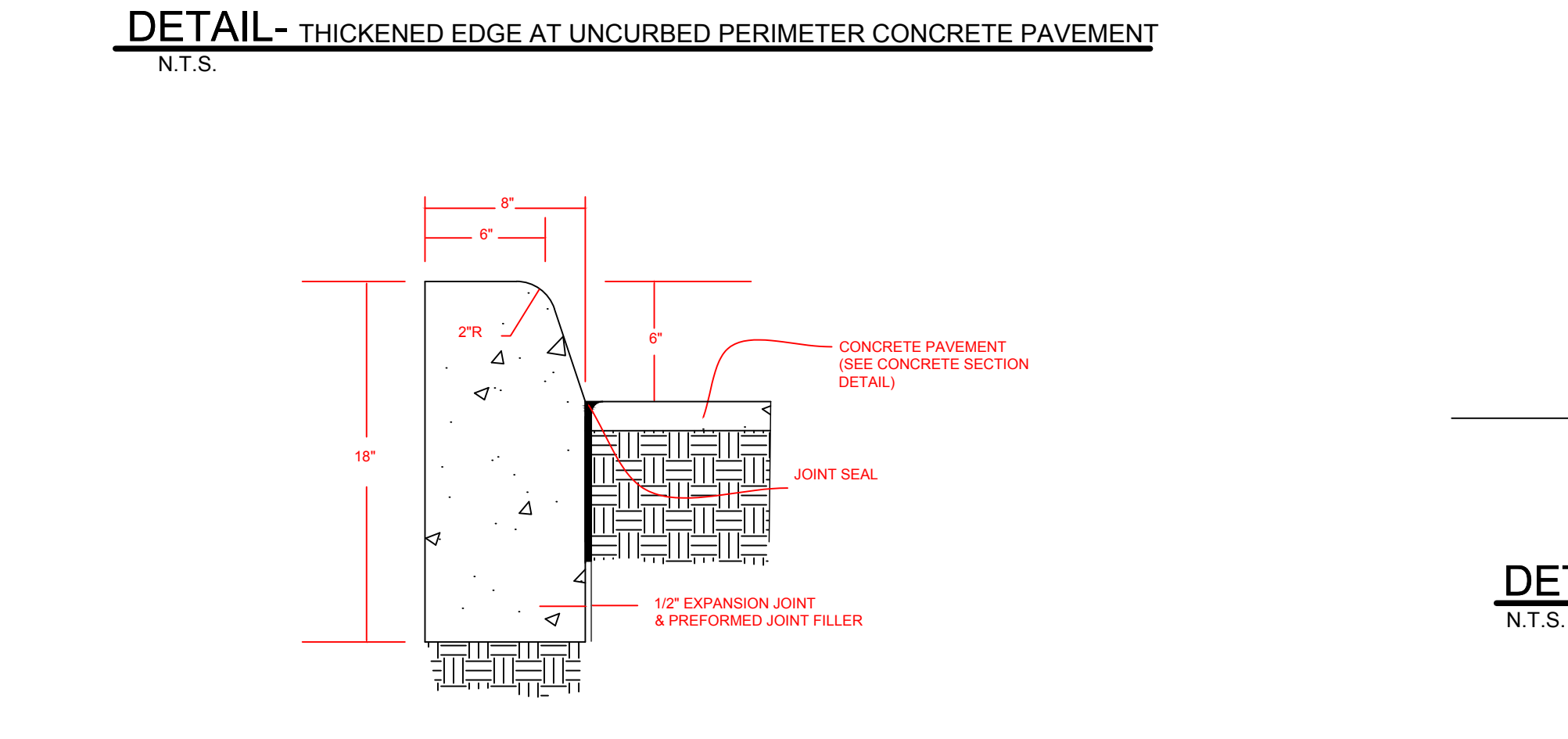
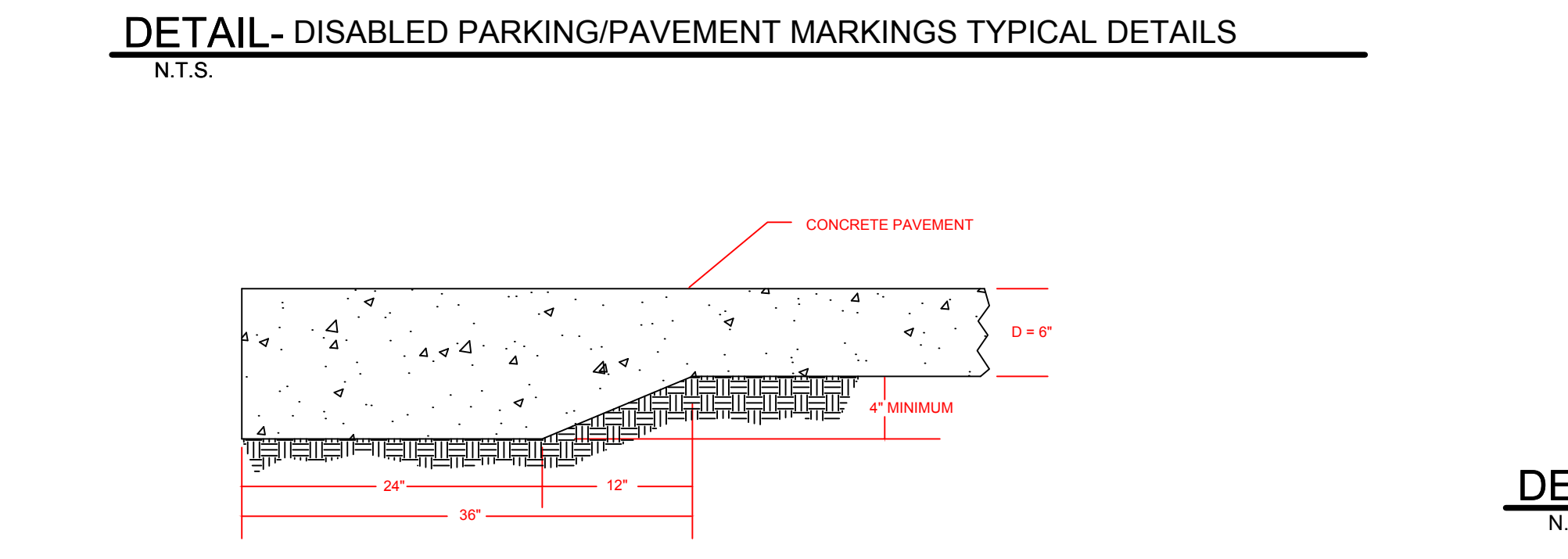
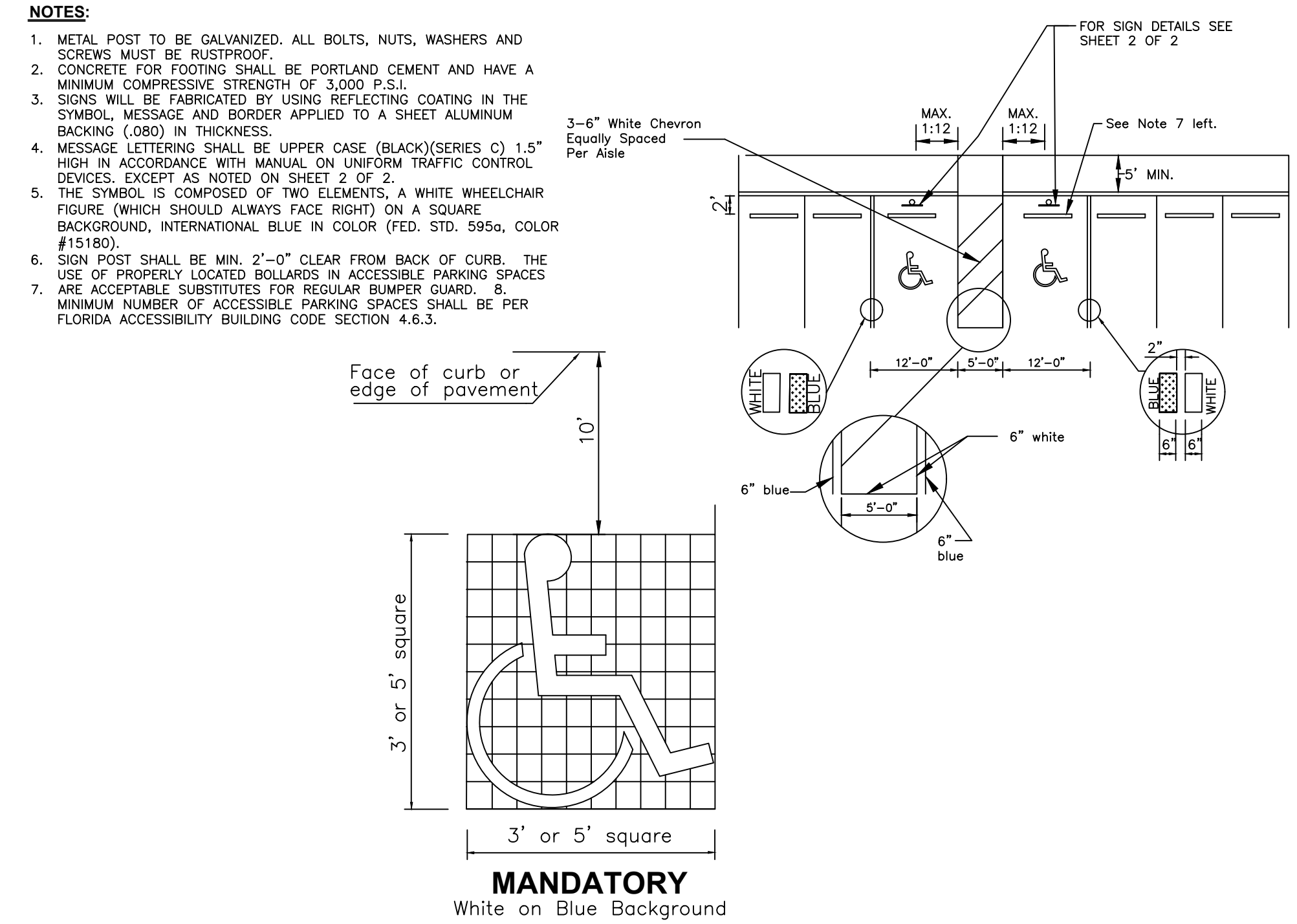
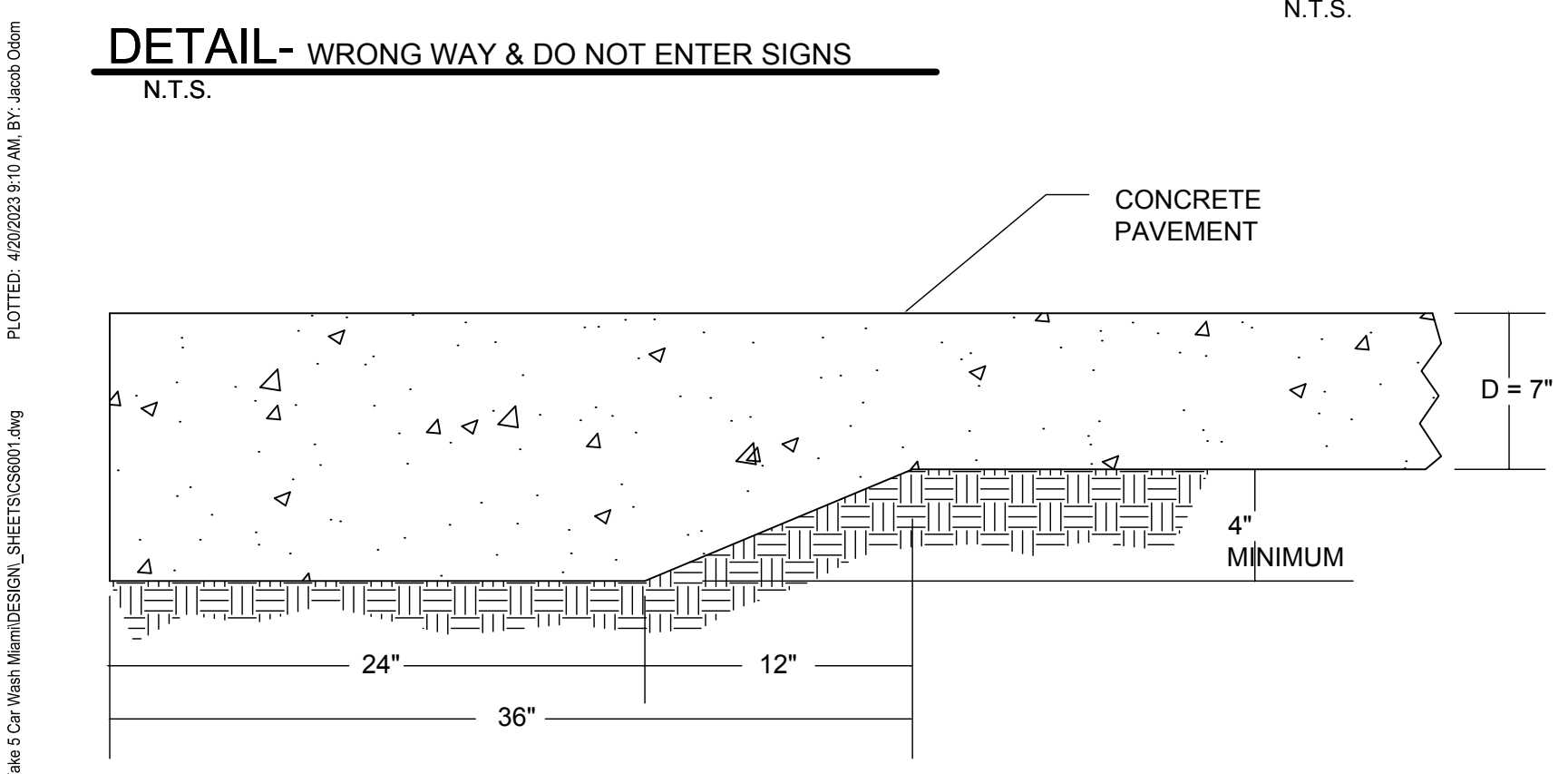
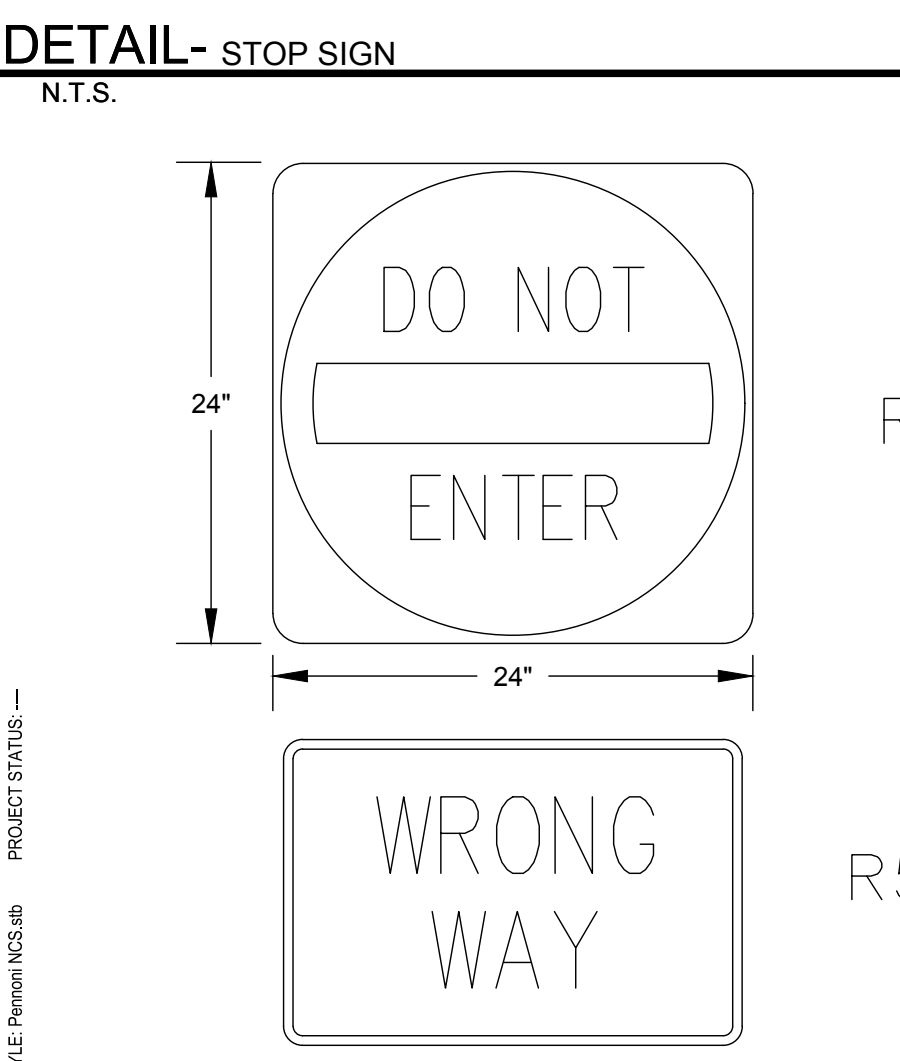
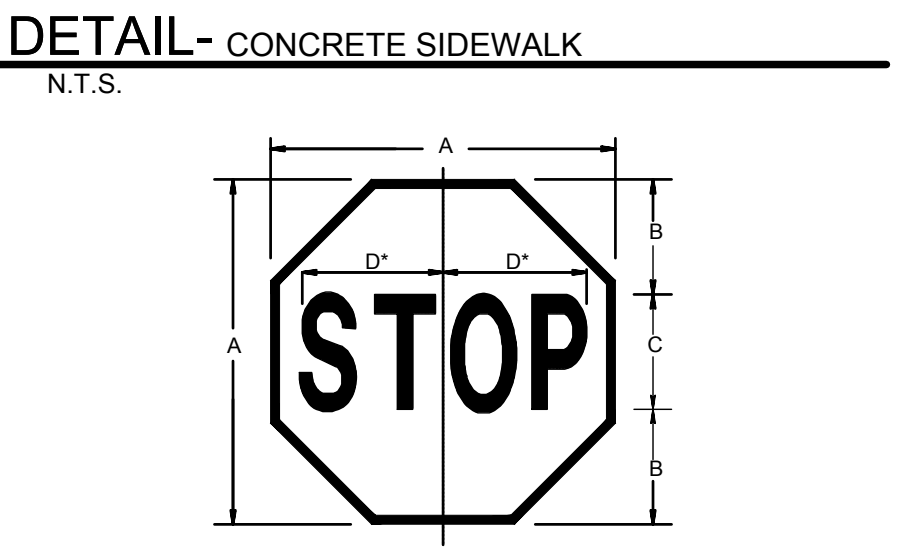
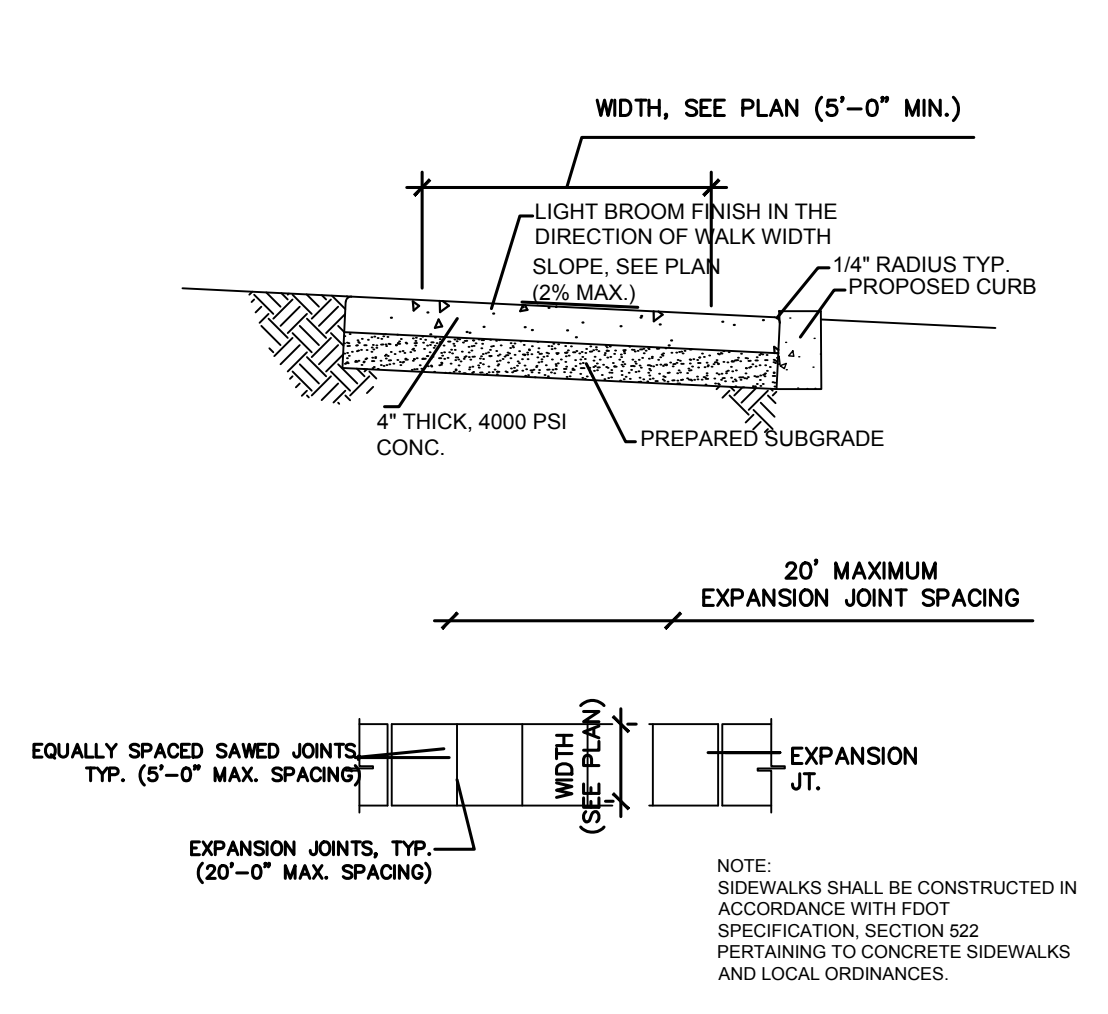


