RESOLUTION No. 17-75

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING/DENYING A MODIFICATION TO THE APPROVED SANCTUARY AT DORAL SITE PLAN, DATED NOVEMBER 2, 2016, CONSISTENT WITH THE SETTLEMENT AGREEMENT ENTERED INTO MARCH 13, 2017 BY AND BETWEEN THE CITY OF DORAL AND SANCTUARY AT DORAL LLC, FOR A 7.3 ACRES PARCEL LOCATED ON THE SOUTH SIDE OF NW 41 STREET AND BETWEEN (THEORETICAL) NW 94 AVENUE AND (THEORETICAL) NW 95 AVENUE IN THE CITY OF DORAL: PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Sanctuary at Doral, LLC (the "Applicant") is owner of a certain 7.3 ± acres parcel of real property, generally located on the south side of N.W. 41st Street, between theoretical N.W. 94th and 95th Avenues in the City of Doral, which is legally described in Exhibit "A" (the "Property"), for which the Applicant submitted applications to the City of Doral (the "City) to: (1) amend the Comprehensive Plan Future Land Use Map designation on the property; (2) rezone the property; (3) obtain a density bonus for workforce housing pursuant to Chapter 74 of the City Code of Ordinances (the "Code"); and obtain approval for the site plan for the development of the Property; and

WHEREAS, all of the foregoing applications were approved, except for the application for the workforce housing; and

WHEREAS, the approved a site plan entitled "Doral Sanctuary" provided for a project on the Property with 27,717 square feet of retail use and 182 residential units (the "Project"); and

WHEREAS, following the approval of the Project site plan, the Applicant initiated litigation against the City claiming that the denial of the workforce housing density bonus application was unlawful; and

WHEREAS, after amicable negotiations, on March 13, 2017, the Applicant, and the City entered into a Settlement Agreement, a copy of which is attached hereto as Exhibit "B" (the "Settlement Agreement"), which permits the Project to have an additional 44 workforce housing units among other provisions, representing a twenty percent (20%) reduction in the number of units requested by the Applicant in its density bonus application; and

WHEREAS, in furtherance of the Settlement Agreement, the Applicant has now submitted an application for approval of a modified site plan for the Project with a total of 226 residential units and 26,099 square feet of retail use; and

WHEREAS, Chapter 53 of the City Code required that amendments to previously approved site plans be submitted to the City Council review and approval; and

WHEREAS, staff recommends approval with conditions of the modified site plan contained in Exhibit "C," which is incorporated herein and made a part hereof by this reference; and

WHEREAS, the Applicant has also submitted a modified Doral Sanctuary Pattern Book consistent with the Settlement Agreement, dated last revised 3-23-17 and contained in Exhibit "D," which is incorporated herein and made a part hereof by this reference; and

WHEREAS, the Applicant has also submitted a Second Amendment to the Doral Sanctuary Master Development Agreement consistent with the Settlement Agreement, dated 3-23-17, contained in Exhibit "D," which is incorporated herein and made a part hereof by this reference; and WHEREAS, pursuant to law, notice has been given by publication in a paper of general circulation in the City, notifying the public of this proposed Resolution and of the public hearing; and

WHEREAS, the Mayor and City Council find that the adoption and implementation of this Resolution is in the best interest and welfare of the residents of the City.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL

OF THE CITY OF DORAL, FLORIDA, THAT:

Section 1. <u>Recital.</u> The above recitals are true and correct and incorporated

herein.

Section 2. Approval of Modified Site Plan. The modified site plan, providing

for the development of 26,099 square feet of retail use and 226 residential units to be

located on the 7.3-acre parcel located on the south side of NW 41 Street, approximately

600 feet east of NW 97th Avenue, is approved, subject to the following conditions:

- 1. Applicant must submit separate plans for Entrance Feature;
- 2. All applicable impact fees shall be paid by the Applicant prior to issuance of a building permit;
- 3. The proposed project shall be built in substantial conformance with the plans entitled Doral Sanctuary, prepared by MSA Architects, dated last submitted 3-20-17, consisting of 31 sheets, as amended;
- 4. The Property shall be landscaped in accordance with the landscape plan, prepared by AAL Architectural Alliance Landscape, dated last revised 3-20-17, as amended, and included with the site plan submittal;
- 5. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law;
- 6. Approval from Division of Environmental Resources Management (DERM) is required at time of building permit. If DERMs' requirements result in a

modification to the approved administrative site plan, which may include but is not limited to, the layout of proposed parking field, the Applicant will be fully responsible to meet those requirements prior to building permit approval;

- 7. Approval from Miami Dade County Fire Department is required at time of building permit;
- 8. The applicant shall comply with Ordinance No. 2015-09 "Public Arts Program";
- 9. All applicable local, state and federal permits must be obtained before commencement of the development;
- 10. The project shall comply with the requirements set forth in Sections in Ordinance No. 2016-03, if applicable;
- 11. The project should make every effort to incorporate the Low Impact Development (LID) practices in the project design consistent with Section 74-881 of the Land Development Code;
- 12. Provide compliance with the Floodplain Management regulation (Sec. 53-344) of the City's Land Development Code. Project team should contact the City's Floodplain Administrator to review the requirements of the Floodplain Management Ordinance;
- 13. Applicant shall indicate how the project will meet the requirement of the LDC Sec. 77-195 of the City's Land Development Code solar reflective index (SRI) of 28 or greater. Project shall meet the City's Green Ordinance requirements in Chapter 63 of the Land Development Code;
- 14. Project shall meet the City's Green Ordinance requirements in Chapter 63 of the Land Development Code;
- 15. The Applicant shall comply with applicable conditions and requirements provided by Miami-Dade County Public Works Department, Water and Sewer Department, Fire Rescue Department, and Regulatory and Economics Resources (DRER) prior to issuance of building permit;
- 16. The hours of operation during the construction shall adhere to as per Noise Ordinance No. 2011-01;
- 17. The Applicant shall submit a construction staging plan for review and approval prior to commencement of construction. The staging area shall be kept clean at all times, adequately screened and located away from view of existing homes located adjacent to the construction site;
- 18. Access points for construction vehicles shall be identified as part of the construction plan submitted to the City. Construction vehicles with access to the site shall adhere to existing "no thru truck" areas;
- 19. The Applicant shall provide a Construction Air Quality Management Plan to the Department prior to the start of construction;
- 20. A Stormwater Pollution Prevention Plan (SPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where top soil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment

management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity;

- 21. The Applicant shall preserve existing trees (including native trees) during the development of the project, wherever possible. If the trees must be removed, the Applicant shall be required to mitigate the impact in accordance with DRER requirements. If the relocated trees do not survive, the Applicant shall be required to replace the trees in compliance with DRER requirements;
- 22. The Applicant shall meet the requirements of the Miami-Dade County Water-Use Efficiency Standards Manual, effective January 2009, as may be amended from time to time;
- 23. All stormwater shall be retained on site in accordance with applicable law;
- 24. All stormwater drainage systems shall be maintained in working conditions at all times in order to avoid localize flooding during and after a storm;
- 25. Parking shall be prohibited on top of any drainage inlet or drainage manhole;
- 26. Developer shall be responsible for providing the City a certified drainage inspection report prior to the issuance of a certificate of occupancy;
- 27. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP) Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf. Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center.

Contractor/Developer must apply for permit coverage at least two (2) days before construction begins;28. Noncompliance with the approved site plan and the terms of this approval

- shall be considered a violation of the City Code;
- 29. Provide the buffer yard requirements calculations, matching the frontages;
- 30. Street Trees: For trees shown on the R/W outside the property. The applicant shall provide final approval from MDC Public Works Department, ratified by the City of Doral's Public Works Department allowing the trees within the R/W prior to issuance of the building permit;
- 31. Wetlands: DERM Site Plan Review (dated Sep. 28, 2016, MDC #MZ2016000029). The applicant shall provide a copy of the final approval prior to issuance of the building permit;
- 32. Tree Disposition Plan: Provide tree removal/relocation approval from (DERM), including an approved tree disposition plan at time of building permit. DERM Site Plan Review (dated Sep. 28, 2016, MDC #MZ2016000029). The applicant shall provide a copy of the final approval prior to issuance of the building permit;

- Irrigation: The applicant shall provide a copy of the final approval for withdrawing water from the Dressel Dairy Canal from the South Florida Water Management District (SFWMD) prior to issuance of the building permit;
- 34. Artificial Turf: The applicant shall comply with the LDC Sec. 71-225 through Sec. 71-227;
- 35. Signage: Monument signage shall meet the criteria for monument signs. LDC Sec. 80-258;
- 36. Entrance Feature: Entrance Feature shall conform to the Entrance Feature requirements. LDC Sec. 77-96;
- 37. Miami-Dade County Public Works approval is required for the Paving and Drainage Plans for the NW 41 Street R/W improvements/modifications as approved on the Site Plan; and
- 38. Miami-Dade County Public Works approval is required for R/W dedications and/or easements along NW 41 Street.
- 39. The Project shall be developed in accordance with the Settlement Agreement, dated and executed on March 13, 2017, attached hereto as Exhibit "C".

Section 3. Implementation. The City Manager and the City Attorney are

hereby authorized to take such further action as may be necessary to implement the

purpose and provisions of this Resolution.

Section 4. Effective Date. This Resolution shall become effective upon its

passage and adoption by the City Council and is binding on all successors and assigns.

The foregoing Resolution was offered by Councilmember Rodriguez who moved its adoption. The motion was seconded by Vice Mayor Cabrera and upon being put to a vote, the vote was as follows:

Mayor Juan Carlos Bermudez	Yes
Vice Mayor Pete Cabrera	Yes
Councilwoman Christi Fraga	Yes
Councilwoman Claudia Mariaca	Yes
Councilwoman Ana Maria Rodriguez	Yes

PASSED AND ADOPTED this 12 day of April, 2017.

JUAN CARL RMUDEZ, MAYOR

ATTEST:

CONNIE DIAZ, CMC

APPROVED AS TO FORM AND LEGAL SUFFIENCY FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

WEISS, SEROTA, HELFMAN, COLE & BIERMAN, P.L. CITY ATTORNEY

EXHIBIT "A"

Legal Description of the Property:

TRACT "F" OF "EASTERN DORAL ACRES SECTION ONE SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 111, PAGE 53, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SETTLEMENT AGREEMENT

THIS SETTLEMENT AGREEMENT (the "Agreement") is made and entered into as of the <u>13</u>thday of March, 2017, by and between: the City of Doral, Florida, a Florida municipal corporation (the "City"); and Sanctuary at Doral, LLC, an active, Florida limited liability company ("Sanctuary"). The City and Sanctuary may be referred to individually as a "Party" or collectively as the "Parties."

RECITALS

WHEREAS, Sanctuary is the owner of a certain 7.3 \pm acres parcel of real property, generally located on the south side of N.W. 41st Street between theoretical N.W. 94th and 95th Avenues in Doral, Florida (Folio # 35-3028-007-0030) (the "Property"); and

WHEREAS, in April and August of 2016, the City approved, respectively, applications submitted by Sanctuary to (1) amend the Comprehensive Plan Future Land Use Map designation for the Property from Office Residential to Community Mixed Use and (2) rezone the Property from Industrial Commercial District to the Community Mixed Use District, both of which permit a base residential dwelling unit density of 138 units (19 units per acre) as-of-right; and

WHEREAS, pursuant to Sections 68-707 and 68-708 of the City's Land Development Code (the "Code"), Sanctuary submitted a "Master Development Agreement" and "Conceptual Development Plan" for the Property establishing a mixeduse project which generally contained 138 residential dwelling units and approximately 30,000 square feet of retail uses (the "Project"); and

WHEREAS, in 2016, the City amended its Comprehensive Plan and its Code to create an incentive for the development of workforce housing in the City, specifically authorizing a "Density Bonus," whereby property owners would be able to develop additional residential units above the base density for a given property provided that a percentage of those additional units would be restricted to individuals of certain median household income; and

WHEREAS, Ordinance 2016-13 was codified in Chapter 74 of the Code as Article XVII – "Workforce Housing" (the "Workforce Housing Ordinance"), a copy of which is attached hereto as Exhibit "A"; and

WHEREAS, pursuant to the Workforce Housing Ordinance, Sanctuary submitted an application for the Density Bonus of thirty percent (30%), which represented an increase of fifty-five (55) additional units for the Project—the maximum amount provided under the Code, proffering thirty-seven (37) units as the required, rent-controlled workforce housing units (the "WFH Application"), a copy of which is attached hereto as Exhibit "B"; and

WHEREAS, on September 28, 2016, the City Council, at a duly-noticed quasijudicial public hearing, denied the WFH Application; and

WHEREAS, on November 2, 2016, the City Council, at a duly-noticed, quasijudicial public hearing, approved Sanctuary's site plan for the Project, a copy of which is attached hereto as Exhibit "C" (the "Site Plan"), and

WHEREAS, the approved Site Plan included a base density of 138 residential dwelling units and additional bonus units provided through the City's Creative Excellence provisions under Section 86-83 of the City Code, for a total of 182 residential dwelling units; and

WHEREAS, thereafter, Sanctuary timely filed a Protective Petition for Writ of Certiorari, seeking review of the City Council's decision on the WFH Application (Case No. 16-409 AP), and a Request for Relief under the Florida Land Use and Environmental Dispute Resolution Act (the "FLUEDRA REQUEST"), as well as a Complaint for Declaratory and Injunctive Relief and Companion Complaint for Writ of Mandamus (Case No. 16-027994-CA-11), all requesting a reversal of the City's denial of the WFH Application (collectively the "Claims" or "Litigation"); and

WHEREAS, the City and Sanctuary wish to avoid the expense, delay, and uncertainty of lengthy litigation and to resolve the Claims amicably, agreeing it is in their respective mutual best interests to enter into this Agreement.