LANDSCAPE DETAILS

PROJECT NUMBER  
**DRVBR22027**

DATE: 08-01-2022  
SCALE: AS NOTED  
DRAWN: JO  
CHECKED: JS  
SHEET NO.

**CS2501**



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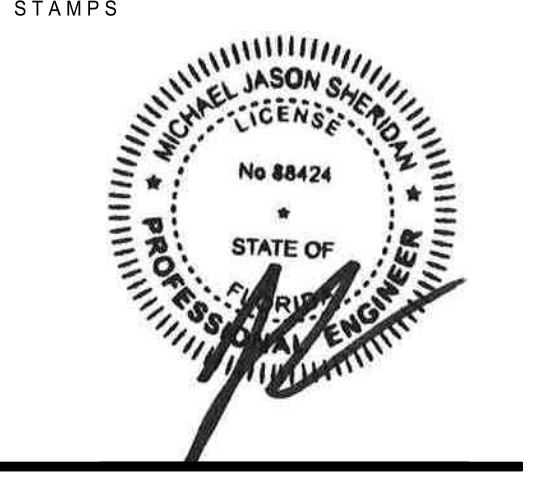
TAKE 5 CAR WASH

1350 NW 87TH AVENUE  
MIAMI, FL

ENGINEER:

**Pennoni**

PENNONI ASSOCIATES INC.  
3785 NW 75th Ave  
Chesapeake, FL 33472  
Florida COA: 7819



SITE DETAILS

PROJECT NUMBER  
DRVBR22027

DATE 08-01-2022  
SCALE AS NOTED  
DRAWN JO  
CHECKED JS  
SHEET NO

**CS6001**

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 PROJECT STATUS: PLOTTED: Pennoni KCS.dwg



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**TAKE 5 CAR WASH**  
 1350 NW 87TH AVENUE  
 MIAMI, FL

ENGINEER:

**Pennoni**

PENNONI ASSOCIATES INC.  
 3755 NW 75th Drive  
 Ocala, FL 32772  
 Florida C.O.A. 7919

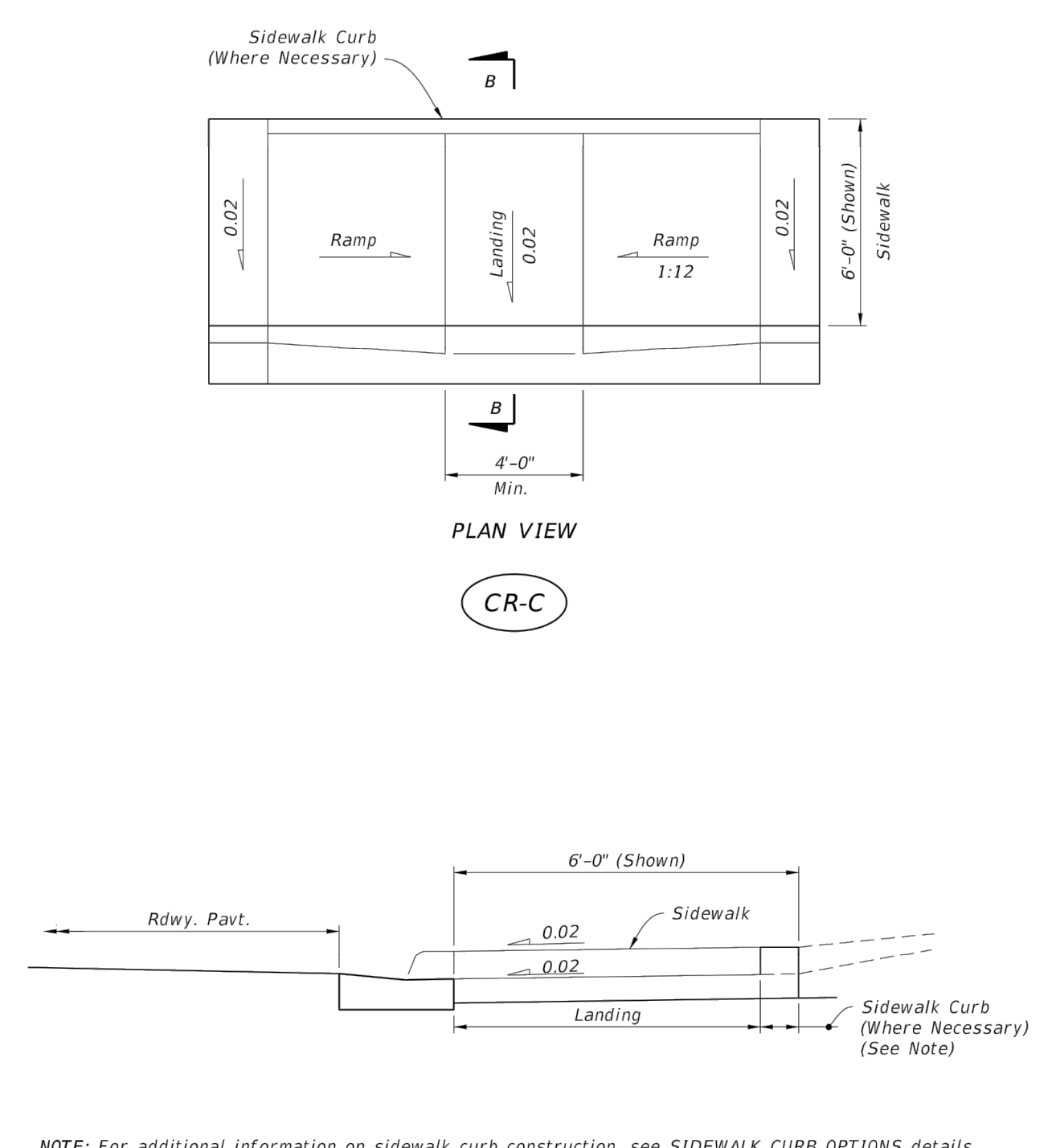
STAMPS

**SITE DETAILS**

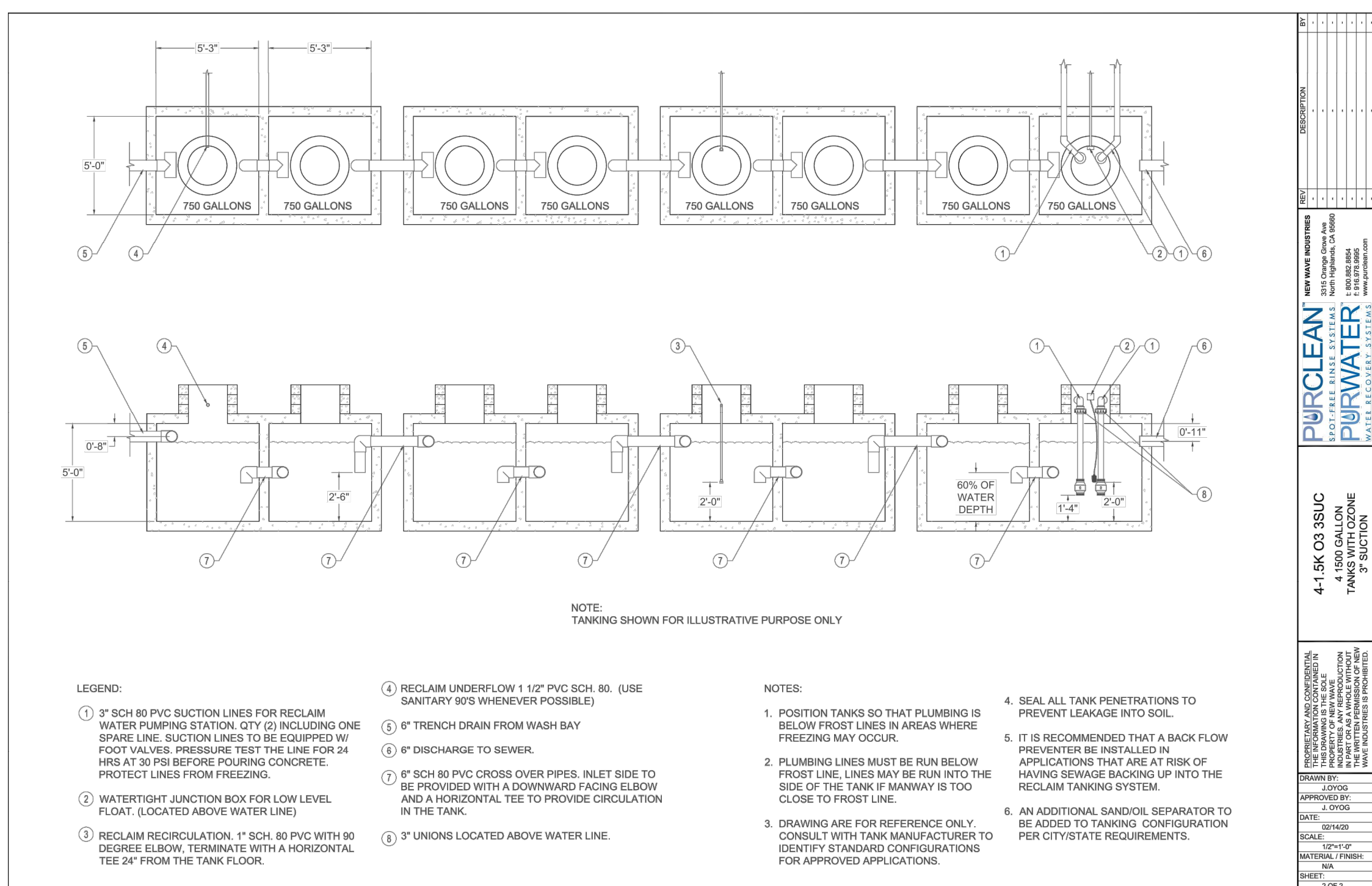
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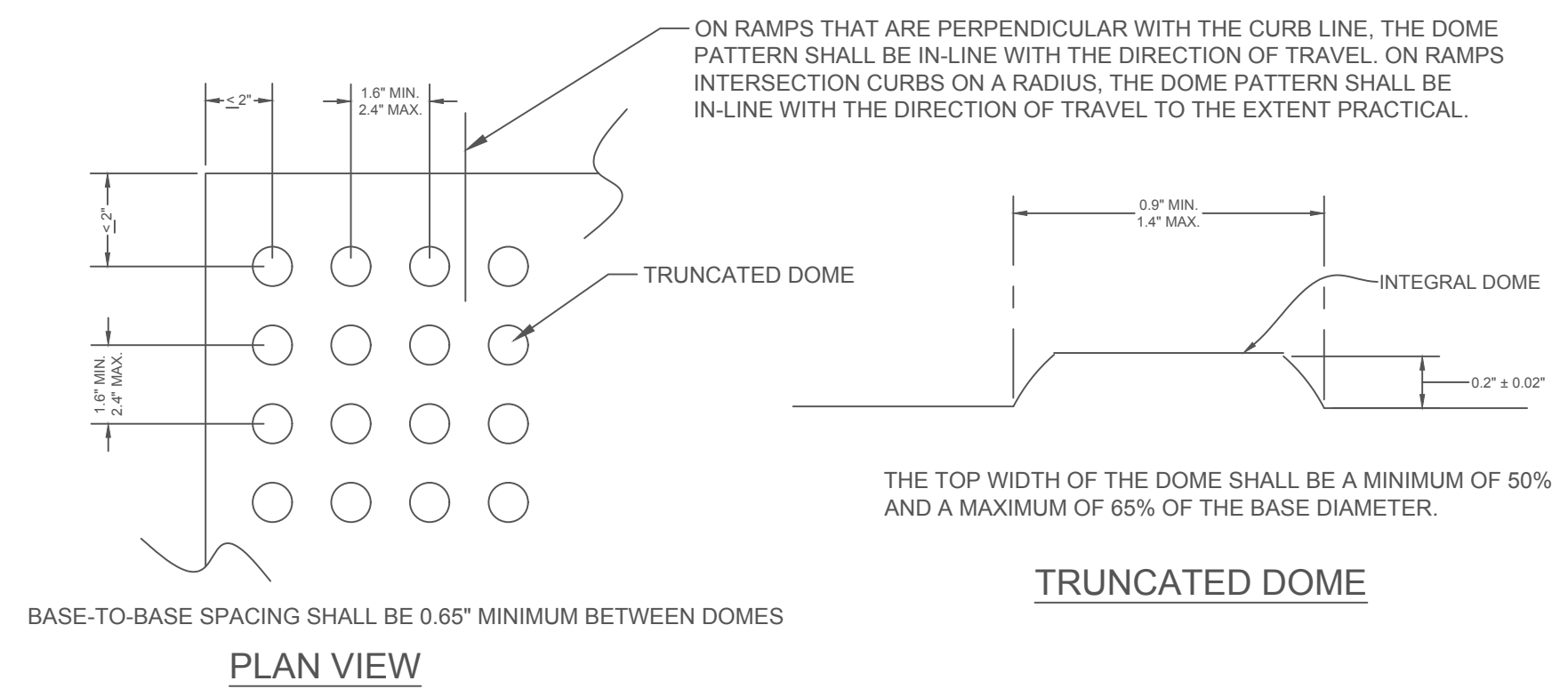
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**DETAIL - CR-C RAMP**  
N.T.S.

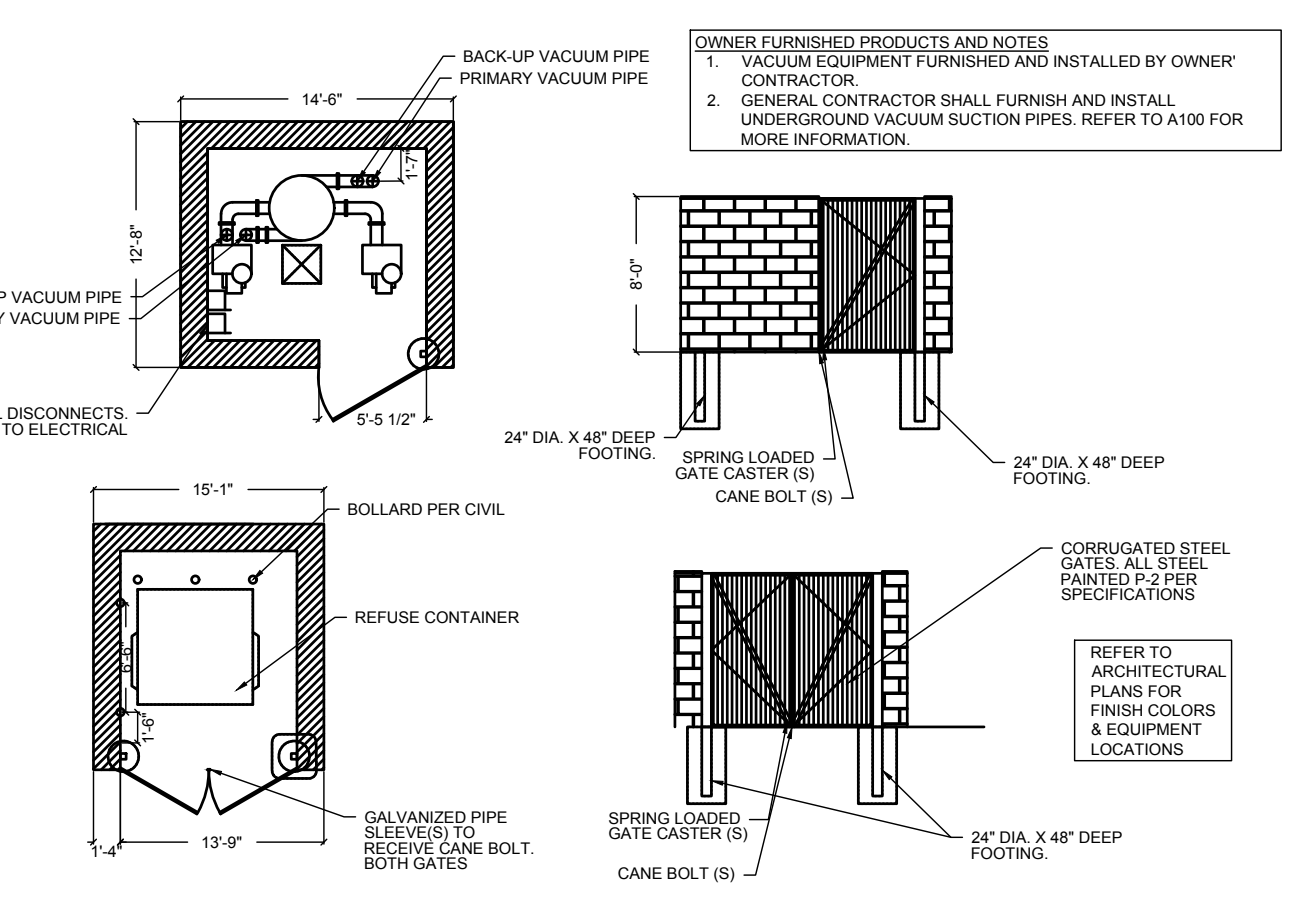
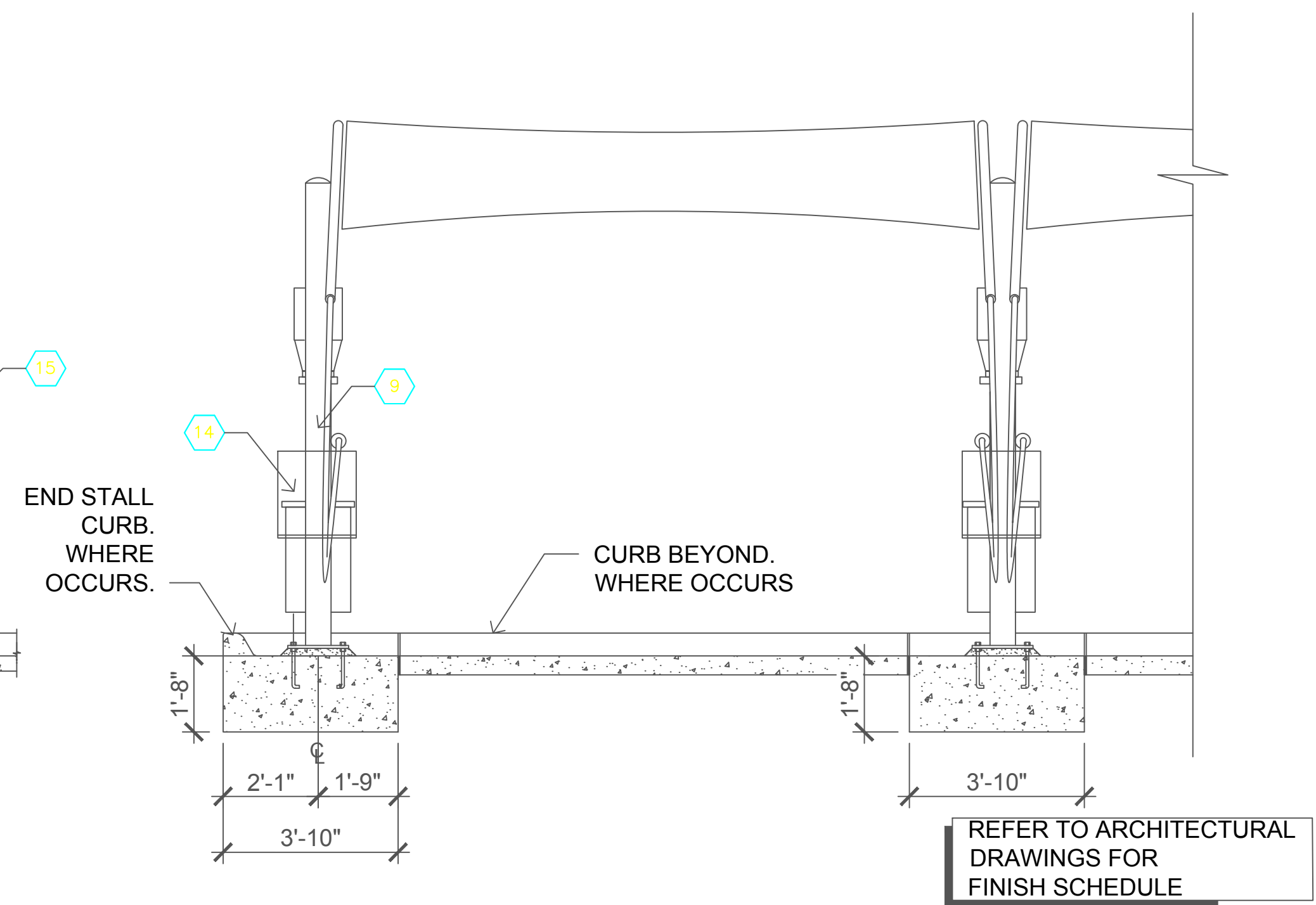


**DETAIL - REUSE TANK**  
N.T.S.

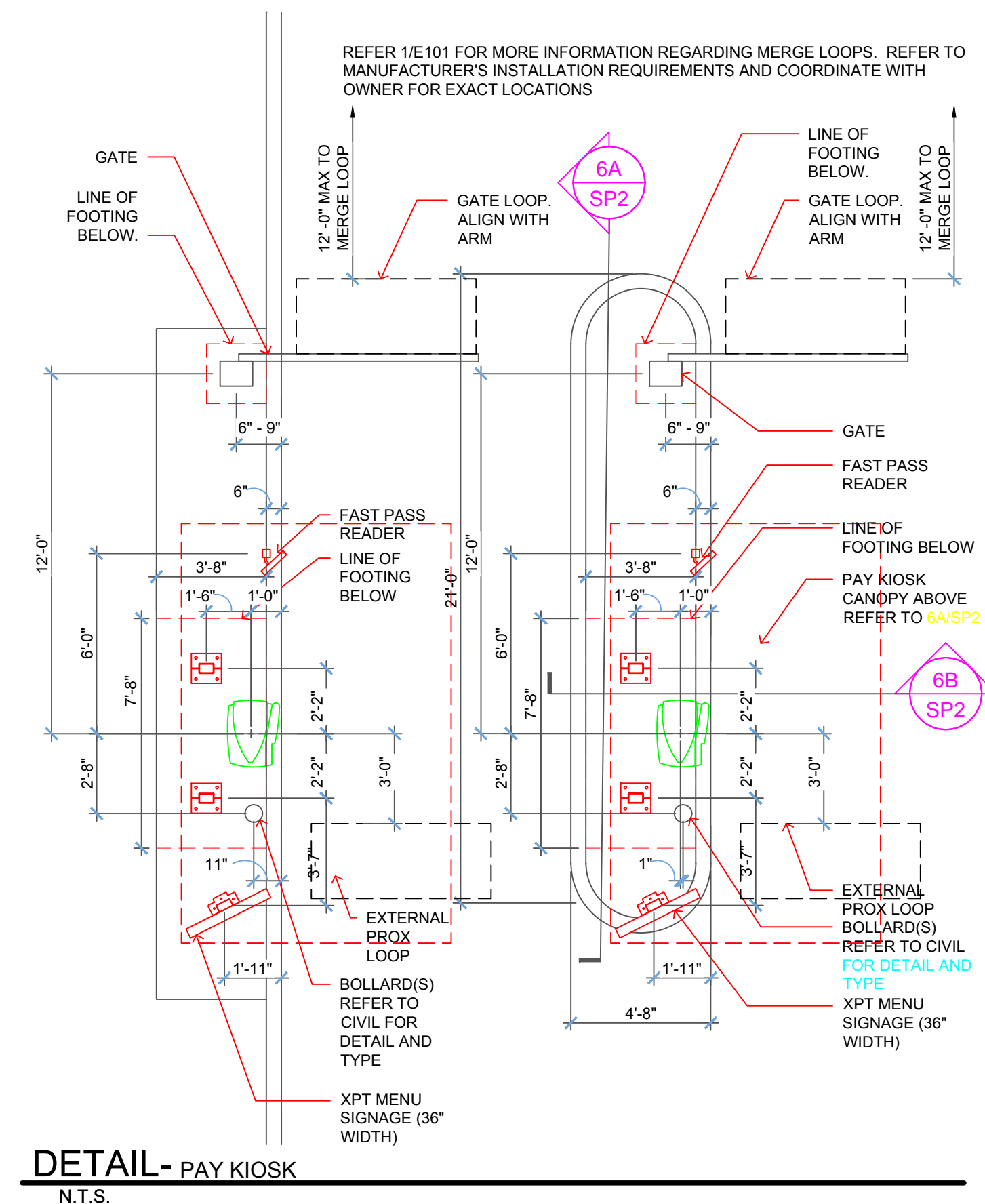


ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES (610 mm) FROM THE BACK OF CURB.

**DETAIL - DETECTABLE WARNING STRIP**  
N.T.S.



**DETAIL - DUMPSTER AND VACUUM ENCLOSURE**  
N.T.S.



- OWNER FURNISHED PRODUCTS AND NOTES**
- ALL FOOTINGS AND ANCHOR BOLTS FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. REFER TO STRUCTURAL FOR MORE INFORMATION.
  - XPT PAY KIOSK FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS
  - GATE FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS
  - FAST PASS READER FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS
  - XPT CANOPY (TSS) FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS
  - XPT MENU SIGNAGE FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS
  - LOOPS FURNISHED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR. REFER TO MANUFACTURER'S INSTALLATION REQUIREMENTS AND COORDINATE WITH OWNER FOR EXACT LOCATIONS

REFER TO CIVIL PAVING DRAWINGS FOR ALL PAVING SPECIFICATIONS AND DIMENSIONAL CONTROLS.