TERMS OF AGREEMENT

NOW, THEREFORE, in consideration of the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree to fully settle the Claims on the terms and conditions set forth below:

1. <u>Recitals.</u> The foregoing recitations are true and correct and are incorporated herein and made a part hereof by this reference.

City's Obligations. The City acknowledges and agrees Sanctuary will be 2. permitted to construct the Project on the Property with an additional 44 residential dwelling units ("Workforce Housing Units"), for a total number of 226 residential dwelling units, pursuant to a revised project site plan to be submitted and approved by the City (the "WFH Site Plan"). It is acknowledged that the number of Workforce Housing Units offered herein represents a twenty percent (20%) decrease from what was originally requested by Sanctuary. All of the Workforce Housing Units shall be designated on the WFH Site Plan as rent-controlled workforce housing units, pursuant to the Workforce Housing Ordinance, except that the requirements of City Code Section 74-888(a)-that the Workforce Housing Units be evenly distributed in three area median income ("AMI") categories-are waived; the Workforce Housing Units shall be distributed at Sanctuary's discretion within the range specified in City Code Section 74-887(b). The City further agrees that, as a material condition subsequent to this Agreement, it shall host a public hearing considering the WFH Site Plan for the Project no more than thirty-five (35) days from the date of approval of this Settlement Agreement, unless extended by mutual, written agreement of the Parties. Entering into this Agreement does not constitute an agreement to approve the WFH Site Plan. A final, non-appealable development order approval for the WFH Site Plan is a material condition of this Agreement.

3. <u>Effective Date.</u> This Agreement shall become effective on the date of the WFH Site Plan approval ("Effective Date"). It shall not become effective unless or until the City approves the WFH Site Plan. In the event that the City imposes a condition upon the WFH Site Plan approval that materially frustrates Sanctuary's ability to develop the Project in accordance with the terms of this Settlement Agreement, then Sanctuary may elect to void this Agreement and return to its position in the litigation described above. In the event that the City denies the WFH Site Plan, or fails to approve it within thirty-five (35) days of the execution of this Agreement (unless extended as specified above), then this Agreement shall be null and void and the Parties shall return to their prior positions in the Litigation.

4. <u>Sanctuary's Obligations.</u> Upon the Effective Date of this Settlement Agreement, Sanctuary shall (1) cause the dismissal with prejudice of all pending legal proceedings against the City associated with the WFH Application, including, without limitation, <u>Sanctuary at Doral, LLC v. City of Doral</u>, Protective Petition for Writ of Certiorari (Case No. 16-409 AP) and <u>Sanctuary at Doral, LLC v. City of Doral</u>, Complaint for Declaratory and Injunctive Relief and Companion Complaint for Writ of Mandamus (Case No. 16-027994-CA-01); (2) withdraw its Request for Relief under the Florida Land Use and Environmental Dispute Resolution Act associated with the WFH Application; and (3) dismiss, withdraw, or forebear commencement of any and all other claims or lawsuits of which the City may as yet be unaware or which may, in the future arise out of the settlement of the matters.

5. <u>Police Power Authority.</u> Nothing herein shall be construed as an act by the City to bargain away its zoning authority or any police power or otherwise limit its discretion in the exercise of a police power.

6. Miscellaneous Provisions.

(a) **No Permit**. This Agreement is not and shall not be construed as a development permit, development approval, development order or authorization to commence development, nor shall it relieve any of the obligations to obtain necessary development approvals that are required under applicable law and under and pursuant to the terms of this Agreement.

(b) Further Assurances. It is the intent and agreement of the Parties that they shall cooperate with each other to effectuate the purposes and intent of, and to satisfy their obligations under, this Agreement in order to secure to themselves, and their designees, assignees, successors and assigns, the mutual benefits created under this Agreement; and, in that regard, the Parties shall execute such further documents as may be reasonably necessary to effectuate the provisions of this Agreement; provided that the foregoing shall in no way be deemed to inhibit, restrict or require the exercise of the City's police power or actions of the City when acting in a quasi-judicial or legislative capacity, except as set forth herein. This paragraph is a statement of intent only and shall not give rise to any cause of action if any Party acts contrary to the intent of this paragraph.

(c) Omissions. The Parties hereto recognize and agree that the failure of this Agreement to address a particular permit, condition, term, or restriction

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shall not relieve any party of the necessity of complying with the law governing said permitting requirements, conditions, term, or restriction.

(d) Notices. Any notices required or permitted to be given under this Agreement shall be in writing and shall be deemed to have been given if delivered by hand, sent by recognized overnight courier (such as Federal Express) or mailed by certified or registered mail, return receipt requested, in a postage prepaid envelope, and addressed as follows:

If to the City at:	Edward A. Rojas City Manager City of Doral 8401 NW 53 rd Terrace Doral, FL 33166
With copies to:	Daniel A. Espino, Esq. Weiss Serota Helfman Cole & Bierman, PL City Attorney 2525 Ponce De Leon Boulevard, Suite 700 Coral Gables, FL 33134
If to Sanctuary:	Masoud Shojaee President Sanctuary at Doral, LLC 3470 NW 82 nd Avenue, Suite 988 Doral, FL 33122
With copies to:	Jeffrey S. Bass, Esq. Shubin & Bass, P.A. 46 SW 1 st Street Miami, FL 33130

Notices personally delivered or sent by overnight courier shall be deemed given on the date of delivery and notices mailed in accordance with the foregoing shall be deemed given three (3) days after deposit in the U.S. Mail.

(e) Construction.

(i) This Agreement shall be construed and governed in accordance with the laws of the State of Florida. The Parties acknowledge that both have participated fully in the negotiation and preparation of this Agreement, and, accordingly, the Agreement shall not be more strictly construed against any one of the Parties.

(ii) In construing this Agreement, the use of any gender shall include every other and all genders, and captions and section and paragraph headings shall be disregarded.

(iii) All of the exhibits attached to this Agreement are incorporated in, and made a part of, this Agreement.

(f) Time of Essence. Time shall be of the essence for each and every provision hereof.

(g) Entire Agreement. This Agreement, together with the documents referenced herein, constitute the entire agreement and understanding among the Parties with respect to the subject matter hereof, and there are no other agreements, representations or warranties other than as set forth herein. This Agreement may not be changed, altered or modified except by an instrument in writing signed by the party against whom enforcement of such change would be sought.

(h) Successors and Assign; Third Party Beneficiary. The benefits, rights, duties and obligations given to the Parties under this Agreement shall inure to the benefit of and bind their successors in title and assigns. The Parties acknowledge and agree that, with the exception foregoing of successors and assigns, there are no third party beneficiaries under this Agreement.

(i) Approval by the City. The Parties understand and agree that this Agreement will not be binding on the City until such time as the City Council of the City of Doral has approved same.

(j) Severability. If any section, sentence, clause, paragraph, or phrase of this Agreement is invalidated or deemed unconstitutional by a court of competent jurisdiction, such holding shall in no way affect the validity of the remaining portions of this Agreement.

(k) Limitation on Admissibility. In the event that the transactions contemplated hereunder are not consummated, any actions taken or representations made by any of the Parties pursuant to or in furtherance of the preparation and consummation of this Agreement shall not be admissible in any proceeding under the Litigation. Notwithstanding the foregoing, all such actions, correspondence, and related evidence shall be admissible in any action to enforce this Agreement.

(I) Attorney's fees and costs. The Parties shall each bear their own attorney's fees and costs incurred in the Litigation and the settlement of same.

(m) Sovereign Immunity. Nothing in this Agreement shall be deemed to be a waiver by the City of its rights and privileges under Florida Statutes Section 768.28.

(n) Counterparts. This Agreement may be executed in one or more counterparts, including, but not limited to, facsimile or electronic counterparts, each of which shall be considered an original, but all of which together shall be consider as one and same document.

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EXECUTED as of the date first above written.

Attest:

Connie Diaz, CMC City Clerk

CITY OF DORAL a municipal corporation

By: MASA Edward A. Rojas City Manager

Approved as to form and legal sufficiency

Weiss Serota Helfman, Cole & Bierman, PL City Attorney

Witnesse By: By Name: NESTA NE 7A By Name: MAN

SANCTUARY AT DORAL Masoud Shojaee

Exhibit "A

Workforce Housing Ordinance

Ordinance No. 2016-13, as Codified

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Doral, FL Code of Ordinances

- (2) Location in development of each workforce unit and its applicable AMI affordability range;
- (3) If construction is to be phased, a phasing plan identifying the number of workforce units and market-rate units in each phase; and
- (4) Documentation and plans regarding the interior and exterior appearances, materials, and finishes of the bonus units if not exactly the same as the market-rate units.
- (c) The city council shall utilize the standards below in determining the level of WHDB to award to a prospective development. As a guideline, each standard below is considered to have a value of up to 6 percent of the total WHDB of 30 percent:
 - (1) The site is served by high-frequency public transit with a transit shelter located within ¼ mile on the same side of the road.
 - (2) The workforce housing is within ½ mile of a major commercial or light industrial employment center.
 - (3) There are designated safe routes to nearby schools, parks and other community facilities.
 - (4) The increased density will be compatible with adjacent existing and planned development.
 - (5) Roadway, parks, schools and infrastructure systems in the immediate area can accommodate the additional density at the levels-of-service adopted in the comprehensive plan.

(Ord. No. 2016-13, § 2, 6-22-2016)

Sec. 74-890. - Workforce housing density bonus unit criteria.

- (a) Workforce dwelling units shall be built on the same site as the proposed development.
- (b) Workforce units must be reasonably dispersed throughout the project, and not clustered together or segregated in any way, from the market-rate units.
- (c) On average, workforce dwellings must contain the same number of bedrooms and quality of construction as the other market-rate units in the development.
- (d) Workforce units shall be developed simultaneously with or prior to the development of the other market-rate units.
- (e) The number of efficiency, one, two and three or more bedroom workforce units shall be proportional to the number of efficiency, one, two and three or more bedroom market-rate units (e.g., if 50 percent of market-rate units have two bedrooms, then approximately 50 percent of the workforce units must be two bedroom units).
- (f) If the development is phased, the phasing plan shall provide for the construction of workforce units proportionately and concurrently with the market-rate units.
- (g) The exterior appearance of workforce units shall be similar to the market-rate units and shall provide exterior building materials and finished of substantially the same type and quality.
- (h) The interior building materials and finishes of the workforce units shall be substantially the same type and quality as market-rate.

3/7/2017

(Ord. No. 2016-13, § 2, 6-22-2016)

Sec. 74-891. - Workforce housing density bonus agreement.

- (a) Prior to the approval of any development order or permit for any development in which the Workforce Housing Density Bonus (WHDB) is requested, the applicant shall enter into a WHDB Agreement with the city which shall set forth the commitments and obligations of the applicant to ensure compliance with these regulations.
- (b) The applicant shall execute any and all documents deemed necessary by the city in a form to be established by the city, including, without limitation, restrictive covenants, deed restrictions and related instruments (including requirements for income qualification for tenants of rental units).

(Ord. No. 2016-13, § 2, 6-22-2016)

Sec. 74-892. - Maintenance of rent affordability.

- (a) On an annual basis, the city manager, or his/her designee, shall make available copies of updated AMI ranges, and associated rental rate limits applicable to workforce units in Doral based on official information available from documented sources such as Miami-Dade County and/or U.S. Department of Housing and Urban Development.
- (b) The time period during which the rental rate for a workforce unit under this division is required to be controlled within a specified affordability range is 20 years.
- (c) Workforce housing rental unit owners are required to submit documentation to the city on July 1 st of each year verifying that the all designated workforce units they own are being rented at rates affordable to area households with annual incomes within the affordability ranges established in this Code. For owners with ten or less workforce housing units, documentation may be in the form of a notarized affidavit stating the current annual rent for each unit together with collaborating documentation. For owners with more than ten units, an audit report prepared by a certified public accountant is required documenting compliance.

(Ord. No. 2016-13, § 2, 6-22-2016)

Sec. 74-893. - Violations.

- (a) It is a violation of this division to:
 - (1) Fail to file required affidavits or audits when required.
 - (2) Rent or lease a WHDB unit to a person or family that is not income eligible as required by this division.
 - (3) Knowingly give false or misleading information relating to this program to any city employee.
 - (4) Participate, in any way, in the lease or rental of a workforce unit which violates any provision of this division or a WHDB Agreement.

- (b) The fine for each violation of this division shall be \$500.00 per each day the violation continues.
- (c) Appeals to any violations issued by the city under these regulations shall be processed pursuant to the City of Doral code compliance appeals procedure.