SINGLE POINT OF CONTACT:  
 BOB MCQUAGUE, ICWG ENGINEERING & TECHNICAL DIRECTOR  
 901.870.3498  
 BOBMCQUAGUE@ICWG.COM

U:\Account\DR\BDR\22027 - Take 5 Car Wash Miami\DESIGN\_SHEETS\CS6002.dwg PLOTTED: 4/20/2022 9:10 AM BY: Jack Odom PROJECT STATUS: PLOTTED BY: Jack Odom

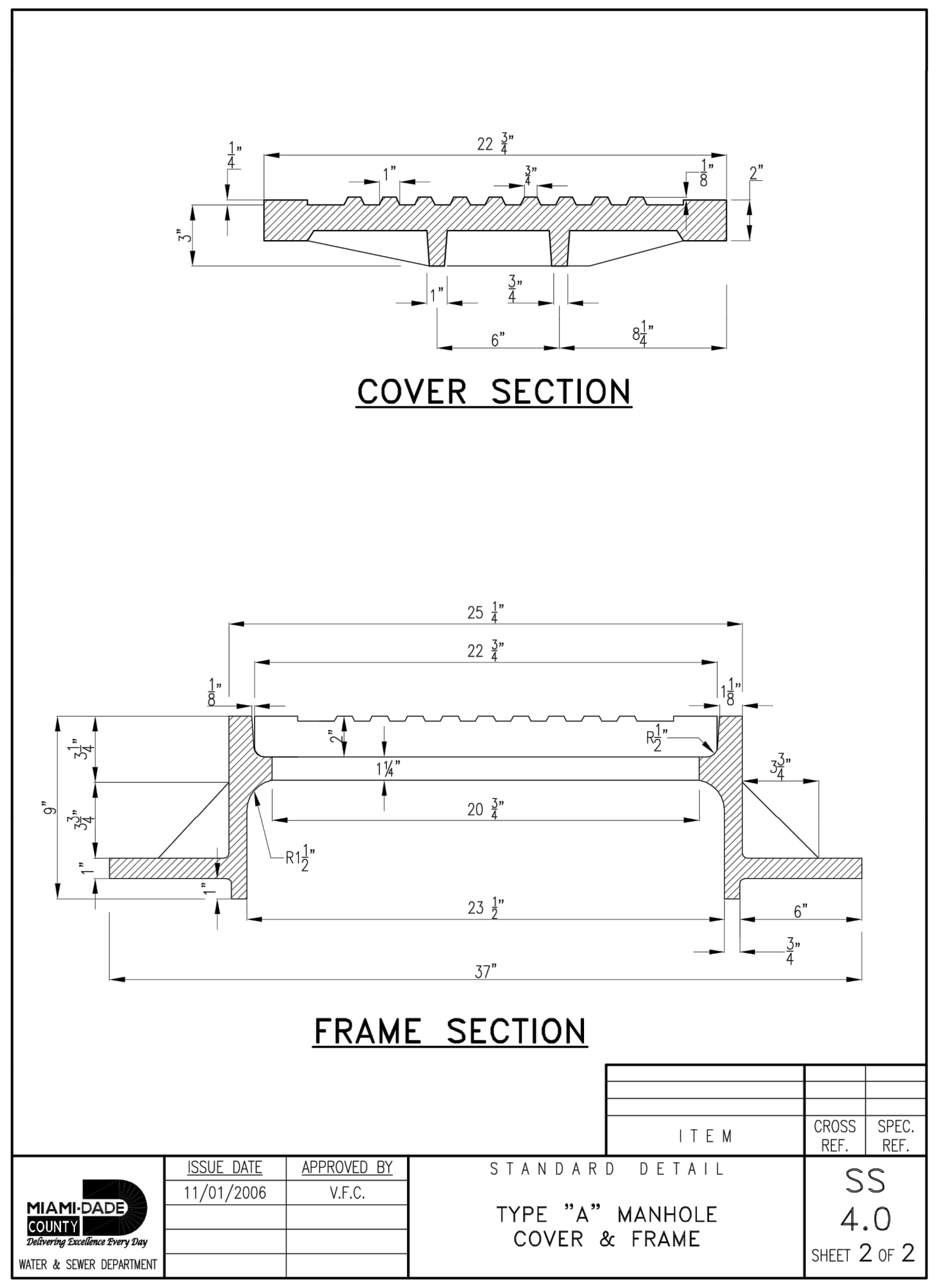
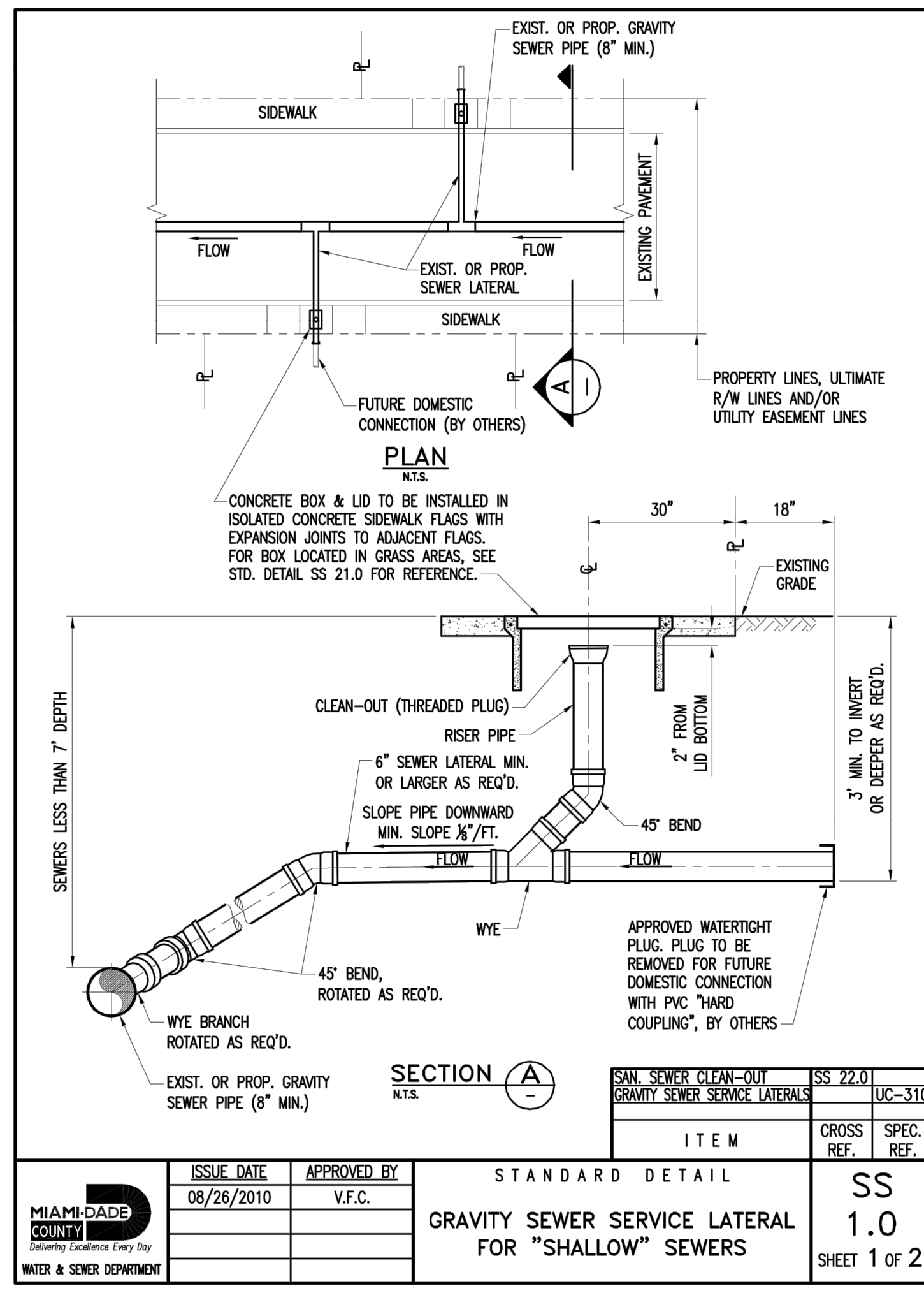
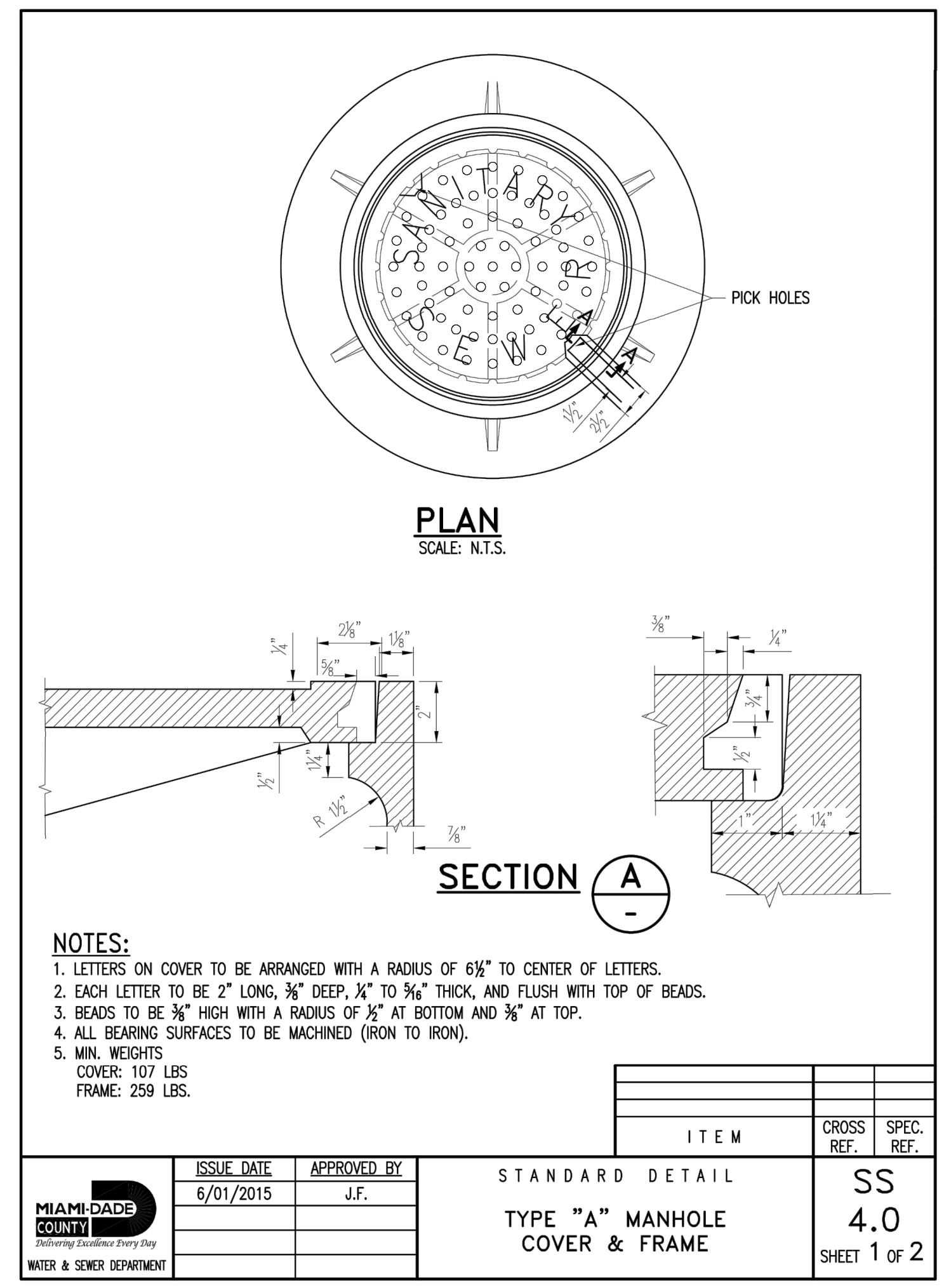
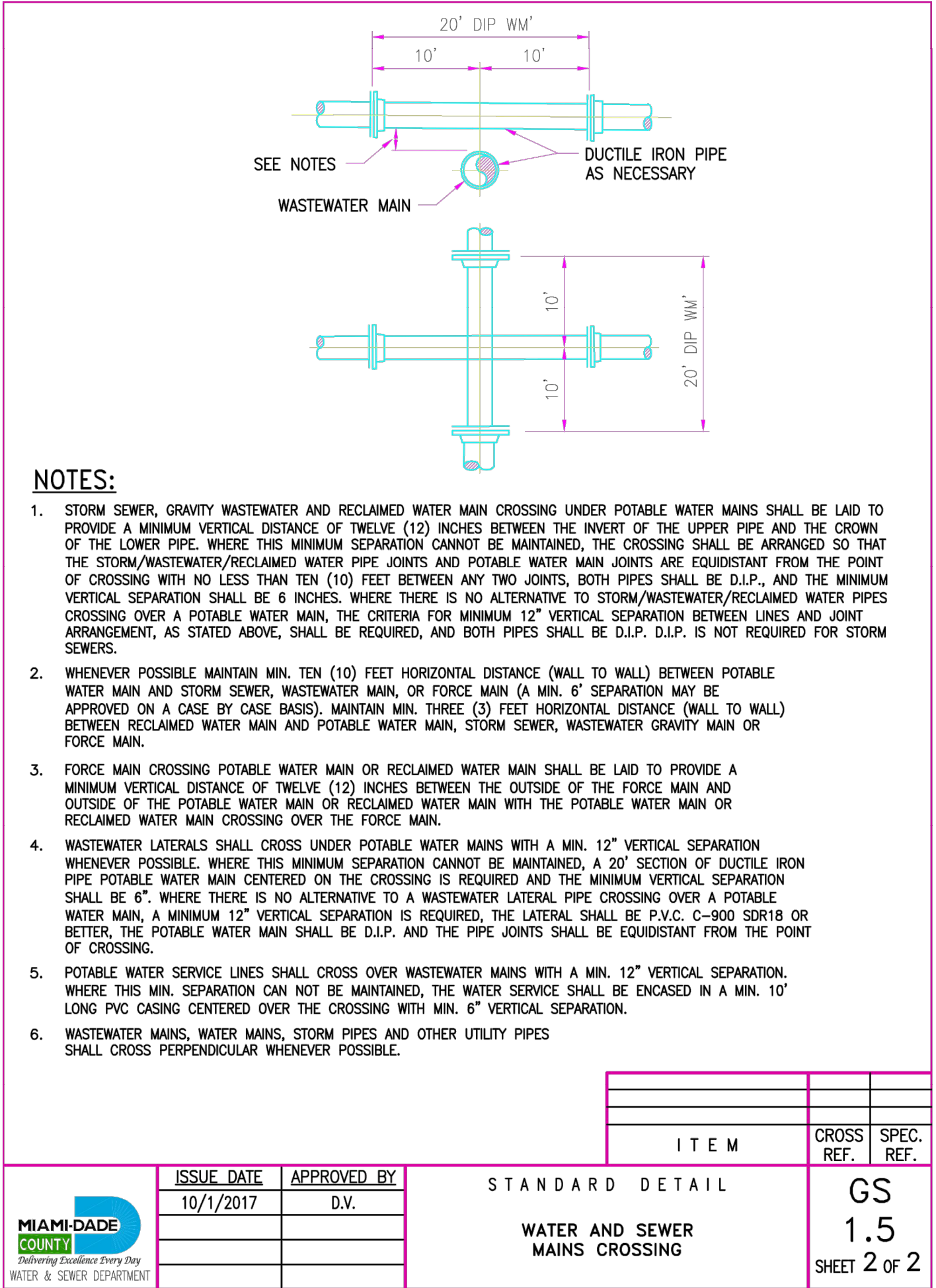
**LOCATION OF PUBLIC WATER SYSTEM MAINS ACCORDANCE WITH F.A.C. RULE 62-555.314**

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT GRACING & CROSSINGS (FULL LENGTH OF PIPE CENTERED)
Storm Sewer; Stormwater Force Main; Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum.	Water Main Alternate: 3 ft. minimum
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Water Main Alternate: 3 ft. minimum
Gravity or Pressure; Sanitary Sewer Force Main; Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. minimum (3)	Water Main 12 inches is the minimum.	Water Main Alternate: 6 ft. minimum
On-Site Storage Treatment & Reuse System	10 ft. minimum		

**NOTES:**  
 (1) ALL MAINS SHOULD BE ABOVE OTHER PIPE UNLESS WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.  
 (2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.  
 (3) 3 FT. GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.  
 (4) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

ITEM	CROSS REF.	SPEC. REF.

ISSUE DATE	APPROVED BY	STANDARD DETAIL	GS
10/11/2017	D.V.	POTABLE WATER MAIN, WASTEWATER & STORM SEWER CONFLICT	1.5
			SHEET 1 of 2



1. ALL MATERIALS AND LABOR UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAMI-DADE WATER AND SEWER DEPARTMENT AND SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS AVAILABLE AND ON FILE WITH THE DEPARTMENT. **SUBMIT SHOP DRAWINGS FOR ALL MATERIALS.**

2. COVER OVER WATER OR SEWER FORCE MAINS SHALL BE 4'-0" MIN.

3. ALL MAIN LINE VALVES SHALL BE INSTALLED COMPLETE WITH 10" RISER PIPES AND NO. 3 OR 53 VALVE BOXES. FIRE HYDRANTS AND SERVICE VALVES SHALL BE INSTALLED COMPLETE WITH 6" RISER PIPES AND NO. 2 VALVE BOXES.

4. ALL FORCE MAIN SERVICE CONNECTIONS INTO PRESSURE TRANSMISSION MAINS SHALL HAVE A SHUT OFF VALVE AND CHECK VALVE AT THE POINT OF ENTRY.

5. ALL GRAVITY SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEPARTMENT STANDARDS.

6. ALL WATER METERS WILL BE INSTALLED BY THE MIAMI-DADE WATER AND SEWER DEPARTMENT, PROVIDING THE APPROPRIATE CHARGES HAVE BEEN PREPAID.

7. FIRE HYDRANT REQUIREMENTS (NUMBER AND LOCATION) SHALL BE AS REQUIRED BY MIAMI-DADE COUNTY FIRE DEPARTMENT OR THE APPROPRIATE FIRE AGENCY WITH INSTALLATION IN ACCORDANCE WITH DEPARTMENT STANDARDS.

8. CONTRACTOR MUST CALL MDWASD INSPECTION DIVISION TO ARRANGE FOR A PRECONSTRUCTION MEETING 2 FULL BUSINESS DAYS PRIOR TO PROPOSED START OF CONSTRUCTION. CONTACT ONE CALL CENTER 48 HRS PRIOR TO EXCAVATION.

9. CONTRACT INSPECTOR WILL INSPECT ANY FACILITIES APPROVED BY THE DEPARTMENT. ALL OTHER REQUIREMENTS OF THE PERMITTING AGENCY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND REQUIREMENTS.

10. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL FINAL ACCEPTANCE OF THE SYSTEM BY THE DEPARTMENT AND UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED AND APPROVED BY THE DEPARTMENT:

- EASEMENTS, IF REQUIRED
- CONTRACTOR'S WAIVER AND RELEASE OF LIEN
- ABSOLUTE BILL OF SALE
- CONTRACTOR'S LETTER OF WARRANTY (I.E., LETTER AGREEMENT)
- DEVELOPER'S CONTRACT BOND (I.E., CONTRACT AGREEMENT)
- "RECORD DRAWING" PRINTS (24" x 36") SHOWING SPECIFIC LOCATIONS, DEPTH, ETC. OF ALL WATER AND SEWER FACILITIES AS LOCATED BY A LICENSED SURVEYOR & MAPPER, ALONG WITH PRINTS OF "RECORD DRAWINGS" WHICH HAVE BEEN SIGNED AND SEALED BY A REGISTERED SURVEYOR & MAPPER. (No. OF PRINTS: 3-FOR WATER, 4-FOR GRAVITY SEWER AND 5-FOR FORCE MAIN OR PUMP STATION PROJECTS). Submit final CAD files required.
- H.R.S. LETTER OF RELEASE REQUIRED FOR ALL WATER PROJECTS
- BILL OF SALE SKETCH (8 1/2" x 11") FOR WATER AND SEWER, SEPARATELY

11. ALL NEW CONNECTIONS FROM EXISTING DEPARTMENT MAINS TO BE MADE BY DEPARTMENT FORCES ONLY. THE CONTRACTOR TO EXCAVATE AT REQUIRED LOCATIONS, PROVIDE AND INSTALL MATERIAL WITH FITTINGS, PRIOR TO TAP.

12. AN APPROVED PAVING AND DRAINAGE PLAN MUST BE SUBMITTED TO MDWASD FOR ALL NEW SUBDIVISIONS PRIOR TO APPROVAL OF WATER AND SEWER PERMIT PLANS, UPON REQUEST.

13. UNLESS OTHERWISE SPECIFIED, ALL TAPS 20 INCHES AND SMALLER FOR CONNECTIONS TO EXISTING MAINS WILL BE DONE BY DEPARTMENT FORCES. UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE PERMITTED TO TAP EXISTING MAINS IN THE SIZE RANGE SPECIFIED ABOVE. THE TAPPING SLEEVE AND TAPPING VALVE ARE FURNISHED AND INSTALLED BY THE CONTRACTOR UNDER THE SUPERVISION OF THE INSPECTOR.

ITEM	CROSS REF.	SPEC. REF.

ISSUE DATE	APPROVED BY	STANDARD DETAIL	GS
03/01/2010	V.F.C.	STANDARD REQUIREMENTS WATER AND SEWER CONSTRUCTION	0.5
07/20/2016	D.V.		SHEET 1 of 2



DELTA	DESCRIPTION	DATE
1	X	XX-XX-XX
2	X	XX-XX-XX
3	X	XX-XX-XX
4	X	XX-XX-XX
5	X	XX-XX-XX
6	X	XX-XX-XX

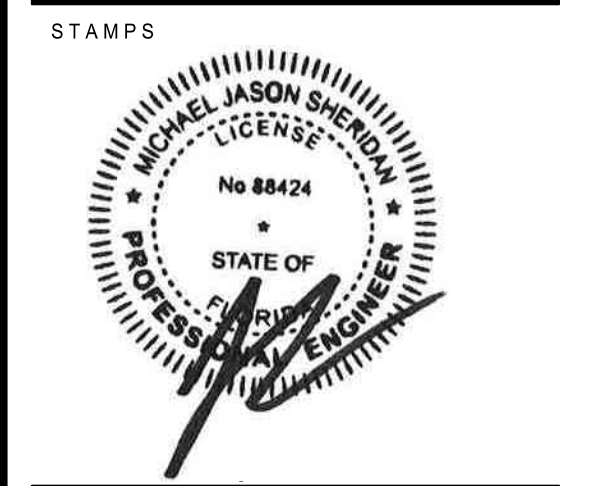
**TAKE 5 CAR WASH**

1350 NW 87TH AVENUE  
MIAMI, FL

ENGINEER:

**Pennoni**

PENNONI ASSOCIATES INC.  
3755 NW 10th Drive  
Ocala, FL 32767  
Florida CEA: 7919



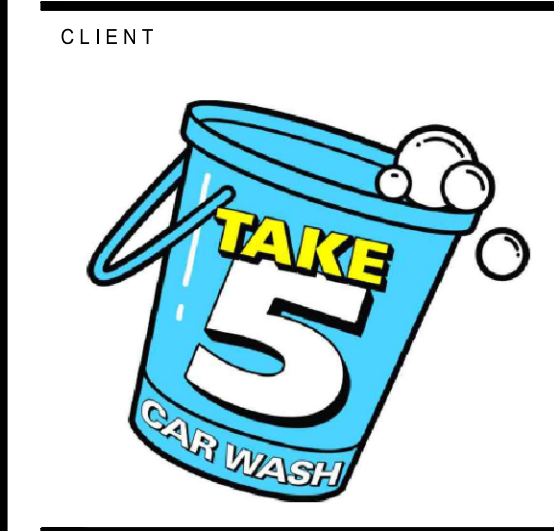
UTILITY DETAILS

PROJECT NUMBER  
**DRVBR22027**

DATE: 08-01-2022  
SCALE: AS NOTED  
DRAWN: JO  
CHECKED: JS

SHEET NO  
**CS6003**

U:\Account\DRVBR\DRVBR22027 - Take 5 Car Wash Miami\DESIGN\DWG\SS\SS6003.dwg  
 PLOTTED: 4/20/2023 8:11 AM BY: Jack Odom  
 PLOTTED BY: Jack Odom  
 PROJECT STATUS:



DATE	DESCRIPTION	DELTA
XX-XX-XX		1 X
XX-XX-XX		2 X
XX-XX-XX		3 X
XX-XX-XX		4 X
XX-XX-XX		5 X
XX-XX-XX		6 X

**TAKE 5 CAR WASH**  
 1350 NW 87TH AVENUE  
 MIAMI, FL

ENGINEER:

PENNONI ASSOCIATES INC.  
 3755 NW 75th Street  
 Clearwater, FL 34622  
 Florida C.O.C. #7919

STAMPS:

UTILITY DETAILS

PROJECT NUMBER  
**DRVBR22027**

DATE: 08-01-2022  
 SCALE: AS NOTED  
 DRAWN: JO  
 CHECKED: JS  
 SHEET NO.

**CS6004**

**TYPE "A" FRAME AND METAL COVER**

MINIMUM (3) COURSES CLAY BRICK  
 MAXIMUM (5) COURSES CLAY BRICK

REINFORCED PRECAST CONCRETE SECTION (KEYED TO LOWER WALL)

PRECAST CONCRETE

WATER TABLE (WT.)

8" PIPE PLUS 6" NON-SHRINK GROUT (14" HOLE TOTAL DIAMETER)

BRICK RUBBLE BEDDED AND COVERED WITH GROUT

8" MIN. CONCRETE SLAB CAST MONOLITHICALLY WITH LOWER WALL HT. OF 10'-2" TO 11'-10" MAX.; SEPARATE BASE SLAB 12" THK. W/ WATERSTOP FOR NON-MONOLITHIC POUR WITH LOWER WALL HT. OF 13'-8" TO 15'-4" MAX.

SEE DETAIL 2 ON SS 6.0 SHEET 3 OF 3 (ONLY FOR NON-MONOLITHIC POUR)

PIPE BEDDING MATERIAL OR DRAINFIELD LIMEROCK

BASE DIAMETER; SEE BASE SLAB SCHEDULE INCLUDING THICKNESS AND REINFORCING

#4 @ 12" ON CENTER TOP EACH WAY

NOTES:

- BRICK MASONRY CONSTRUCTION TO BE STUCCOED WITH 3/4" MORTAR INSIDE AND OUTSIDE.
- SEE DETAIL SS 7.0 FOR INFLUENT/EFFLUENT ARRANGEMENT.
- CONCRETE INSIDE TO BE SEAL COATED WITH 16 MIL THICKNESS APPROVED COATING/LINER.
- LIFT HOLES THROUGH PRECAST STRUCTURE ARE NOT PERMITTED.
- SEE TECHNICAL SPECIFICATIONS FOR PLACEMENT OF CONSTRUCTION JOINTS & REQUIRED ACCESSORIES.
- ECCENTRIC CORBELS FOR MANHOLES 8 FEET AND DEEPER (OPTIONAL).
- A FLOW CHANNEL SHALL BE CONSTRUCTED INSIDE MANHOLE TO DIRECT INFLUENT INTO FLOW STREAM. ALL OPENINGS SHALL BE SEALED WITH NON-SHRINK GROUT.
- NO CONSTRUCTION JOINT WILL BE ALLOWED BELOW AN ELEVATION OF FOUR FEET (4.0) ABOVE MEAN SEA LEVEL. CONSTRUCTION JOINTS WILL BE ALLOWED ABOVE ELEVATION +4.0 IF ADEQUATE KEY-WAYS AND WATER STOPS, APPROVED BY THE ENGINEER, ARE PROVIDED. SUBMIT SHOP DRAWINGS WITH COMPLETE DETAILS FOR APPROVAL.
- IF CONSHIELD ANTI-MICROBIAL AGENT IS USED IN THE CONCRETE MIXTURE, INTERIOR COATINGS AND LINERS CAN BE ELIMINATED.
- FOR BASE SLAB DETAIL, SCHEDULE AND ADDITIONAL NOTES SEE SS 6.0 SHEET 2 OF 3 FOR THE STANDARD MANHOLE.
- SEE SPECIFICATIONS SEC. 03300 AND SEC. 03410 FOR REQUIREMENTS OF CONCRETE, FORMWORK AND REINFORCING.
- FOR ANY DEVIATION FROM MONOLITHIC WALL MAX. HEIGHT AND THE USE OF WATER-STOP, SUBMIT PRECAST MANUF. SHOP DRAWINGS FOR APPROVAL.

ITEM	CROSS REF.	SPEC. REF.
SHALLOW MANHOLE FLOW PATTERNS	SS 7.0	
MANHOLE COVER	SS 6.1	
	SS 4.0	

ISSUE DATE	APPROVED BY	STANDARD DETAIL	SS
9-30-2014	J.B.F.	STANDARD MANHOLE	6.0

MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT

**BASE SLAB DETAIL**  
 (PVC WATERSTOP NOT SHOWN FOR 12" THK. BASE SLAB; SEE DETAIL 2 ON SS 6.0 SHEET 3 OF 3)

#4 CIRCULAR PERIMETER EDGE REBAR (FOR TOP AND BOT. MAT REBAR); SEE BASE SLAB SCHEDULE

FOR TOP AND BOT. MAT REBAR (SEE BASE SLAB SCHEDULE)

**SQUARE BASE SLAB**  
 (OPTIONAL)

SEE BASE SLAB SCHEDULE (SAME AS CIRCULAR DIAMETER)

**CIRCULAR BASE SLAB**  
 SEE BASE SLAB SCHEDULE

**MANHOLE BASE SLAB SCHEDULE**

BASE SLAB DIA. THICKNESS	* MANHOLE OVERALL DEPTH	STEEL REINFORCEMENT	ITEM	CROSS REF.	SPEC. REF.
6'-4" 8" MIN./12" MAX.	4'-0" MIN. 14'-6" MAX.	#4 @ 12" OC. TOP E.W.	SHALLOW MANHOLE FLOW PATTERNS	SS 7.0	
7'-4" 12"	14'-6" TO 17'-0" MAX.	#4 @ 12" OC. T. & B. E.W.	MANHOLE COVER	SS 6.1	
8'-4" 12"	17'-0" TO 18'-0" MAX.	#4 @ 12" OC. T. & B. E.W.		SS 4.0	

ISSUE DATE	APPROVED BY	STANDARD DETAIL	SS
9-30-2014	J.B.F.	STANDARD MANHOLE	6.0

MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT

**DETAIL 1**  
 (KEYWAY JOINT DETAIL)

NOTE: NOT REQUIRED FOR MONOLITHIC POUR OF LOWER WALL WITH CONE/CORBEL

**DETAIL 2**  
 (TYPICAL CONSTRUCTION JOINT DETAIL AT 12" THK. BASE SLAB WITH PVC WATERSTOP)

ISSUE DATE	APPROVED BY	STANDARD DETAIL	SS
9-30-2014	J.B.F.	KEYWAY JOINT DETAIL	6.0

MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT

**TYPE "A" COVER AND FRAME**

NOTES:

- FOR NUMBER REFERENCES SEE SS 7.0.
- CONSTRUCT FLOW CHANNELS AS PER SS 10.0
- OPENING SIZE TO BE OF THE PIPE OD + 4"
- D.I. PIPE CAN NOT EXTEND MORE THAN A MAX. OF 3" BEYOND INSIDE WALL AND MUST BE FEATHERED TO THE WALL WITH CEMENT. PVC PIPE SHALL BE FLUSH WITH INSIDE WALL OF MANHOLE.
- APPROVED GASKET.
- FOR REINFORCING STEEL SEE SS 6.0
- CONCRETE TO BE SEAL COATED INSIDE WITH 16 MIL THICKNESS APPROVED COATING/LINER.
- LIFT HOLES THROUGH PRECAST STRUCTURE ARE NOT PERMITTED.
- SEE TECHNICAL SPECIFICATIONS FOR PLACEMENT OF CONSTRUCTION JOINTS & REQUIRED ACCESSORIES.
- ALL OPENINGS SHALL BE SEALED WITH NON-SHRINK GROUT.
- A FLOW CHANNEL SHALL BE CONSTRUCTED INSIDE MANHOLE TO DIRECT INFLUENT INTO FLOW STREAM.
- FOR INFLUENT/EFFLUENT PIPING ARRANGEMENT SEE SS 7.0
- IF CONSHIELD ANTI-MICROBIAL AGENT IS USED IN THE CONCRETE MIXTURE, COATINGS AND LINERS CAN BE ELIMINATED.

ITEM	CROSS REF.	SPEC. REF.
PIPING	SS 7.0	
PIPE CONN.	SS 6.0	
FLOW PATTERNS	SS 10.0	
MANHOLE COVER	SS 4.0	

ISSUE DATE	APPROVED BY	STANDARD DETAIL	SS
04/13/2009	V.F.C.	STANDARD MANHOLE FLOW CHANNELS	6.1

MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT

**SEWER**

**TOP VIEW**  
 N.T.S.

**FRONT SECTION**  
 N.T.S.

**SIDE VIEW**  
 N.T.S.

NOTES:

- CAST IRON LID TO BE A MODIFIED VERSION OF USF No. 7715 (OR EQUIVALENT) WITHOUT BOLT HOLES, MARKED "SEWER" AND A.D.A. COMPLIANT FOR USE IN SIDEWALKS. LID WT. APPROX. 55 LBS.