(Ord. No. 2016-13, § 2, 6-22-2016)

Exhibit "B"

Work Force Housing Application





11 105:594.2877 11 305 594 2878 The Lasarte Law Firm 1250/FE First Available Suite 334 Alianii FE 33157 Colasartelay, com

Felix M. Lasarte, Esq. felix alusane law.com RECE

September 1, 2016

VIA HAND DELIVERY

Mr. Julian H. Perez, AICP, CFM Planning and Zoning Director City of Doral 8401 NW 53rd Terrace Doral, Florida julian.perez@cityofdoral.com

City of Doral Planning & Zoning Department Date:

Project Name: 20/6090003 (113)

Submittal I

Re: Sanctuary at Doral, LLC / Letter of Intent / Site Plan Approval / Folio No. 35-3028-007-0030 (the "Property")

Dear Mr. Perez:

Our office represents Sanctuary at Doral, LLC., (the "Applicant") in connection with this application to develop a mixed-use project at the above referenced Property. We are hereby submitting a site plan for approval by the City of Doral Council. This site plan allows for the development of 237 units and 29,400 square feet of retail ("the Project").

At the time of site plan approval, the Property will have a zoning of Community Mixed Use ("CMU"), which provides for a base density of 19 units per acre. We are seeking a density bonus of up to 25 units per acre for using creative excellence as outlined in Ordinance No. 2016-05. Our site plan also includes a density bonus for Work Force Housing of up to 32.5 units per acre, as outlined in Resolution No. 16-110.

The Applicant's Project meets all criteria for design excellence including but not limited to the following:

- A. The Project has a sustainable design.
- B. The Project contributes to art in public places.
- C. The Project is designed to meet Silver Certification environmental design standards from LEED or equivalent green building standards.
- D. The Project contains large recreational areas including a bike path, pocket park, and workout areas.
- E. All retail uses front NW 41st Street.

F. The Project has integrated the city's bike path into its design and is providing transit shelter at no cost to the city.

As part of this approval, we are seeking to modify our Master Development Agreement and pattern book to reflect the new unit count.

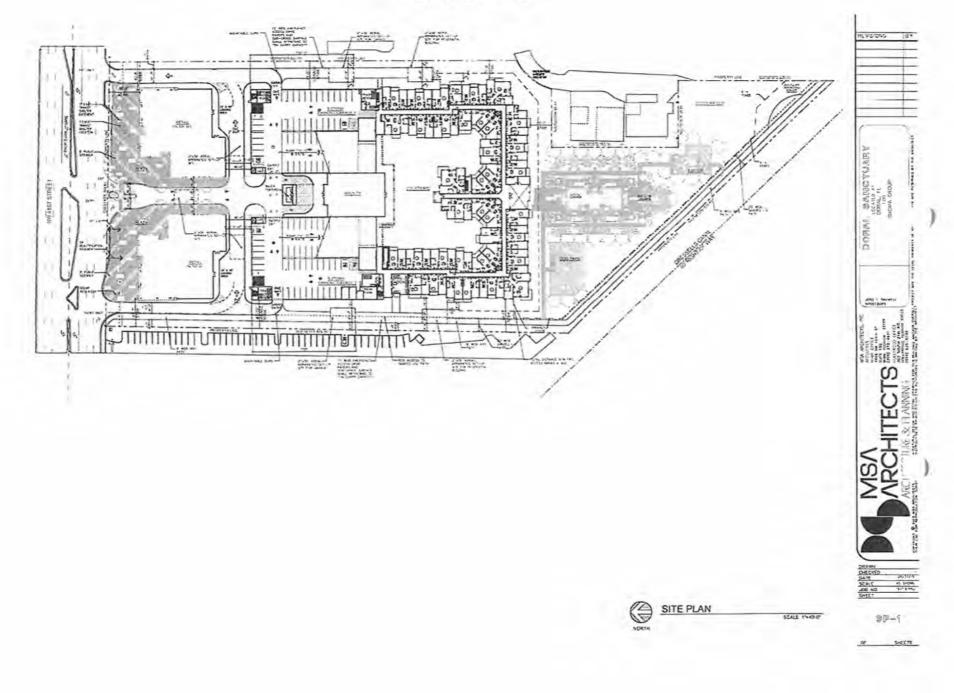
We look forward to meeting with you and your staff to review the site plan. As always, should you have any questions, please do not hesitate to contact our office.

Sincerely,

THE LASARTE LAW FIRM

Felix Lasarte

EXHIBIT "B"





8401 NW 53 ^{AD} Terrace, Second Floor, Doral, Florida 33166 Tel. (305) 593-6630	Facsimile: (305) 593-6768	Website: cityofdoral.con
--	---------------------------	--------------------------

PUBLIC HEARING APPLICATION / Administrative Review Application

PLANNING AND ZONING DEPARTMENT

Please check one: X CITY COUNCIL ADMINISTRATIVE REVIEW OFFICIAL USE ONLY
Application No.: _____
Date Received:

INSTRUCTIONS

This application, with all supplemental data and information, must be completed in accordance with the specific instructions in this application. Applications and all supplemental information must be filed no later than 60 days prior to the regular public hearing date.

X

APPLICATION

Please indicate which type of application you are submitting by checking one category below:

Change in Zoning District Variance Appeal of Decision Conditional Use Plat Entry Feature Site Plan Other

IMPORTANT: THE APPLICANT, OR REPRESENTATIVE, MUST BE PRESENT AT THE HEARING TO PRESENT THE PROPOSAL.

Please print or type

	Sanctuary at Doral, LLC	A1000 10 0000 0000 00000000000000000000	
Mailing Address	c/o Felix M. Lasarte, Esq. The Lasarte Law Firm 3250 NE 1st Avenue, #334	City, State, Zip Miami, FL 33137	Telephone 305-594-2877 Fax 305-594-2878 Email: felix@lasartelaw.com
Name of Owner			
	Sanctuary at Doral, LLC		
Mailing Address	Mr. Masoud Shojaee 3470 NW 82nd Street	City, State, Zip Doral, FL 33178	Telephone 786-437-8658 Fax 786-437-8617 Email:

CITY OF DORAL PUBLIC HEARING APPLICATION

Page 1

8401 NW 53*0 TERRACE, SECOND FLOOR, DORAL, FLORIDA 33166 * (305) 59DORAL (593-6725) * FAX: (305) 593-6768* WEBSITE: cityofdoral.com

PROPERTY INFORMATION

A. <u>LEGAL DESCRIPTION</u>. (If subdivided – lot, block, complete name of subdivision, plat book and page numbers). If metes and bounds description – Complete description, including section, township and range).

Folio N	lumber(s) _35-3028-007-0030
Addres	s See Attached Exhibit "A"
Lot(s)	Tract F_Block Section Plat Book No111 Page No53
FINISH	ED FLOOR ELEVATION (If applicable): FLOOD ZONE:
В.	ADDRESS (If number has been assigned)
C.	SIZE OF PROPERTYft. Xft. =sq. ft.; 7.29 acre(s) Width Depth
D.	Provide legal description or address of any property held by the owner which is contiguous to that which is the subject matter of this application.
	See Attached Exhibit "A"
E.	DATE SUBJECT PROPERTY WAS ACQUIRED December 2014
	ICANT'S REQUEST:
Specify	In full the request. (Use a separate sheet of paper if necessary.)
	See Attached "Letter of Intent"
	
<u> </u>	
Explain Specify	IER OF INTERNE purpose of application, benefit(s) in the change and reasons why this application should be approved. the exact nature of the use or operation applied for, together with any pertinent technical data, which will the proposal. (Use a separate sheet of paper if necessary.)
	See Attached "Letter of Intent"

PUBLIC HEARING APPLICATION 8401 NW 53RD TERRACE, SECOND FLOOR, DORAL FLORIDA 33166 • (305) 59DORAL (593-6725) • FAX: (305) 593-6768 • WEBSITE: cityofdoral.com Is this application the result of a Notice of Violation or deviation from approved plans? If Yes X No

X No Are there any existing structures on the property? Yes

If so, what type? (CBS, Frame, Frame-Stucco, Wood, Other)

Any applications that involve an existing building must provide copy of the approved plans, plat, site plan approval or any prior zoning history. Plans that are not filed with this application will not be considered by the City of Doral.

All data and exhibits submitted in connection with this application become a PERMANENT PART OF THE PUBLIC RECORDS OF THE CITY OF DORAL.

The following enclosures where applicable MUST BE ATTACHED to complete the application:

- X SURVEY OF PROPERTY: For vacant or improved property. Must be no more than one year old and A. sealed by a registered land surveyor. The Building and Planning Department may require a more recent survey if a site visit indicates any discrepancies. Survey must include, where applicable, lot lines, all structures, walls, fences, landscaping, and all physical improvements. All existing trees must be shown.
- SITE DEVELOPMENT PLAN: Where applicable, plans shall show location and elevations of existing and B. proposed buildings, proposed additions, alterations and use of each; all dimensions of buildings and space between buildings; setbacks from property lines; proposed and existing off-street parking showing lined spaces, driveways, handicap spaces, compact spaces; a landscape plan that complies with the City of Doral Landscape Ordinance showing location of existing and proposed vegetation, landscaping (i.e. trees and hedges), number, height and species type. The plan shall also show wall and fence height, location and material. Prior ASPR or Site Plan Approval Resolution and plans must be submitted.
- C. x LETTER OF INTENT: A letter of intent must be filed explaining in detail the history of the property. prior approvals and the extent of the proposed project. Show how code criterion is met. Signature and address must be shown.
- OTHER GOVERNMENTS/AGENCIES ENDORSEMENTS: All applicable DERM, Miami-Dade Fire D. Department, or the Miami-Dade Water and Sewer Department's endorsement must be submitted.
- x OWNER'S AFFIDAVIT: Owner's affidavit allowing the filing of an application is required on all E. applications where the applicant is not the owner of the property under consideration; same form allows posting of property.
- TRAFFIC STUDY: A detailed traffic analysis considering the impacts of the proposed development on E. current level-of-service (LOS) standards in abutting (or nearby) roads and intersections.

NOTE: SURVEYS, SITE DEVELOPMENT PLANS, LANDSCAPE PLANS MUST BE SUBMITTED AT STANDARD PLAN SIZE. AN APPLICATION WILL NOT BE CONSIDERED COMPLETE UNLESS & COPIES (AND A PDF) OF THE APPLICATION AND SUPPORTING DOCUMENTATION (FRONT AND BACK), APPROPRIATE PLAN DRAWINGS AND SURVEYS ARE SUBMITTED.

In support of this request, I submit the following additional items, which are attached hereto and made a part of this application:

35 MM Photo(s) (Mounted 8 1/2 x 11)

Other

Letters from Area Residents

Please check only one of the following options: 大 FOR CITY COUNCIL PURPOSES

I/We understand that additional public hearings may be required and any interested person may discuss the application with City staff to the same extent as the applicant. The application may change during the hearing process and additional public notices may affect the schedule of the hearings. If my/our appeal is denied, I/we must file an appeal to the Circuit Court within 30 days of the meeting.

orhohas	W		/Masoud Shojaee / Sanctuary at Doral, LLC
Date	Applicant's sign:	ature	Print Name
Date	Applicant's Sign:	ature (if more than one)	Print Name

8401 NWY 53RD TERRACE, SECOND FLOOR, DORAL, FLORIDA 33166 * (305) 59DORAL (593-6725) * FAX: (305) 593-6768* WEBSITE: cityo(doral.com

PUBLIC HEARING APPLICATION

Page 3

PUBLI	C HEARING APPLICATION			OWNER AFFIDAVIT
I/We	Masoud Shojaee / Sanctuary at Doral, LLC	_ as Owner (s) of Lot (s)	Trac	t F
Block_	Section	PB/	PG_	111/53

of property which is located at <u>Folio No.: 35-3028-007-0030</u> desire to file an application for a public hearing before the & City Council II Administrative Review, and I/We do understand and agree as follows:

- 1. That the application for a variance will not be heard unless the applicant is present at the hearing.
- 2. The property will be posted with a sign, which must not be removed until after the public hearing, at which time the City staff will remove the sign. The applicant will be responsible for advertising the application and sending the mail out per section ____.
- That the requirements of the zoning code, Miami-Dade County Ordinances, the South Florida Building Code, and other government agencies may affect the scheduling and ability to obtain/issue a permit for the proposal.
- 4. That the only exceptions to the zoning code are those that have been specified in the written application and any other code or plan issues will be corrected by modifying the plans to comply with the respective codes and ordinances of the City of Doral or Miami-Dade County ordinances.
- 5. That the applicant will be responsible for complying with all the conditions and restrictions imposed by the City Council or City Staff in connection with the request and will take the necessary steps to make the request effective if approved by the City Council or City Staff.
- 6. That it is the responsibility of the applicant to submit a complete application with all of the documents necessary for the City Council or City Staff to consider the applicant's request.
- 7. That the applicant is responsible for timely submission and accuracy of all items requested on the application. Any information submitted less than 45 days prior to a public hearing will result in being postponed to the next available hearing date. Legislative items must have all requested items submitted 30 days prior to hearing.
- That the applicant is responsible for any additional fees which include but are not limited to mailing notices to surrounding property owners, advertising, outside consultant reviews, legal fees, surveys, and technical reports.

I/We as the owners of the subject property (check one):

X do hereby authorize Lasarte Law Firm / Felix Lasarte to act on my/our behalf as the applicant.

will on my/our own behalf act as applicant(s), and make application in connection with this request for a public hearing administrative review before the City Council or City Staff.

Owner's Name <u>Masoud Shojaee</u> Signature	Date 07/20/10-6
Owner's Name	Date
Notary to Owner: Notary Public State of Florida Angela M Suarez My Commission FF 113210 Expires 04/15/2018	/
Applicant's Name Masoud Shojaee Signature	Date 07 76/2016
Notary to Applicant:	cased
Angela M Suarez My Commission FF 113210 Expires 04/15/2018	2h
PUBLIC HEARING APPLICATION	Page 4

8401 NW 53RD TERRACE, SECOND FLOOR, DORAL, FLORIDA 33166 * (305) 59DORAL (593-6725) * FAX: (305) 593-6768+ WEBSITE: cityoldoral.com

DISCLOSURE OF INTEREST*

if a **CORPORATION** owns or leases the subject property, list principal stockholders and percent of stock owned by each. [Note: Where principal officers or stockholders consist of other corporation(s), trust(s), partnership(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

CORPORATION NAME: Sanctuary at Doral, LLC.

ł	l	A	N	Æ	A	N	D	A	D	D	R	E	S	1	3	,

AME AND ADDR	E99					Percentage of Stock
	See Atta	ached Exhibi	<u>t "B"</u>			
					······	
				·····		·

If a **TRUST or ESTATE** owns or leases the subject property, list the trust beneficiaries and percent of interest held by each. [Note: Where beneficiaries are other than natural persons, further disclosure shall be made to identify the natural persons having the ultimate ownership interest].

TRUST/ESTATE NAME:	
NAME AND ADDRESS	Percentage of Interest
<u>N/A</u>	
	Ha
•	
· · ·	

If a **PARTNERSHIP** owns or leases the subject property, list the principals including general and limited partners. [Note: Where partner(s) consist of other partnership(s), corporation(s), trust(s) or similar entities, further disclosure shall be made to identify the natural persons having the ultimate ownership interests].

PARTNERSHIP OR LIMITED PARTNERSHIP NAI
--

NAME AND ADDRESS

N/A

Percent of Ownership

Ant of Ownershi

If there is a **CONTRACT FOR PURCHASE** by a Corporation, Trust or Partnership, list purchasers below, including principal officers, stockholders, beneficiaries or partners. [Note: Where principal officers, stockholders, beneficiaries or partners consist of other corporations, trusts, partnerships or similar entities, further disclosure shall be made to identify natural persons having ultimate ownership interests].

Percentage of Interest

If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership or trust:

NOTICE: For changes of ownership or changes in purchase contracts after the date of the application. but prior to the date of final public hearing, a supplemental/disclosure of interest is required.

The above is a full disclosure of all parties of interest in this application to the best of my knowledge and belief.

Signature: Masoud Shojaee / Sanctuary	(Applicant)
Sworn to and subscribed before me this _2	day of July , 26/L. Affiant is personally known to
me or has produced	as identification.
(Notary Public)	Notory Photo: State of Florida Angela M Suarez
My commission expires 04/15/2018	Source Sources Contrainers Con

*Disclosure shall not be required of: 1) any entity, the equity interests in which are regularly traded on an established securities market in the United States or another country; or 2) pension funds or pension trusts of more than five thousand (5,000) ownership interests; or 3) any entity where ownership interests are held in a partnership, corporation or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership and where no one (1) person or entity holds more than a total of five per cent (5%) of the ownership interest in the partnership, corporation or trust consisting of more than five thousand (5,000) separate interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests are held in a partnership, corporation, or trust consisting of more than five thousand (5,000) separate interests, including all interests at every level of ownership, shall only be required to disclose those ownership interest which exceed five (5) percent of the ownership interest in the partnership, corporation or trust.

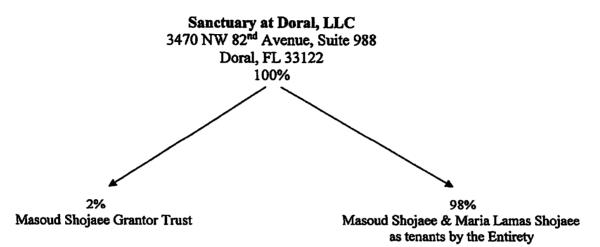


LEGAL DESCRIPTION:

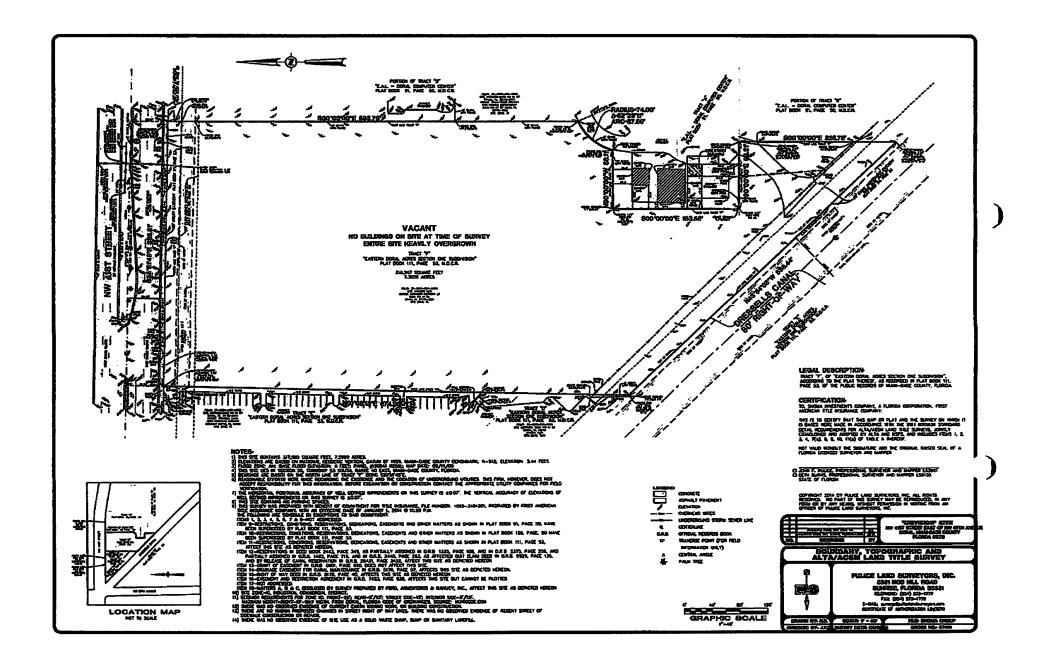
TRACT "F" OF "EASTERN DORAL ACRES SECTION ONE SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 111, PAGE 53, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

EXHIBIT B

DISCLOSURE OF INTEREST



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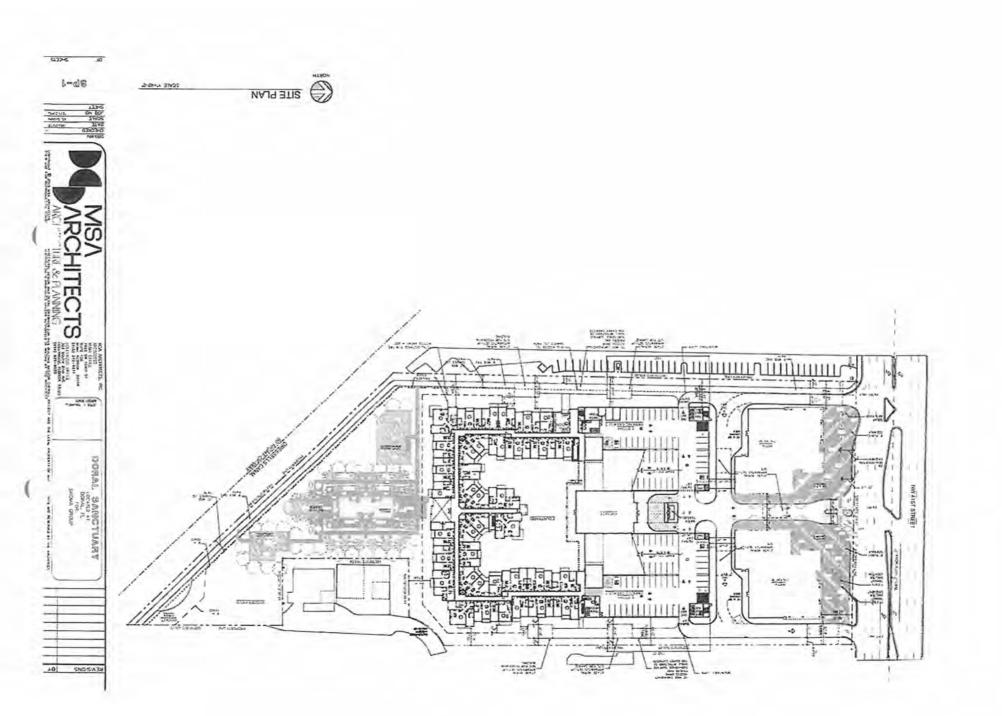
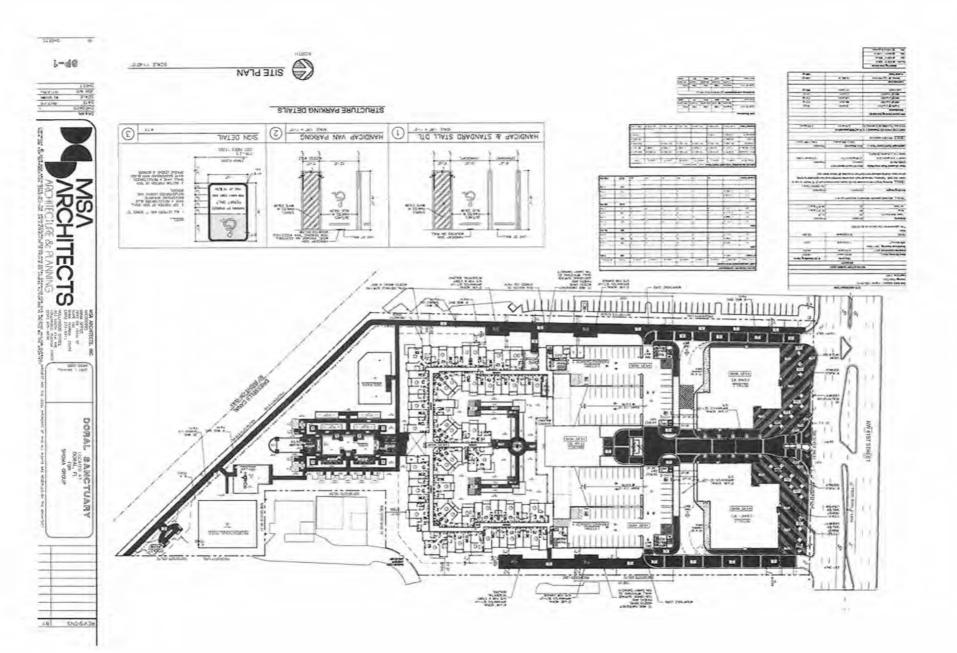


Exhibit "C"

Sanctuary Site Plan

Approved November 2, 2016



App. 218

RESOLUTION No.17-45

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA. APPROVING A SETTLEMENT AGREEMENT, IN SUBSTANTIALLY THE FORM PROVIDED, WITH SANCTUARY AT DORAL, LLC IN RESOLUTION OF SEVERAL LAWSUITS INVOLVING THE CITY'S DENIAL OF SANCTUARY AT HOUSING APPLICATION: DORAL. LLC'S WORKFORCE AUTHORIZING THE CITY MANAGER TO EXECUTE THE SETTLEMENT AGREEMENT, SUBJECT TO APPROVAL BY THE CITY ATTORNEY AS AND SUFFICIENCY; PROVIDING FOR LEGAL FORM TO IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Sanctuary is the owner of a certain 7.3 \pm acres parcel of real property, generally located on the south side of N.W. 41st Street between theoretical N.W. 94th and 95th Avenues, Doral, Florida (Folio # 35-3028-007-0030) (the "Property"); and

WHEREAS, in April and August of 2016, the City approved, respectively, applications submitted by Sanctuary amending the Comprehensive Plan Future Land Use Map designation for the Property from the Office Residential future land use category to Community Mixed Use future land and rezoning the property from Industrial Commercial District to the Community Mixed Use District, both of which permit a base residential dwelling unit density of 138 units (19 units per acre) as-of-right; and

WHEREAS, pursuant to Sections 67-707 and 68-708 of the City's Land Development Code (the "Code"), Sanctuary submitted a "Master Development Agreement" and "Conceptual Site Plan" for the Property establishing a mixed-use project which generally contained 138 residential dwelling units and 30,000 square feet of retail uses (the "Project"); and