ITEM	CROSS REF.	SPEC. REF.
WYE BRANCH CONNECTION	SS 1.0	

ISSUE DATE	APPROVED BY	STANDARD DETAIL	SS
01/14/2010	V.F.C.	SANITARY SEWER CLEAN-OUT LID DETAIL	22.0

MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT

**TOP VIEW**  
 N.T.S.

**FRONT SECTION**  
 N.T.S.

**BOTTOM VIEW**  
 N.T.S.

**ISOMETRIC VIEW**  
 N.T.S.

**SIDE VIEW**  
 N.T.S.

ITEM	CROSS REF.	SPEC. REF.
WYE BRANCH CONNECTION	SS 1.0	

ISSUE DATE	APPROVED BY	STANDARD DETAIL	SS
01/14/2010	V.F.C.	SANITARY SEWER CLEAN-OUT CONCRETE BOX DETAIL	22.0

MIAMI-DADE COUNTY WATER & SEWER DEPARTMENT

U:\Account\DRIVER\DR22027 - Take 5 Car Wash Miami\SS6004 - SHEETS\SS6004.dwg  
 PLOTTED: 4/20/2022 10:11 AM BY: Jack Odom  
 PROJECT STATUS: PLOTSTYLE: Pennon VSS.dwt



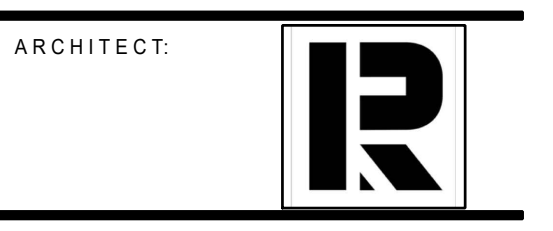


**RECEIVED**  
By Stephanie Puglia at 3:04 pm, Feb 23, 2023



DATE	DESCRIPTION	REVISION
01/24/2023	01/24/2023	1

**TAKE 5 CAR WASH**  
1350 NW 87TH AVE  
MIAMI, FL 33172



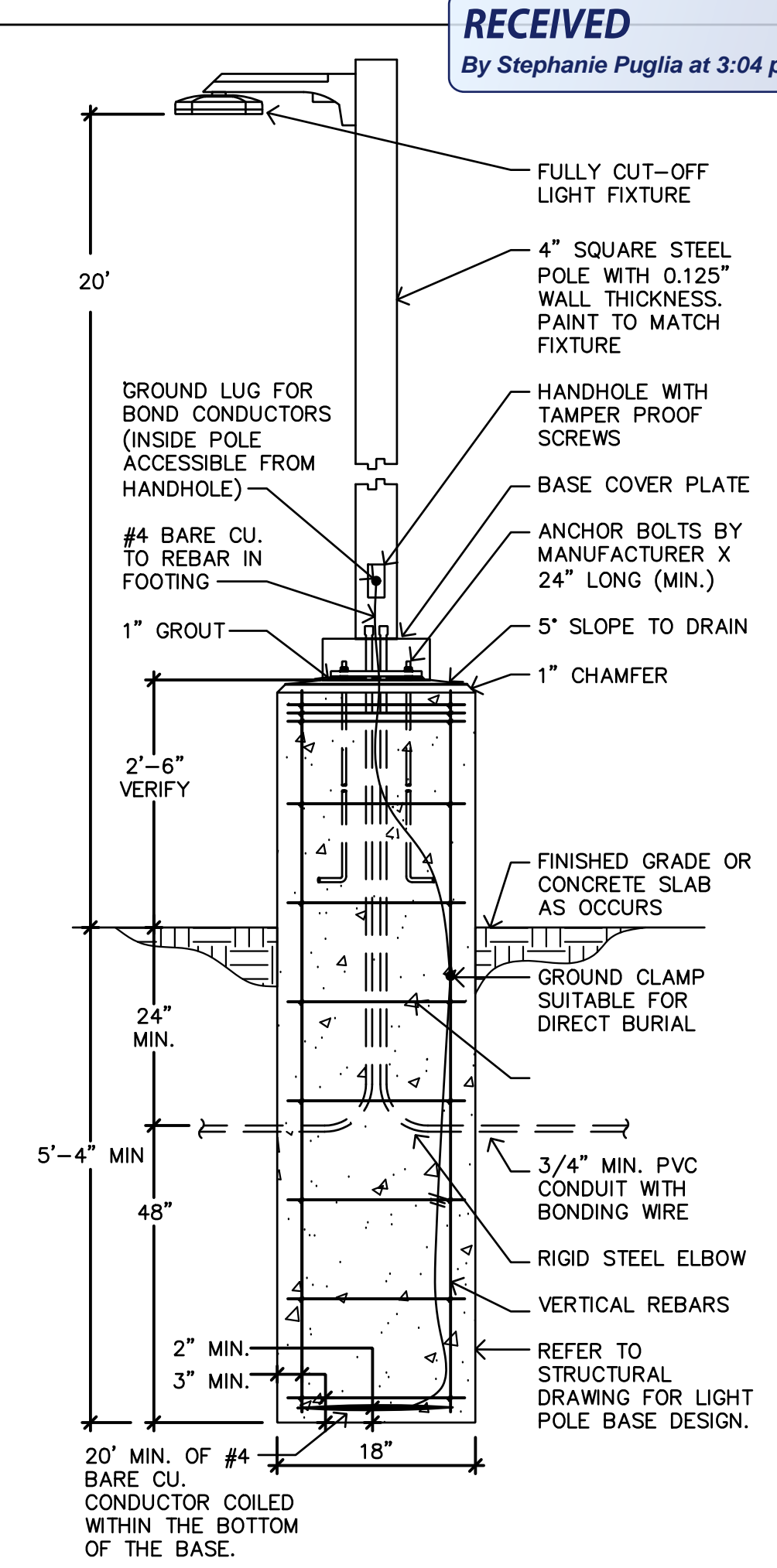
ARCHITECT:  
ENGINEER:  
STAMPS:

SHEET TITLE  
**PHOTOMETRIC**

PROJECT NUMBER  
**22-0332**

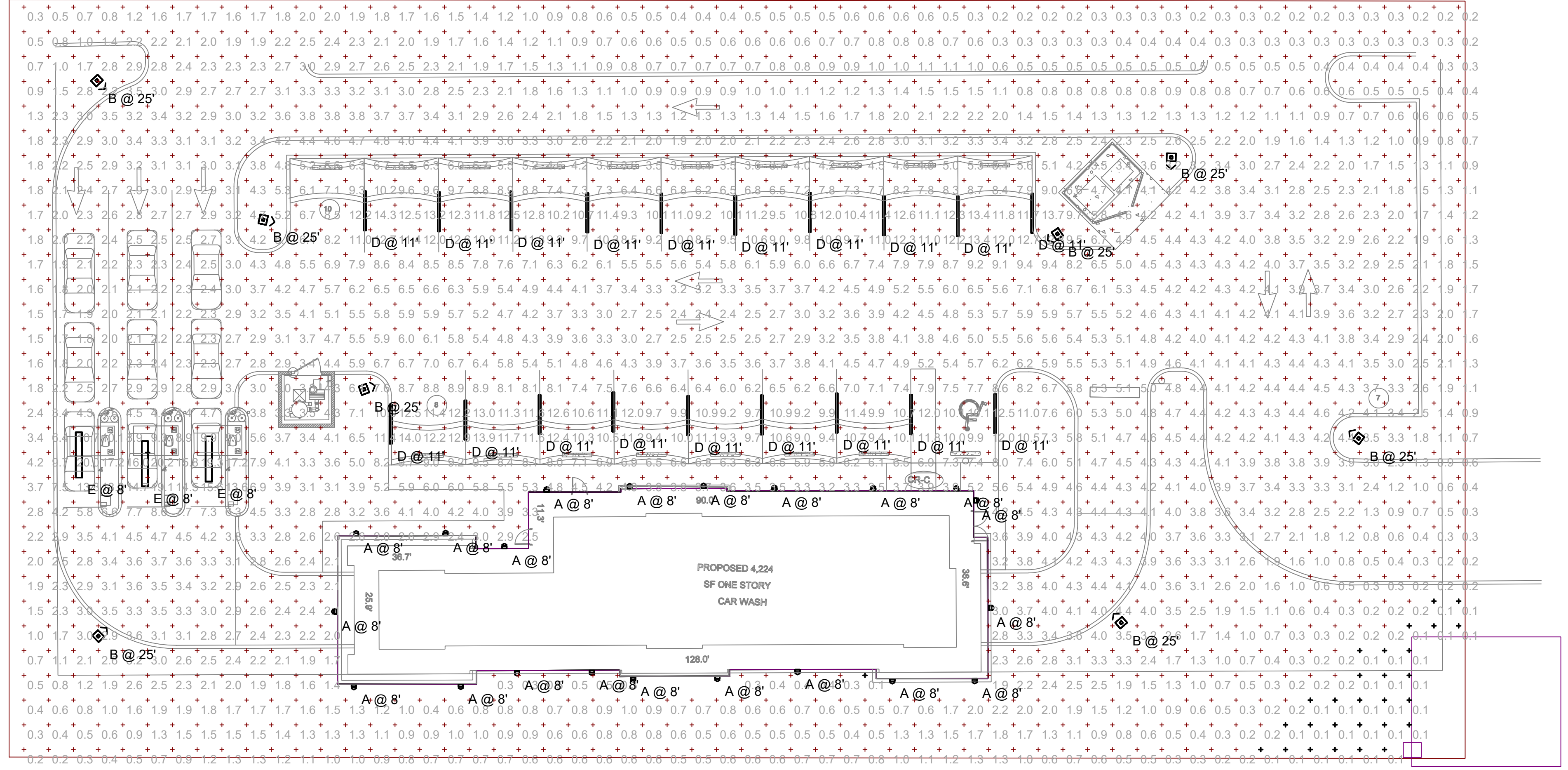
DATE: 09.19.2022  
SCALE: AS NOTED  
DRAWN:  
CHECKED:  
SHEET NO:

**E102**



- NOTES
- E.P.A. RATINGS SHALL BE COORDINATED WITH POLE AND FIXTURE ASSEMBLY.
  - GENERAL CONTRACTOR TO PROVIDE POLE BASE DESIGN SEALED BY PROFESSIONAL STRUCTURAL ENGINEER. REFER TO STRUCTURAL DRAWINGS S4.0 FOUNDATION DETAILS, 118 FOR LIGHT POLE FOOTING.
  - CONNECT TO REBAR WITH APPROVED LISTED GROUNDING CLAMPS USED FOR THIS PURPOSE.

**POLE MOUNTING DETAIL - FIXTURE TYPE 'B'**



Plan View  
Scale - 1" = 20ft

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.1 fc	0.8 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	3.7 fc	20.2 fc	0.1 fc	202.0:1	37.0:1

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
⏏	A		21	Healthcare Lighting	HPSC LED 30K MVOLT N60	HPSC LED WALL SCONCE w/ ETCHED OPAL ACRYLIC DIFFUSER	1	558	1	12	
⏏	B		8	Lithonia Lighting	DSX1 LED P5 40K T4M MVOLT HS	DSX1 LED P5 40K T4M MVOLT with housingside shield	1	12025	1	138	
⏏	C		0	Lithonia Lighting	DSX1 LED P5 40K T5M MVOLT	DSX1 LED P5 40K T5M MVOLT	1	16435	1	138	
	D		19	Lithonia Lighting	CSS L48 ALO3 MVOLT SWW3 80CRI (3000LM 5000K)	Contractor LED Single Strip Light, 48", Switchable lumens (3000LM / 4000LM / 5000LM), 120-277V, Switchable White (3500K, 4000K, 5000K), 80 CRI, Set to 3000LM 5000K	1	3174	1	24.26	
	E		3	Lithonia Lighting	VAP 4000LM FST WD 50K 80CRI	VAP LED with BLT Gen 2 Boards	1	3919	1	32.9	
○	F		0	Luminis Canada Inc.	SQ600-L1L15-R55	Syrios Square 6	1	1701	1	15.3	

**CASE Engineering Inc.**  
796 Merus Court  
St. Louis, MO 63026  
T 636.349.1600  
F 636.349.1730  
CERTIFICATE OF AUTHORITY NO. 32860

**RECEIVED**  
By Stephanie Puglia at 3:02 pm, Feb 23, 2023

AOR TO COORDINATE WITH VACUUM EQUIPMENT MANUFACTURER FOR VACUUM LINE STUB LOCATIONS.

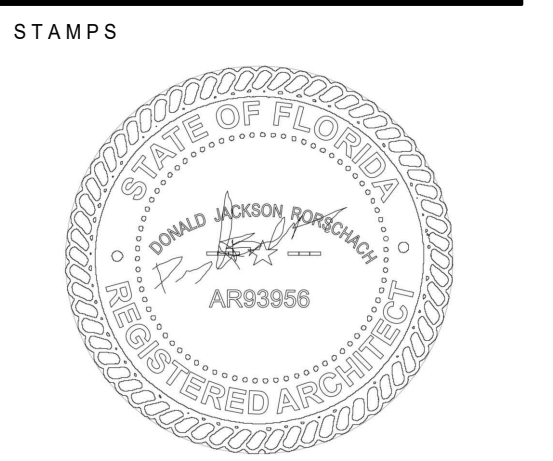


DATE	DESCRIPTION
02/08/2023	1 SITE COMMENTS

**TAKE 5 CAR WASH**  
 1350 NW 87TH AVE  
 MIAMI, FL 33172

ARCHITECT: **R**

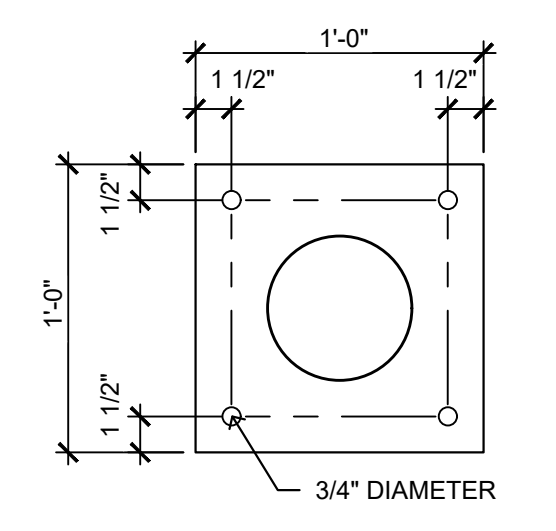
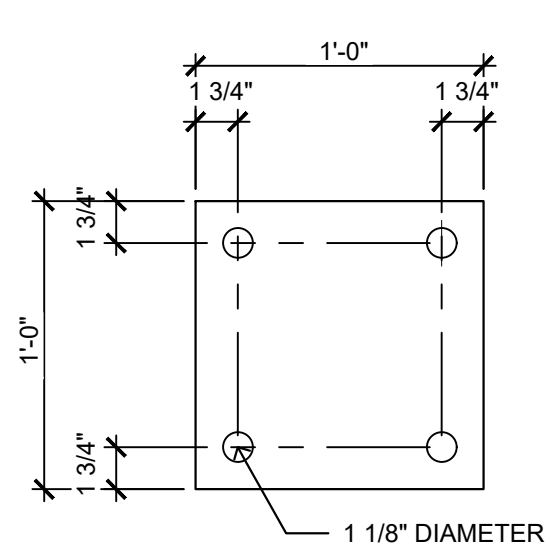
ENGINEER:



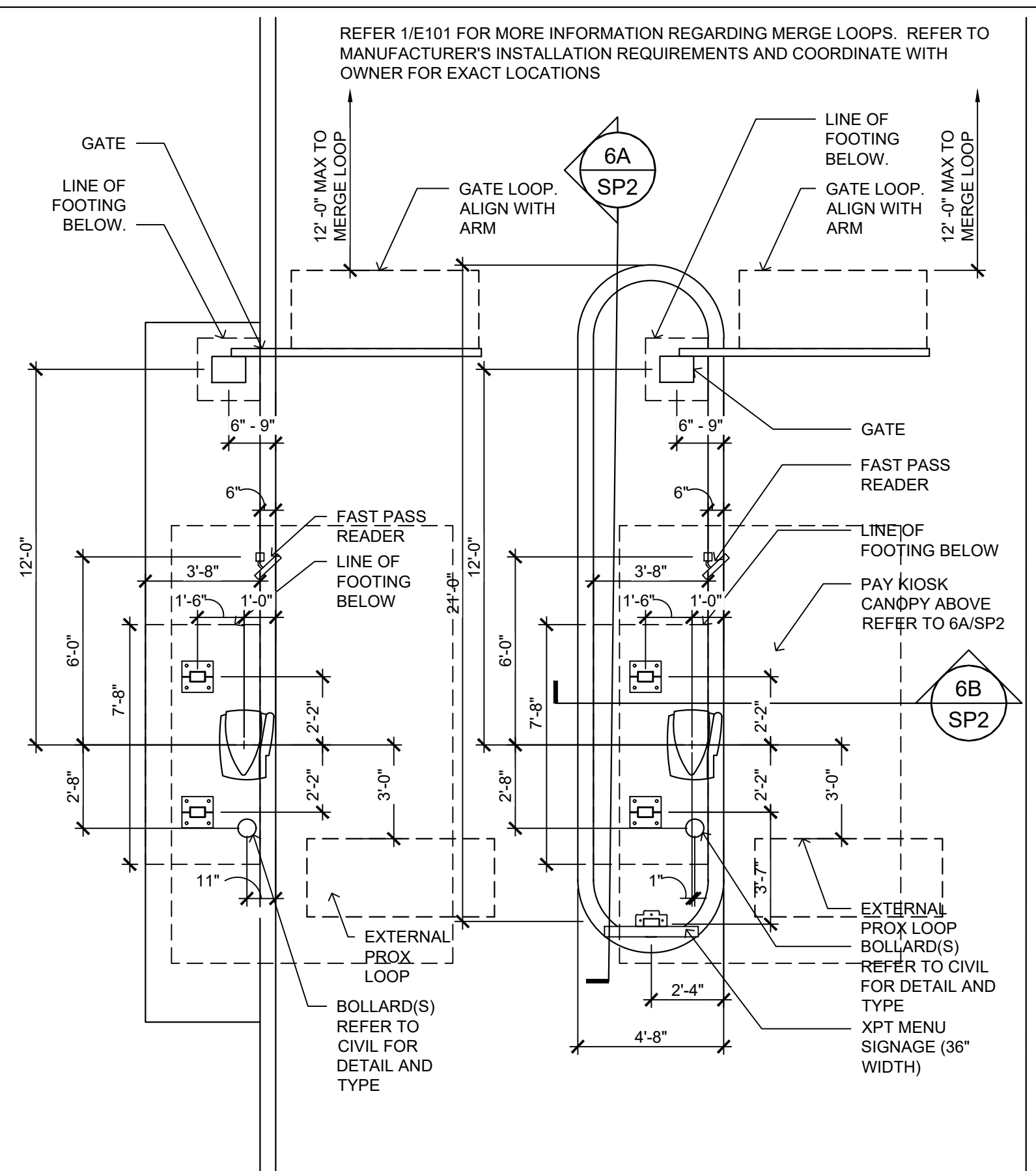
SHEET TITLE  
**SITE ENLARGED PLAN & DETAILS**  
PROJECT NUMBER  
**22-0332**

DATE: 08/16/2022  
SCALE: AS NOTED  
DRAWN: JD  
CHECKED: KT  
SHEET NO.

**SP2**



**BASE PLATE DIMENSIONS**  
1-1/2" = 1'-0" 7

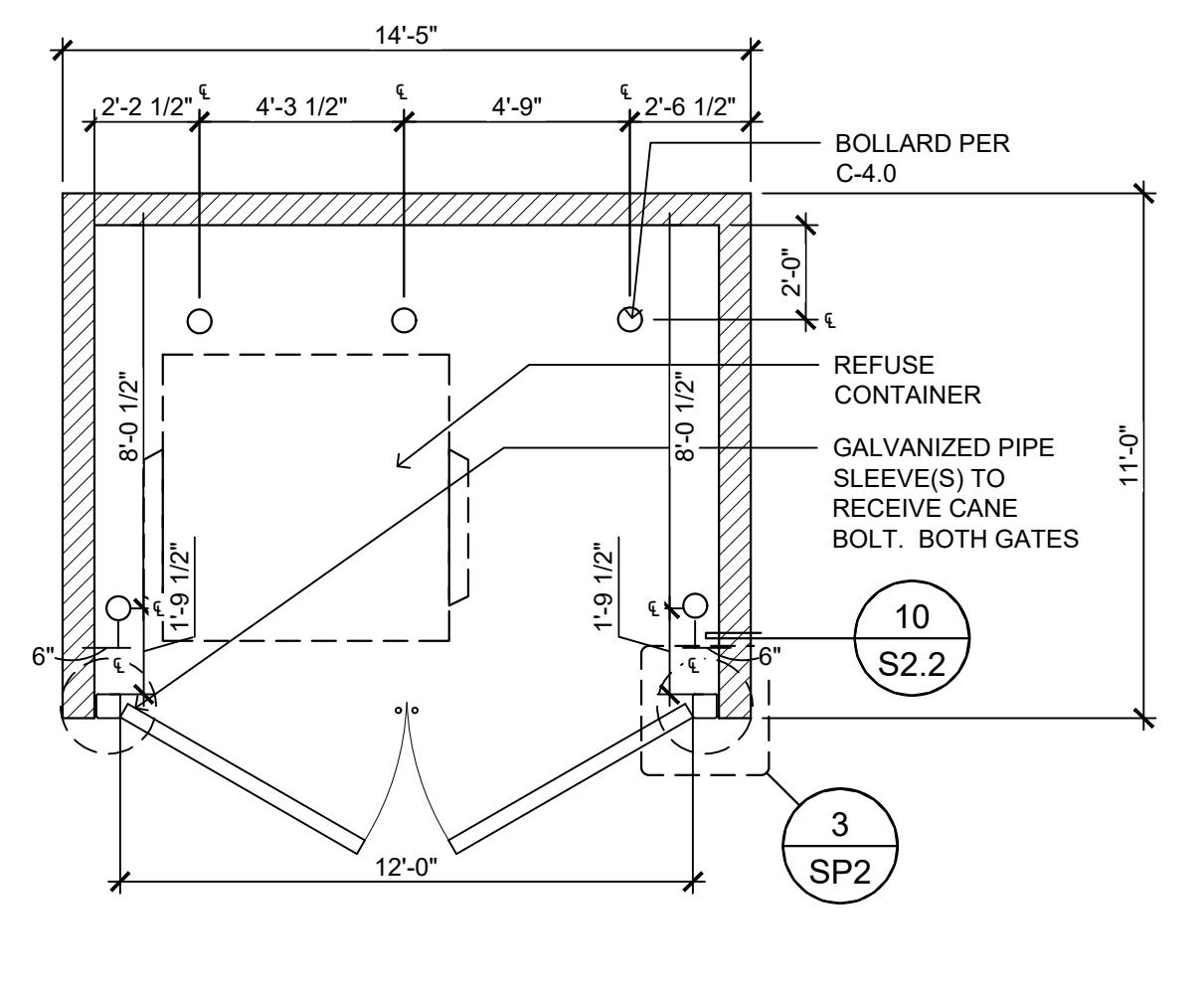
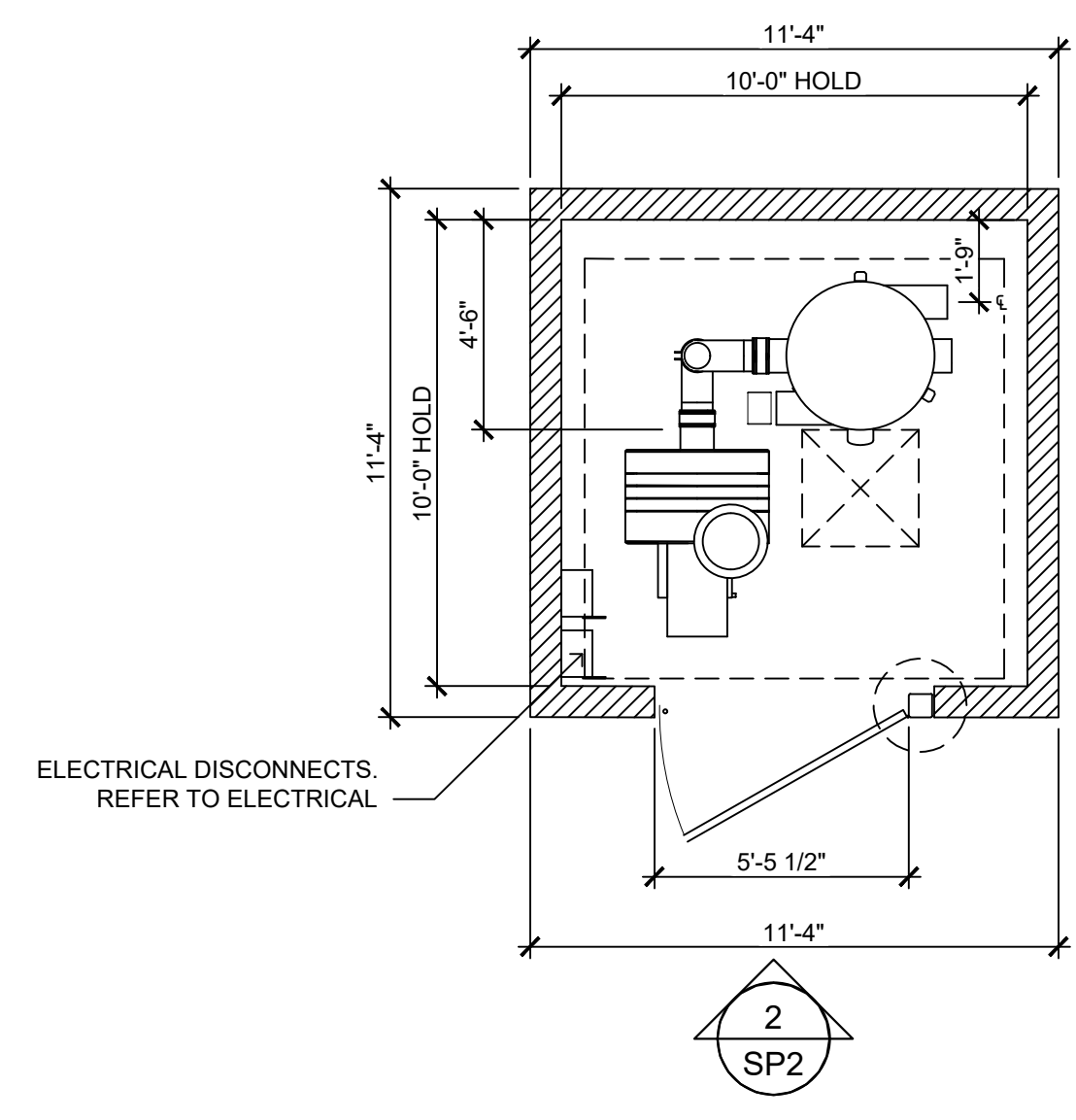


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  - GATE FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS
  - FAST PASS READER FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS
  - XPT CANOPY (TSS) FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS
  - XPT MENU SIGNAGE FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. REFER TO ELECTRICAL FOR POWER AND DATA REQUIREMENTS
  - LOOPS FURNISHED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR. REFER TO MANUFACTURER'S INSTALLATION REQUIREMENTS AND COORDINATE WITH OWNER FOR EXACT LOCATIONS

REFER TO CIVIL PAVING DRAWINGS FOR ALL PAVING SPECIFICATIONS AND DIMENSIONAL CONTROLS.

SINGLE POINT OF CONTACT:  
BOB MCQUAGE, ICWG ENGINEERING & TECHNICAL DIRECTOR  
901.870.3498  
BOBMCQUAGE@ICWG.COM

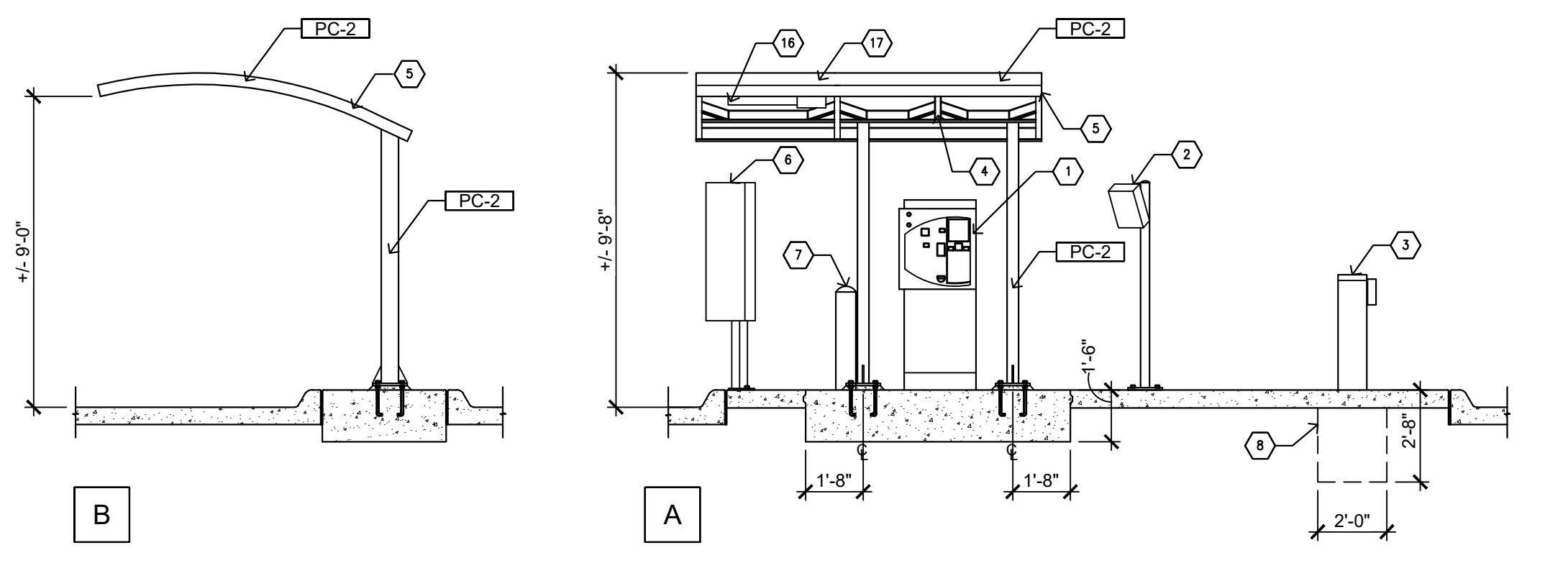
**PAY KIOSK ENLARGED PLAN**  
1/4" = 1'-0" 5



- OWNER FURNISHED PRODUCTS AND NOTES**
- VACUUM EQUIPMENT FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR.
  - GENERAL CONTRACTOR SHALL FURNISH AND INSTALL UNDERGROUND VACUUM SUCTION PIPES. REFER TO SP-1 FOR MORE INFORMATION.

REFER TO CIVIL PAVING DRAWINGS FOR ALL PAVING SPECIFICATIONS AND DIMENSIONAL CONTROLS.