WHEREAS, in 2016, the City amended its Comprehensive Plan and its Code to create an incentive for the development of workforce housing in the City, specifically

authorizing a "Density Bonus," whereby property owners would be able to develop additional residential units above the base density for a given property provided that a percentage of same would be restricted to individuals of certain median household income; Ordinance 2016-13 was codified in Chapter 74 of the Code as Article XVII – "Workforce Housing" (the "Workforce Housing Ordinance"); and

WHEREAS, pursuant to the Workforce Housing Ordinance, Sanctuary submitted an application for the Density Bonus of thirty percent (30%), which represented an increase of fifty-five (55) additional units for the Project—the maximum amount provided under the Code, proffering thirty-seven (37) as the required, rent-controlled workforce housing units (the "WFH Application"); and

WHEREAS, on September 28, 2016, the City Council at duly-notice quasi-judicial public hearing denied the WFH Application; and

WHEREAS, in October of 2016, the City Council at a duly-noticed, quasi-judicial public hearing approved Sanctuary's site plan for the Project (the "Site Plan"), which included a base density of 138 residential dwelling units and bonus units provided through the City's Creative Excellence provisions of the Code, for a total of 182 residential dwelling units; and

WHEREAS, thereafter, Sanctuary timely filed a Protective Petition for Writ of Certiorari, appealing the City Council's decision on the WFH Application (Case No. 16-409 AP), and a Request for Relief under the Florida Land Use and Environmental Dispute Resolution Act, as well as a Complaint for Declaratory and Injunctive Relief and Companion Complaint for Writ of Mandamus (Case No. 16-027994-CA-01), all requesting

a reversal of the City's denial, and a subsequent approval of, its WFH Application (collectively the "Litigations"); and

WHEREAS, the City and Sanctuary wish to avoid the expense, delay, and uncertainty of lengthy litigation and to resolve amicably the Litigations, agreeing it is in their respective mutual best interests to enter into this settlement agreement.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

<u>Section 1.</u> <u>Recitals.</u> The above recitals are confirmed, adopted, and incorporated herein and made a part hereof by this reference.

Section 2. <u>Approval.</u> The Settlement Agreement with Sanctuary at Doral, LLC, in substantially the form provided in Exhibit "A", which is incorporated herein and made a part hereof by this reference, is hereby approved. Pursuant to an express condition subsequent of the Settlement Agreement, a public hearing of the City Council considering a revised Project Site Plan, which is an exhibit to the Settlement Agreement, shall occur no more than thirty-five (35) days from the date of the approval of this Resolution.

<u>Section 3.</u> <u>Authorization.</u> The City Manager is hereby authorized to execute such agreements and other contractual documents, subject to approval by the City Attorney as to form and legal sufficiency, as may be necessary to accomplish the objectives of the Settlement Agreement.

Section 4. Implementation. The City Manager, City Clerk, and City Attorney are hereby authorized to take such further action as may be necessary to implement the purpose and provisions of this Resolution.

<u>Section 5.</u> <u>Effective Date.</u> This Resolution shall take effect immediately upon adoption.

The foregoing Resolution was offered by Vice Mayor Cabrera who moved its adoption.

The motion was seconded by Councilmember Rodriguez and upon being put to a vote,

the vote was as follows:

Mayor Juan Carlos Bermudez	Yes
Vice Mayor Pete Cabrera	Yes
Councilwoman Christi Fraga	Yes
Councilwoman Claudia Mariaca	Yes
Councilwoman Ana Maria Rodriguez	Yes

PASSED AND ADOPTED this 8 day of March, 2017.

JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:

CONNIE DIAZ, CMC

CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFIENCY FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

WEISS, SEROTA, HELFMAN, COLE & BIERMAN, P.L. CITY ATTORNEY

DORAL SANCTUARY



• OWNER / DEVELOPER

SHOMA GROUP 3470 N.W. 82 ND Ave. Suite 988 DORAL, FLORIDA 33122 (786) 437-8664 • ARCHITECT:

MSA ARCHITECTS ARCHITECTS & PLANNERS ARCHITECTS & PLANNERS 7695 SOUTH WEST 104TH STREET SUITE 100 MIAMI, FL. 33156 (305) 273–9911 FL. AA C000895 PROJECT LOCATED AT: DORAL, FLORIDA

> FOR: SHOMA GROUP

				IN	NDEX OF DRAWINGS
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				SURVEY	ARCHITECTURAL
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			A-2.3 A-2.4 A-2.5 A-2.6	LEVEL 4 LEVEL 5	FLOOR PLAN FLOOR PLAN FLOOR PLAN FLOOR PLAN
			A-3.1 A-3.2		ELEVATIONS
			A-4.1 A-4.2	UNIT FLO	OR PLANS OR PLANS
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					LANDSCAPE
			LP-1 LP-2 LP-3 LP-4	LANDSCA	PE PLAN
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ARCHITECTURAL ALLIANCE LANDSCAPE 612 S.W. 4TH AVENUE FORT LAUDERDALE, FLORIDA 33315 (954) 764–8858	BALLBE & ASSOCIATES 2737 N.E. 30TH PLACE FORT LAUDERDALE, FLORIDA 33306 (954) 491–7811	PULICE LAND SURVEYORS, INC 5381 NOB HILL ROAD SUNRISE, FLORIDA 33351 (954) 572–1777	FRANYIE ENGINE 10610 N.W. 27 MIAMI, FLORIDA 33 (305) 592–1360	STREET.	09/06/2016 SITE PLAN SUBMITTAL 10/03/2016 SITE PLAN RESUBMITTAL #1 10/17/2016 SITE PLAN RESUBMITTAL #1 REVISION 10/28/2016 SITE PLAN RESUBMITTAL #1 REVISION 11/02/2016 SITE PLAN RESUBMITTAL #1 REVISION 03/20/2017 SITE PLAN RESUBMITTAL #1 REVISION

	SITE INFORMATION
Site Area: Approx. 7.3 acres (318,247 sf)	
Zoning: PUD/CMU	
Land Use: CMU	

R	EGULATORY GUIDELINES		
	DENSITY		
	DU/acre	# Of Dwelling Units	
Base Density (Base)	19 DU/acre	138 DU	
Creative Excellence (CE)	6 DU/acre	44 DU	
Workforce Housing (WF)(Max. 30% Bonus)*	6 DU/acre	44 DU	
TOTAL	31 DU/acre	226 DU	
Setbacks	Allowed	Provided	
Front (NW 41st St)	25' 25'-0"		
Rear	25'	25'-0" * Note 1	
Int Side	20' 25'-0" * Note 1		
* Note 1: Balconies/porches allowed to encroach up t	o 5'		
Building Height	Allowed	Provided	
	100' (9 Stories)	Six Stories * Note 2	

* Note 2: Building height not to exceed Six (6) stories and a maximum of 75' height to top of main roof slab. Parapets, mansard roofs and other architectural non habitable building projections shall be allowed and shall not to exceed 20' above main roof

Max. Allowed Floor Area Ratio (FAR)-Per IC:	Allowed	Provided
Level 1		
Residential Building		40,287 sf
Retail		26,099 sf
Clubhouse		3,605 sf
Sub-Total	3.65 acres (0.5)	1.60 acres (0.22)
Level 2		
Residential Building		41,098 sf
Clubhouse		2,805 sf
Sub-Total	1.825 acres (0.25)	1.01 acres (0.13)
Level 3-6		
Residential Building		41,098 sf
Sub-Total	1.825 acres (0.25/flr)	0.94 acres (0.13)
Grand Total (Based on 6 stories)	12.78 acres (1.75)	6.37 acres (0.87)

Landscape Open Space *Note 3	Min. Required	Provided
	15% (1.095 acres)	15% (1.095 acres)
<u>* Note 3:</u> Per CMU Land Use		
Add'l City's Park LOS Standard = 4.25 ac/1000 popu	ulation	
Formula: 678/1000 (4.25 acres)(.5)	1.44 acres	2.73 acres

Off-Street Parking Requirements per LDC			
Residential			
1BD @ 2 sp/DU	102 units	204 sp	
2BD @ 2 sp/DU	102 units	204 sp	
3BD @ 3 sp/DU	22 units	66 sp	
Sub-Total	226 units	474 sp	2 avg sp/unit
Visitor @ .25 sp/DU		57 sp	
Residential Total		531 sp	2.34 avg sp/unit
Non-residential			
Retail @ 1sp/250 GFA	19,717 sf	79 sp	
Restaurant @ 1sp/45 Patron Area (7,225 GSF)	5,060 sf	112 sp	
Leasing Office @ 1sp/300 GFA	980 sf	4 sp	
Non-Residential Total		195 sp	
Grand Total Required		726 sp	

	670 sp	
	195 sp	
980 sf	4 sp	
5,060 sf	112 sp	
19,717 sf	79 sp	
	475 SP	2.10 avg sp/un
		2.10 avg sp/un
220 units		1.91 avg sp/ull
		1.91 avg sp/un
100 1	170	
	5,060 sf	102 units 204 sp 22 units 50 sp 226 units 432 sp 43 sp 475 sp 19,717 sf 79 sp 5,060 sf 112 sp 980 sf 4 sp

UNIT BREAKDOWN	PER FLOOR								
Unit Types	SF/UNIT	Level 1	Level 2	Level 3	Level 4	Level 5	Level 6	Total	% Totals
1BD:									
A1	769 sf	13	13	13	13	13	13	78	34.51%
A2	748 sf	4	4	4	4	4	4	24	10.62%
								102	45.13%
2BD:									
B1	1,087 sf	9	9	9	9	9	9	54	23.89%
B2	1,148 sf	5	7	7	7	7	7	40	17.70%
B2-Mod	1,091 sf	1	1	1	1	1	1	6	2.65%
B3	1,080 sf	2	0	0	0	0	0	2	0.88%
								102	45.13%
3BD:									
C1	1,395 sf	0	2	2	2	2	2	10	4.42%
C2	1,406 sf	2	2	2	2	2	2	12	5.31%
								22	9.73%
Grand Total		36	38	38	38	38	38	226	100.00%

GROSS BUILDING SC	QUARE FOOT	AGE (Excl.	balconies)				
Type of SF	Level 1	Level 2	Level 3	Level 4	Level 5	Level 6	Total
RESI. LEASABLE	34,698 sf	37,562 sf	37,562 sf	37,562 sf	37,562 sf	37,562 sf	222,508 s
RESI. BALCONIES	2,319 sf	2,578 sf	2,578 sf	2,578 sf	2,578 sf	2,578 sf	15,209 s [.]
RESI. NON-LEASABLE	8,428 sf	5,189 sf	5 <i>,</i> 189 sf	5,189 sf	5,189 sf	5,189 sf	34,373 s [.]
GARAGE	45,240 sf	45,240 sf	45,240 sf	45,240 sf	45,240 sf		226,200 s
RETAIL	26,942 sf						26,942 s
CLUBHOUSE	4,493 sf	3,067 sf					7,560 s
Grand Total	122,120 sf	93,636 sf	90,569 sf	90,569 sf	90,569 sf	45,329 sf	532,792 s

Type of Unit	1
	102
% of total	4

Dwelli	ng Unit Areas
1Bd	@ 600 sf - 8
2Bd	@ 850 sf - 1
3Bd	@1200 sf 8

	LINE	OF	WALL
18'-0"			
			8'-6"

HANDICAP & STANDARD STALL DTL.

8'-6"

(STANDARD)

ZONING DATA

5'-0"	5'-0"
10'-	

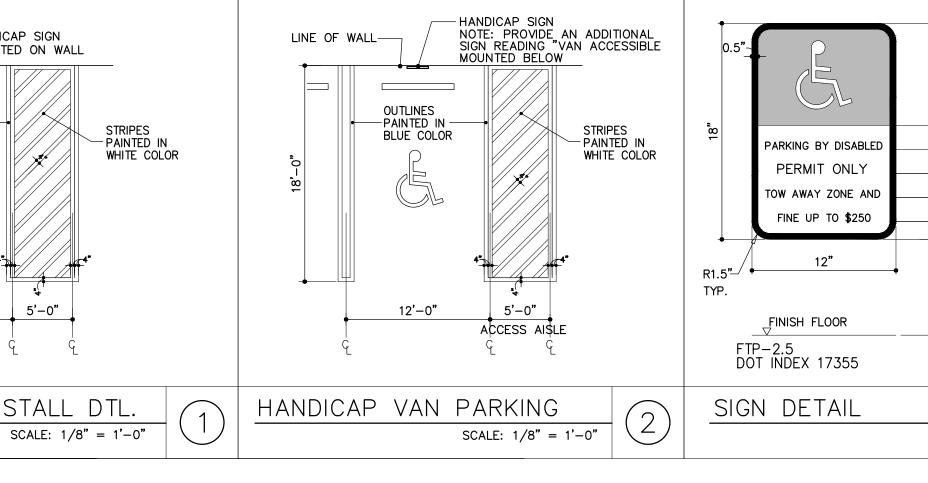




10' SHARED USE PATH SCALE: 1/8" = 1'-0"







Unit Breakdown				
L Bd	2 Bd	3 Bd	Total	
2 units	102 units	22 units	226 units	
15%	45%	10%	100%	
45%	45%	10%	100%	

50 sf	
195 sf	
greater	

STRUCTURE PARKING DETAILS

- HANDICAP SIGN MOUNTED ON WALL

*<u>+</u>

5'-0"

OUTLINES — PAINTED IN — BLUE COLOR

 \cap

12'-0"

(HANDICAP)

UB

TRANSIT SHELTER

<u>NOTES :</u>

1. ALL LETTERS ARE 1" SERIES "C" 2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITHWHITE REFLECTORIZED LEGEND AND

BORDER.