**REFUSE AND VACUUM EQUIPMENT ENCLOSURE ENLARGED PLAN**  
1/4" = 1'-0" 1

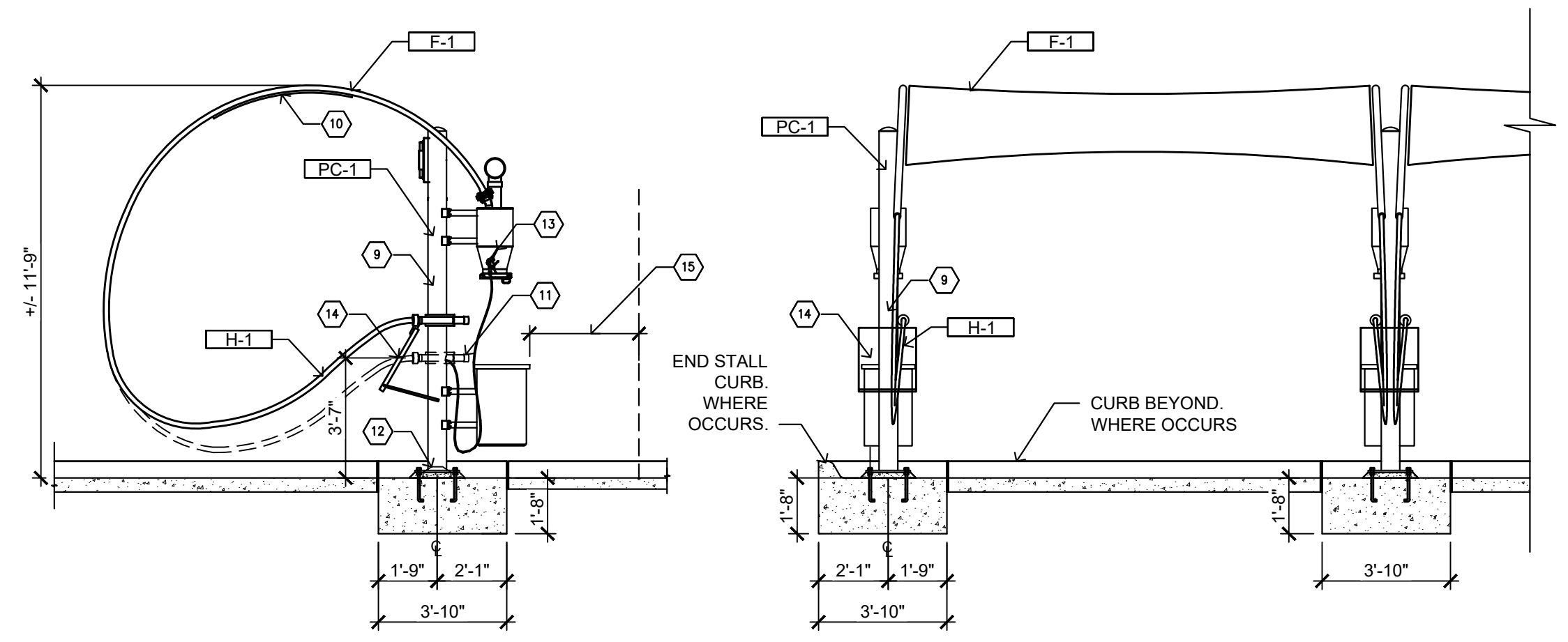


**PAY KIOSK ISLAND SECTION**

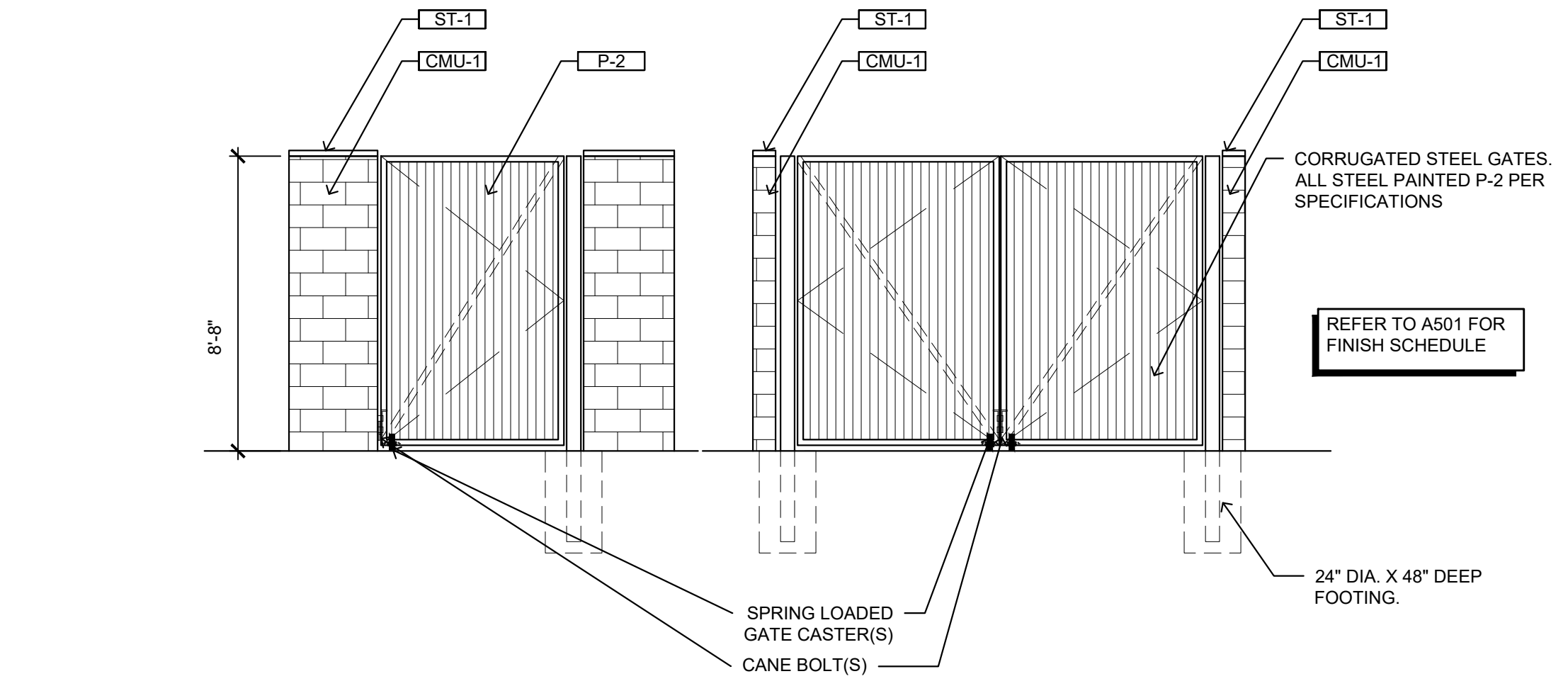
- KEYNOTES**
- XPT PAY KIOSK. REFER TO 4/ SP2 FOR MANUFACTURER BASE FRAME. CONFIRM FOOTING AND BASE PLATE/ ANCHOR BOLT PLACEMENT WITH MANUFACTURER (DRB SYSTEMS) INSTRUCTIONS PRIOR TO INSTALLATION
  - FAST PASS READER. REFER TO E2 FOR ELECTRICAL REQUIREMENTS. NO FOOTING REQUIRED PER THE MANUFACTURER (DRB SYSTEMS)
  - VEHICULAR GATE. REFER TO E2 FOR ELECTRICAL REQUIREMENTS. REFER TO MANUFACTURER'S (DRB SYSTEMS) INSTALLATION REQUIREMENTS FOR REQUIRED FOOTING AND BASE PLATE/ ANCHOR BOLT PLACEMENT
  - LED LIGHT 'S2' FURNISHED AND INSTALLED BY GENERAL CONTRACTOR
  - PRE-MANUFACTURED CANOPY BY TSS (WWW.TSSCWS.COM). MODEL: CPHSD - HEAVY DUTY DUAL POST CURVED PAY STATION CANOPY. SEE BOLT PATTERN THIS SHEET. REFER TO STRUCTURAL FOR FOOTING
  - MENU SIGN BY OWNER. REFER TO SHEET E100 FOR ELECTRICAL REQUIREMENTS
  - BOLLARD. REFER TO CIVIL
  - LINE OF FOOTING. VERIFY FOOTING REQUIREMENTS WITH THE MANUFACTURER'S INSTALLATION MANUAL.
  - UMBRELLA ARCH. MANUFACTURER: VACUTECH. REFER TO BASE PLATE BOLT PATTERN THIS SHEET. REFER TO STRUCTURAL FOR FOOTING.
  - 'S1' LIGHT FIXTURE. FURNISHED BY OWNER, INSTALLED BY GENERAL CONTRACTOR.
  - ACCESSIBLE VACUUM HOSE AT HANDICAP ACCESSIBLE STALL. REFER TO CIVIL FOR HANDICAP ACCESSIBLE VACUUM STALL
  - WHEEL STOP (WHERE OCCURS). REFER TO CIVIL.
  - COMPRESSED AIR HOSE AND NOZZLE FURNISHED BY MANUFACTURER WITH VACUUM ARCH. GENERAL CONTRACTOR SHALL PROVIDE (1) UNDERGROUND SLEEVE FROM EQUIPMENT ROOM TO EACH ROW OF VACUUM STALLS. REFER TO SP1
  - CAR MAT RACK FURNISHED BY MANUFACTURER.
  - MAINTAIN MINIMUM ACCESSIBLE ROUTE WIDTH. REFER TO CIVIL.
  - EXTERIOR INDIRECT HEATER. REFER TO MECHANICAL.
  - EXTENDED CANOPY OVERHANG BY TSS; REFER TO STRUCTURAL FOR FOOTINGS.

REFER TO A501 FOR FINISH SCHEDULE

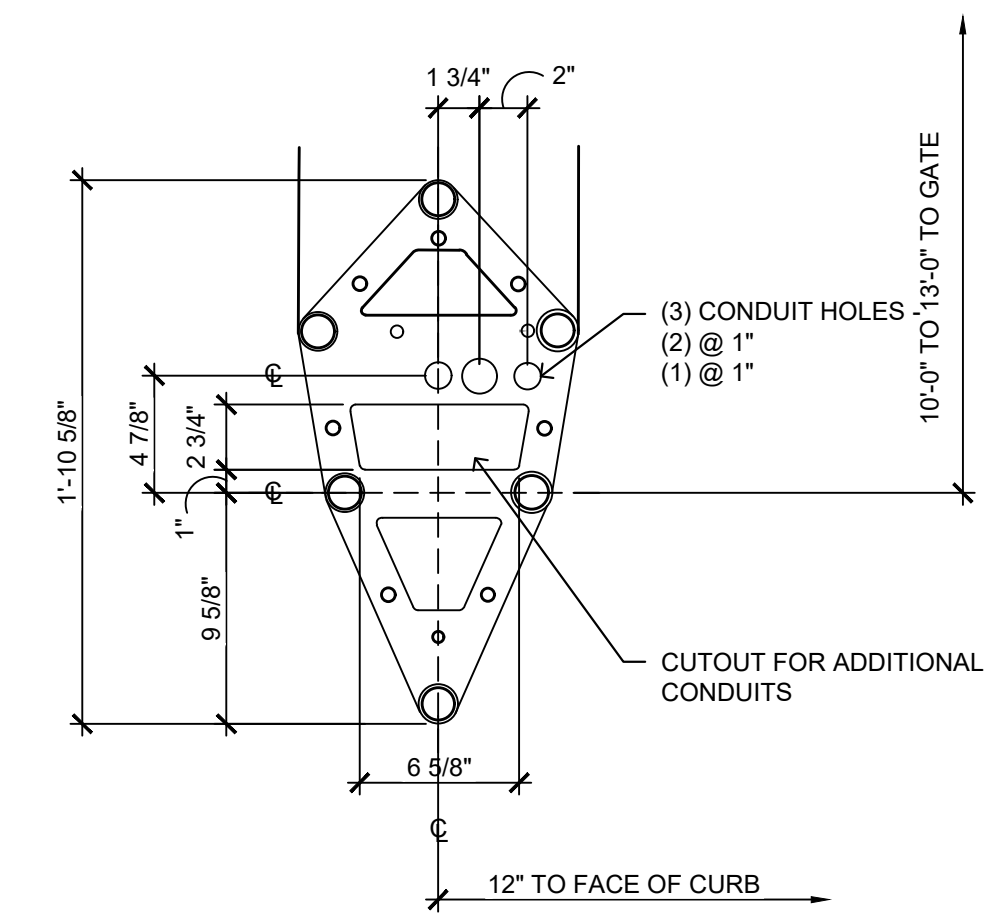
**TYPICAL VACUUM ARCH AND PAY KIOSK ISLAND SECTIONS**  
1/4" = 1'-0" 6



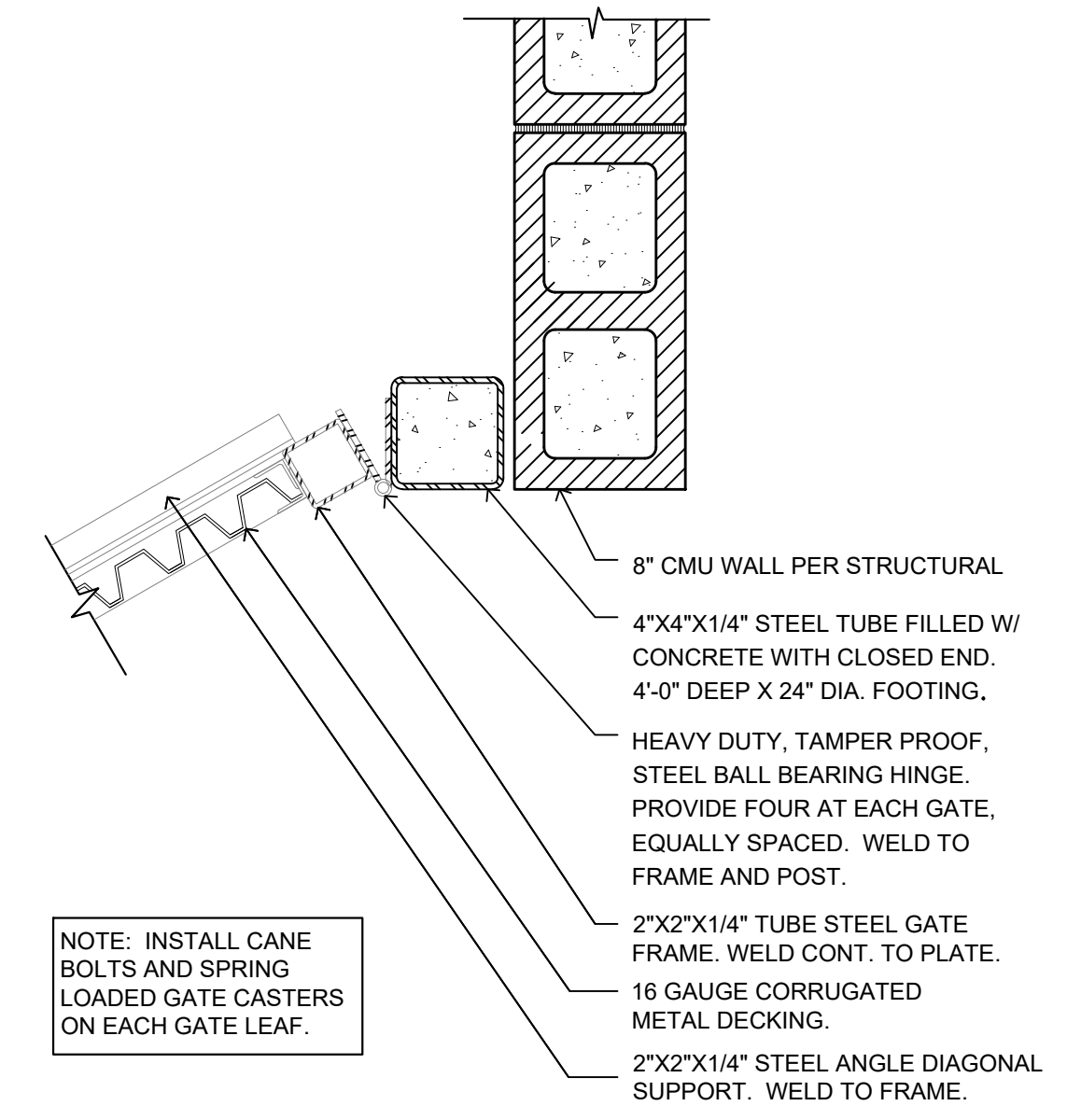
**TYPICAL VACUUM ARCH SECTION**



**REFUSE AND VACUUM EQUIPMENT ENCLOSURE ELEVATION**  
1/4" = 1'-0" 2



**PAY KIOSK (XPT) BASE PLATE**  
1-1/2" = 1'-0" 4



NOTE: INSTALL CANE BOLTS AND SPRING LOADED GATE CASTERS ON EACH GATE LEAF.

**GATE JAMB DETAIL**  
1-1/2" = 1'-0" 3