3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER.

3 N.T.S.

SITE PLAN REVISION 10/17/16 SITE PLAN REVISION 10/28/16 SITE PLAN REVISION 11/02/16 SITE PLAN REVISION 03/20/17 \gg TUAR \bigcirc \neg ЧĞ ORAL \bigcirc JOSE I. SAUMELL AR0013085 FCTS MSA AACO(MIAMI 7695 SUITE MIAMI, (305) (305) (305) (954) (954) (954) S Θĥ NIGHT COPYR THEIR DRAWN

REVISIONS

BY

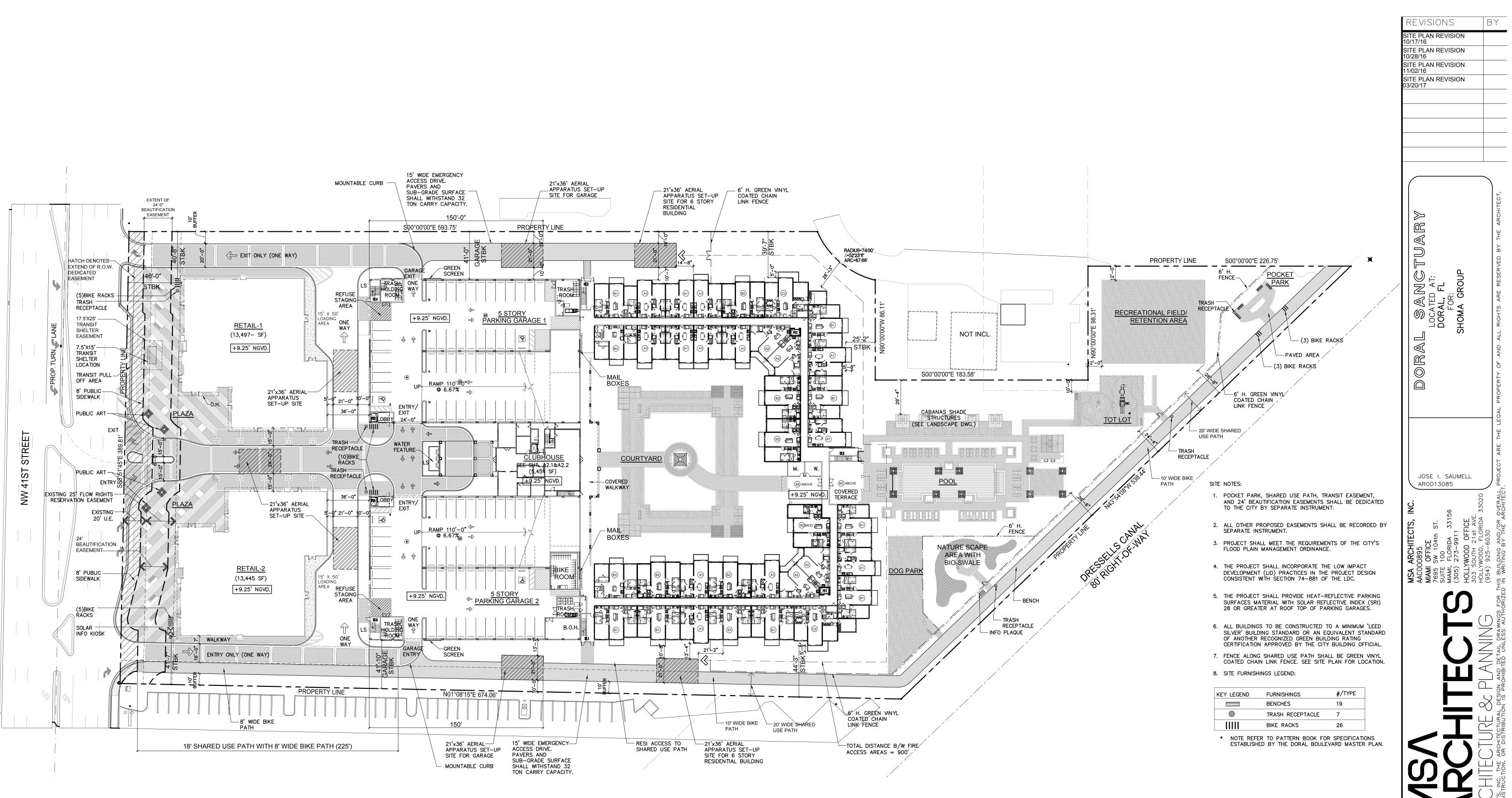
CHECKED DATE SCALE JOB NO. SHEET

_ 08/31/16 AS SHOWN 1671.0.PRJ

A-0.1

OF

SHEETS



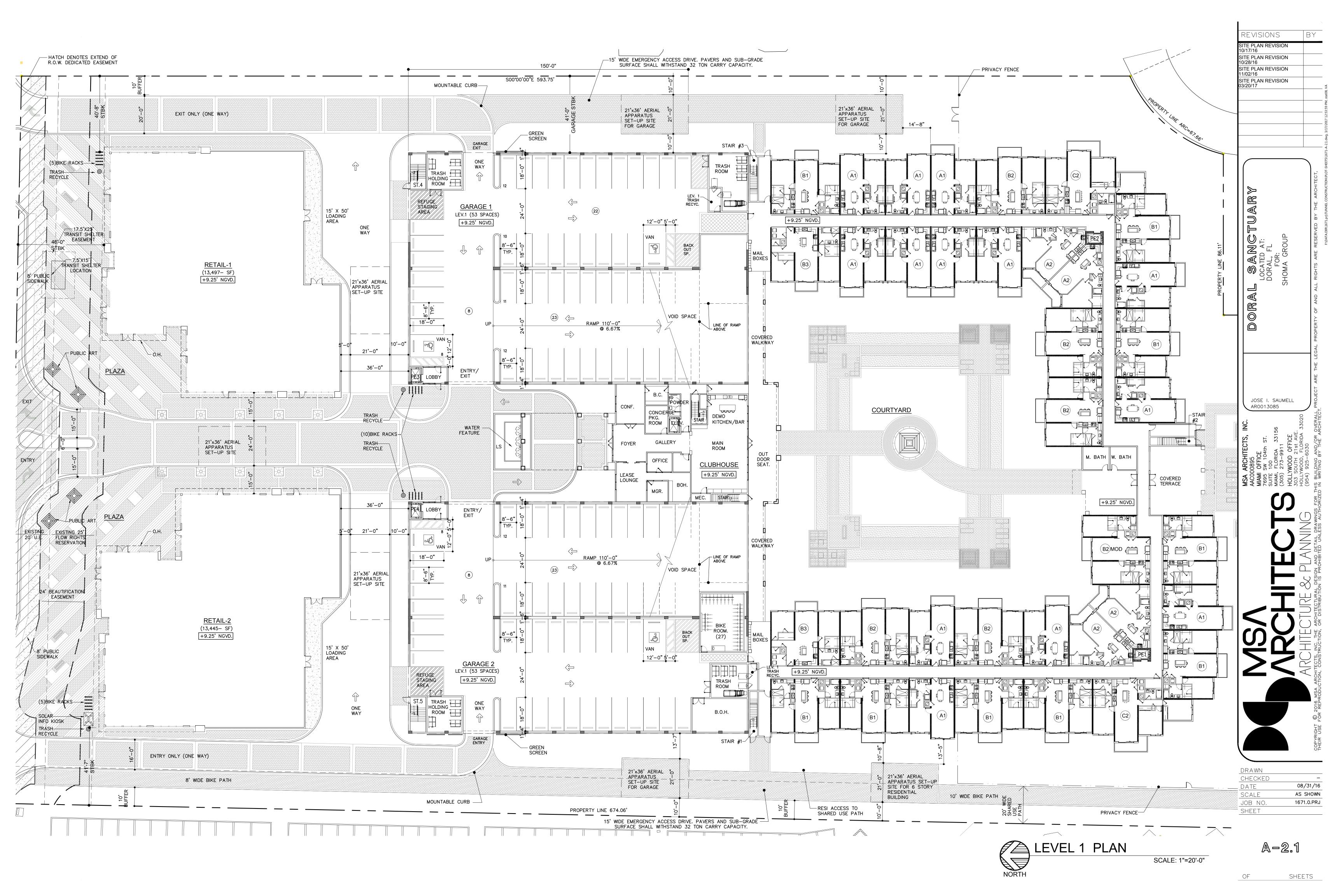


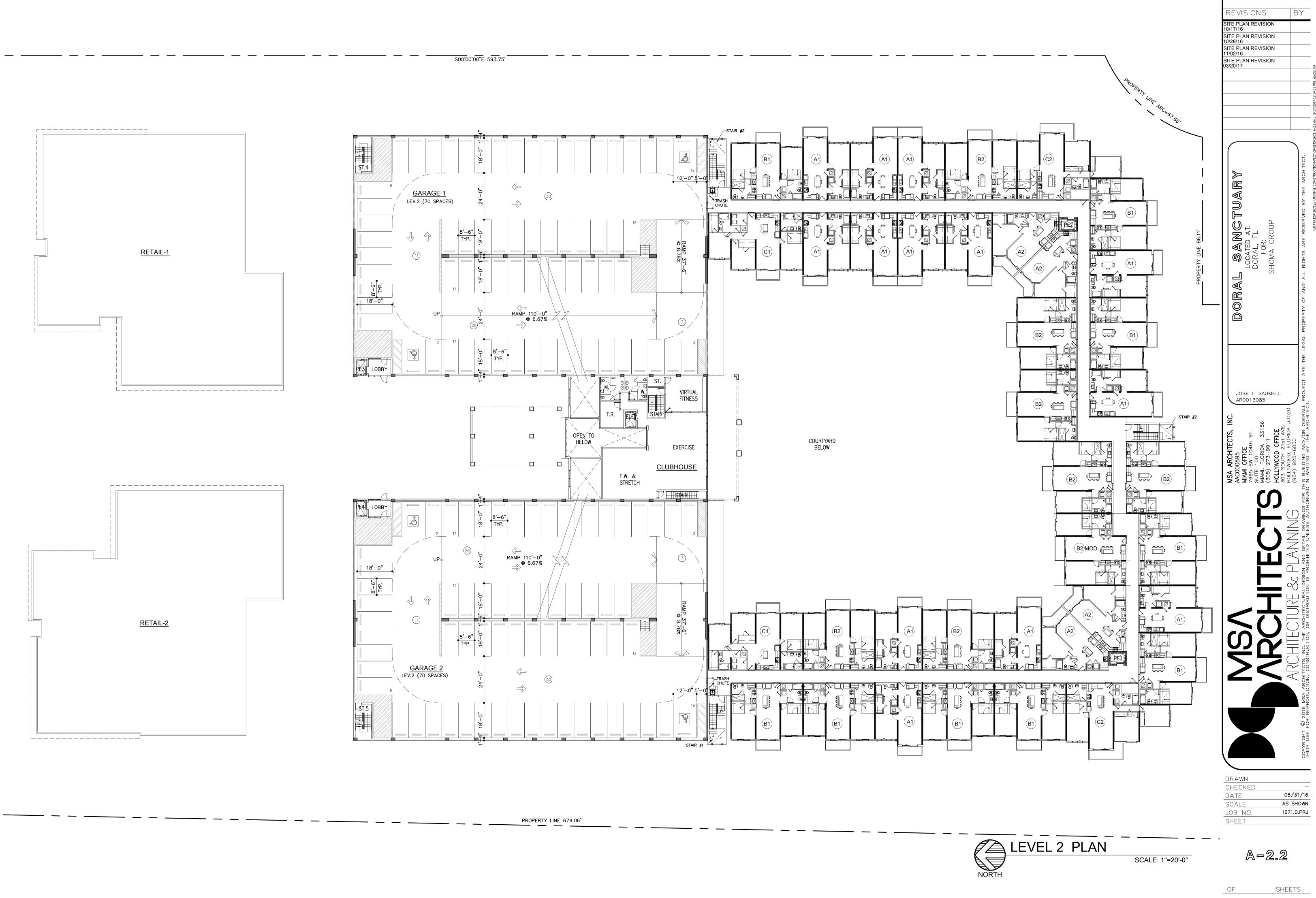
SCALE: 1"=40'-0"

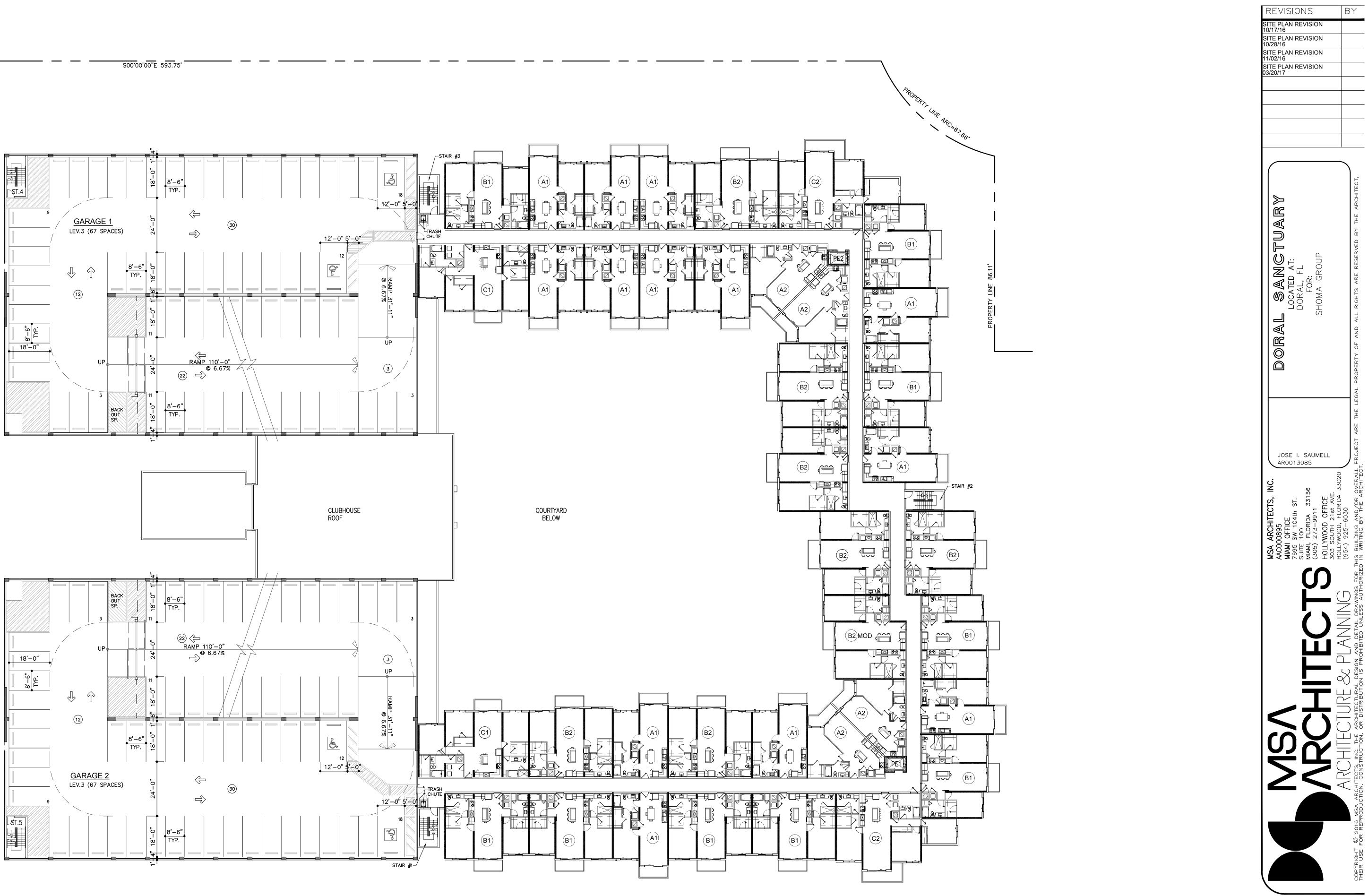
DRAWN CHECKED DATE SCALE JOB NO. SHEET

_ 08/31/16 AS SHOWN 1671.0.PRJ

SP-1







PROPERTY LINE 674.06'



DRAWN CHECKED DATE SCALE JOB NO. SHEET

SCALE: 1"=20'-0"

A-2.3

BY

OF

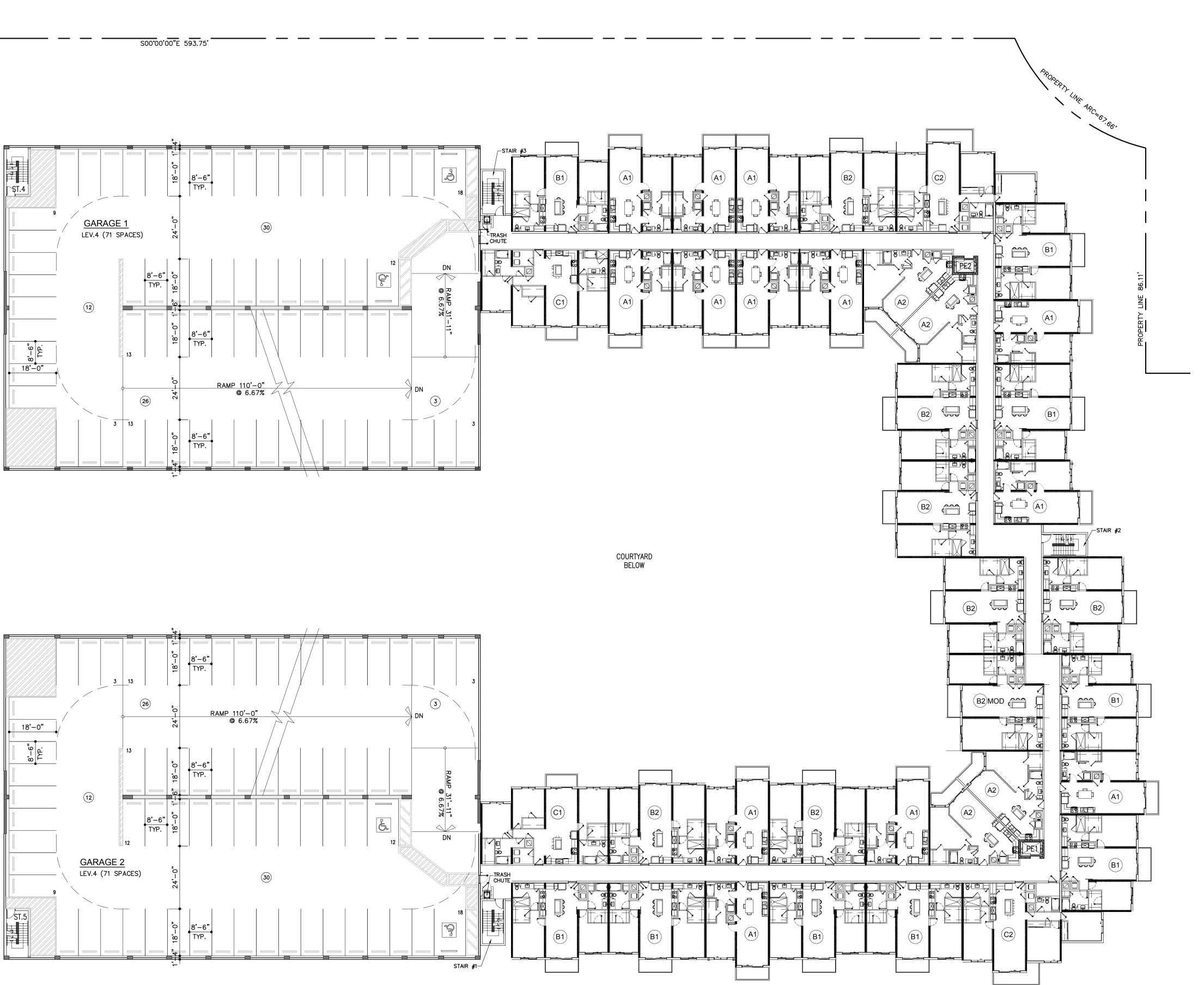
SHEETS

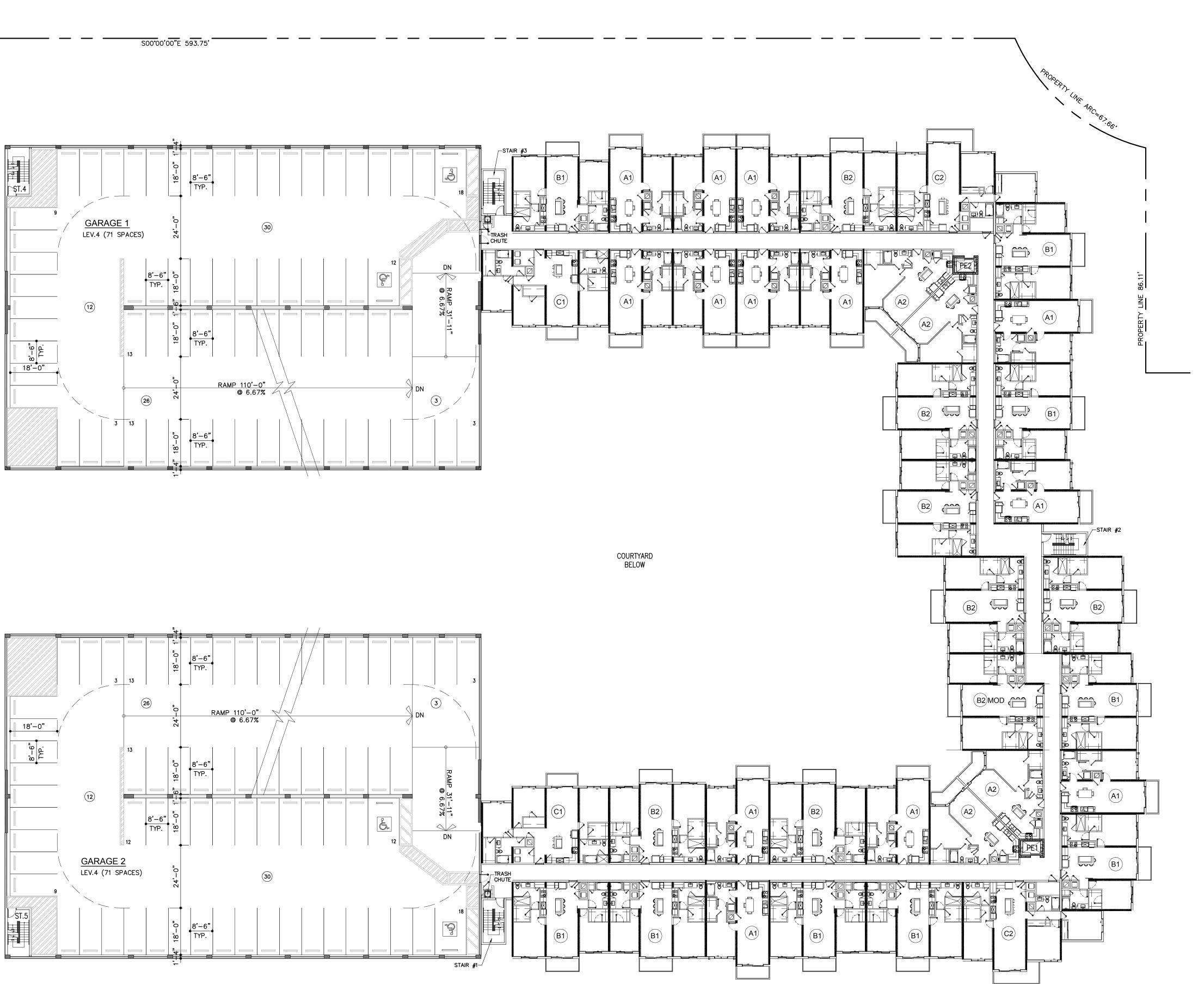
0 ROR

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08/31/16 AS SHOWN 1671.0.PRJ



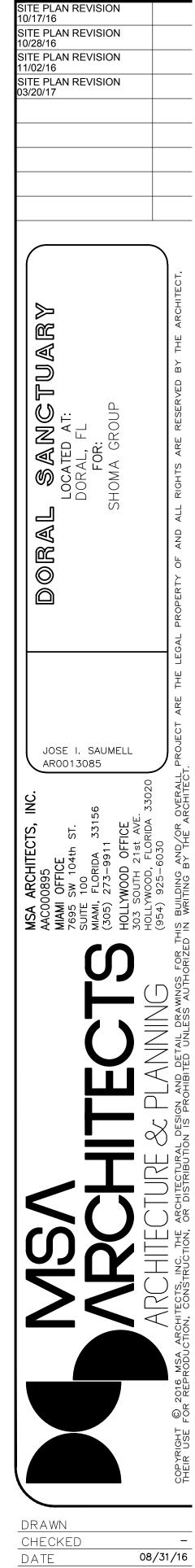


PROPERTY LINE 674.06'



BY

REVISIONS



DATE SCALE JOB NO. SHEET

AS SHOWN 1671.0.PRJ

A-2.4





PROPERTY LINE 674.06'



DRAWN CHECKED DATE SCALE JOB NO. SHEET

— 08/31/16 AS SHOWN 1671.0.PRJ

IGH T U SE

COP YR THEIR

A-2.5

BY

REVISIONS

SITE PLAN REVISION 10/17/16

SITE PLAN REVISION 10/28/16

SITE PLAN REVISION 11/02/16 SITE PLAN REVISION 03/20/17

DORAL SANCTUARY LOCATED AT: DORAL, FL FOR: SHOMA GROUP

JOSE I. SAUMELL AR0013085

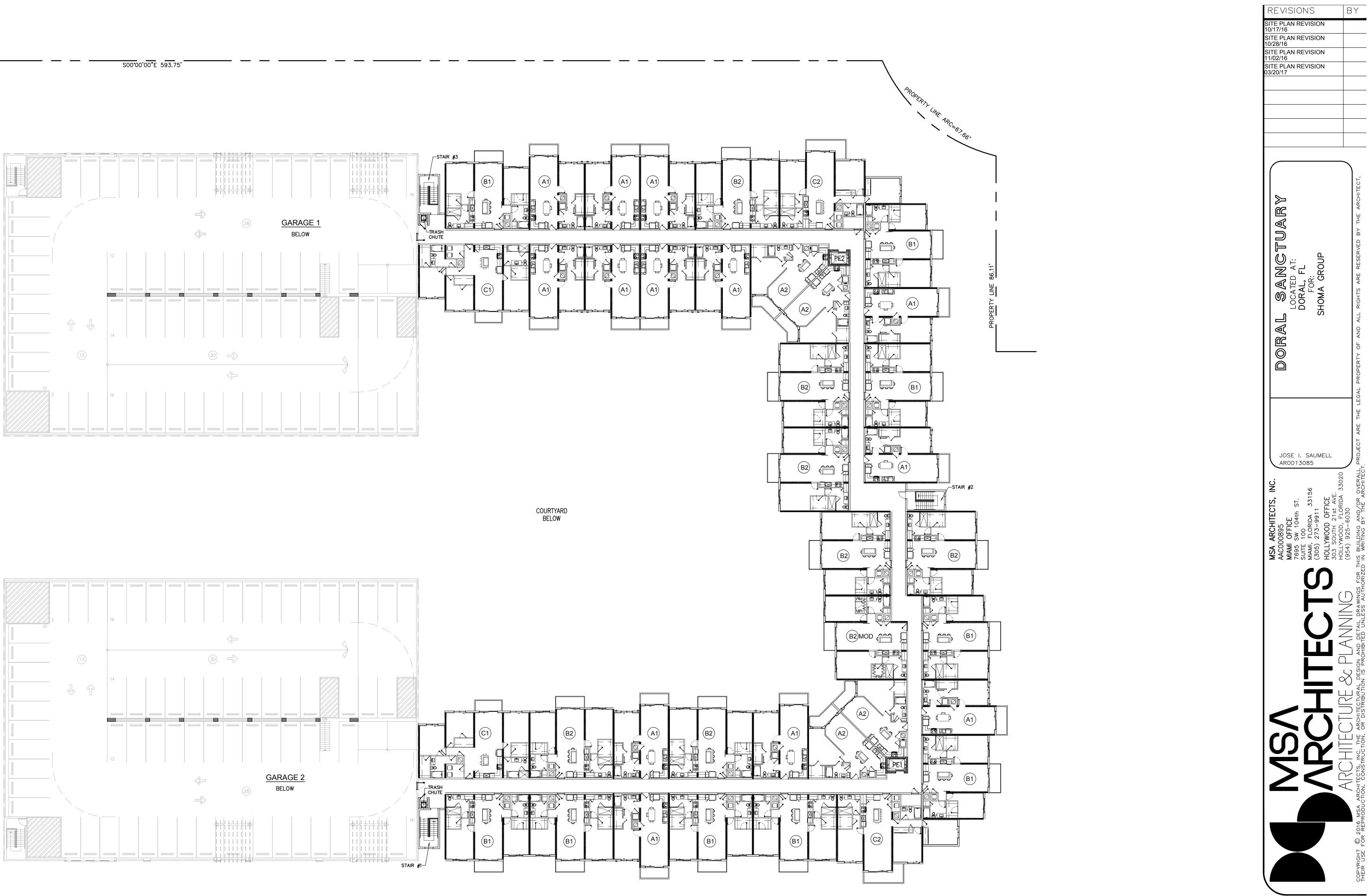
MSA ARCHITECTS, I AAC000895 MIAMI OFFICE 7695 SW 104th ST. SUITE 100 MIAMI, FLORIDA 33156 (305) 273–9911 HOLLYWOOD OFFICE 303 SOUTH 21st AVE. HOLLYWOOD, FLORIDA 3 (954) 925–6030

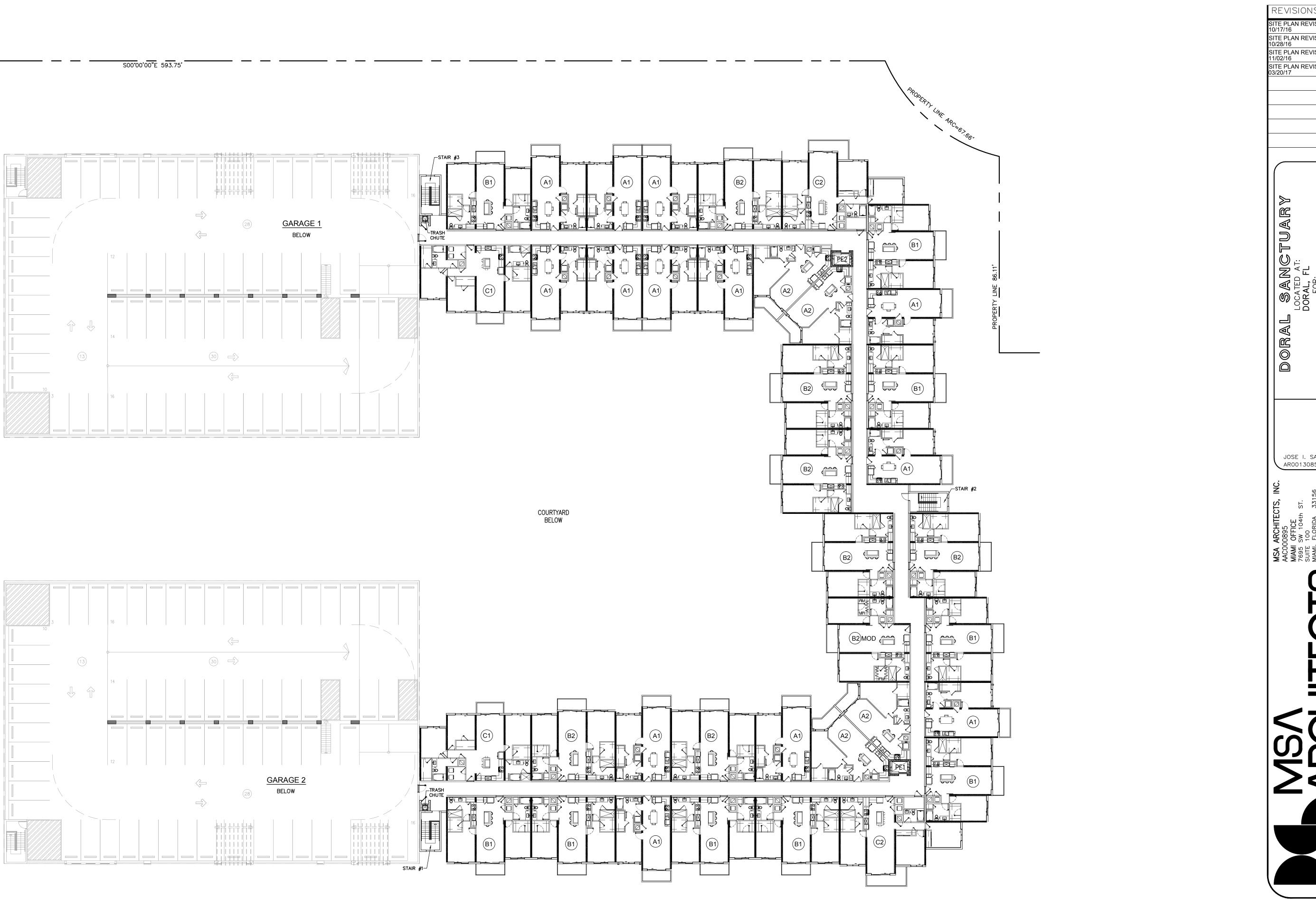
S

SHEETS

OF

SCALE: 1"=20'-0"







SCALE: 1"=20'-0"

A-2.6

SHOM

BY

OF

DRAWN CHECKED DATE SCALE JOB NO. SHEET

SHEETS

ΘĞ

COPYRIGHT THEIR USE

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08/31/16 AS SHOWN 1671.0.PRJ



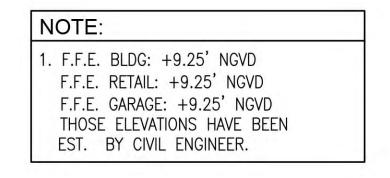
(2) EAST BUILDING ELEVATION

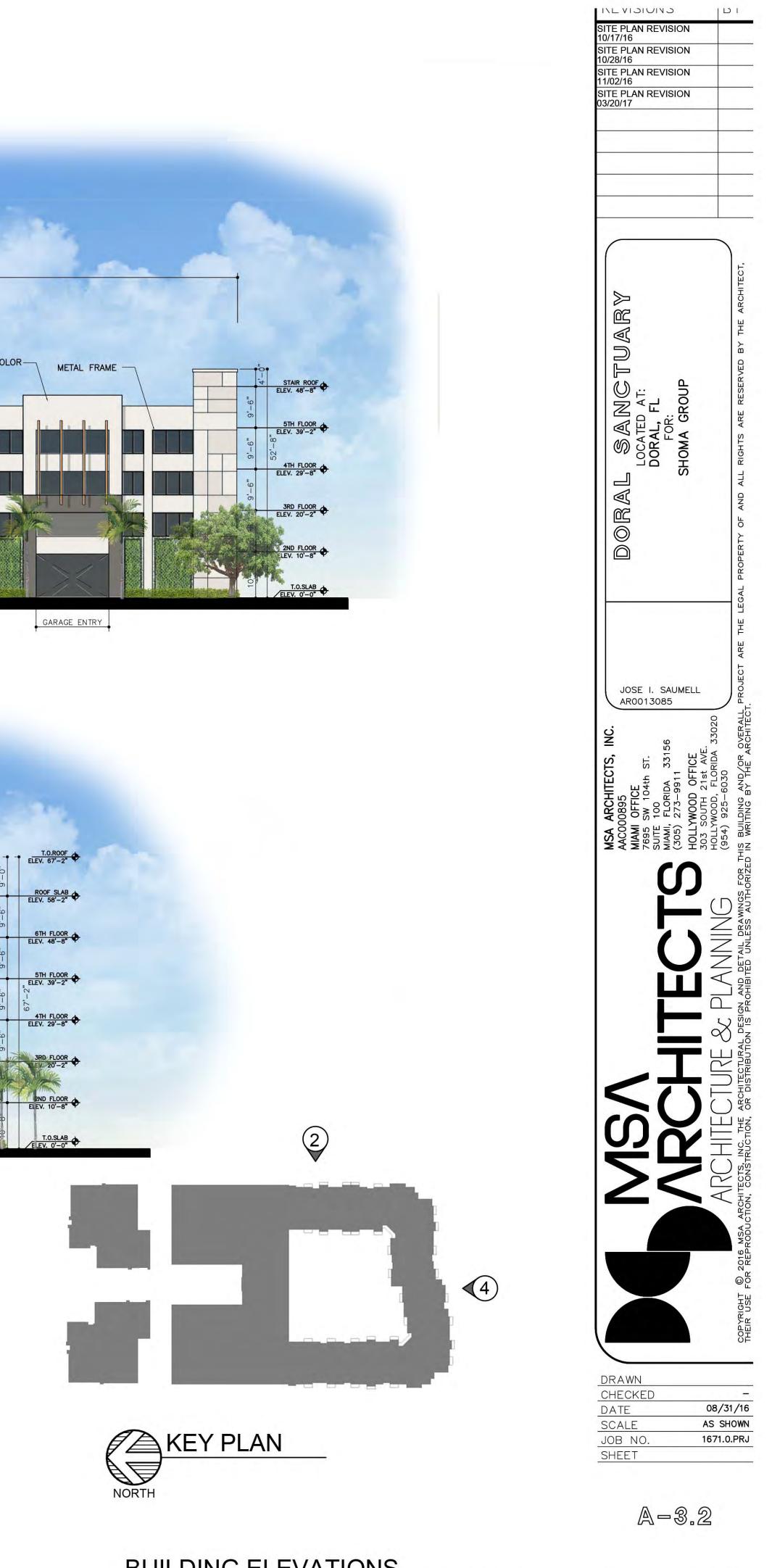


4 SOUTH BUILDING ELEVATION

COLOR SCHEME







BUILDING ELEVATIONS

SHEETS

OF



1. F.F.E. BLDG: +9.25' NGVD F.F.E. RETAIL: +9.25' NGVD F.F.E. GARAGE: +9.25' NGVD THOSE ELEVATIONS HAVE BEEN EST. BY CIVIL ENGINEER.

UNIT B1 UNIT C2 UNIT B1	INL VISIONS DI SITE PLAN REVISION 10/17/16 SITE PLAN REVISION 10/28/16 SITE PLAN REVISION 11/02/16 SITE PLAN REVISION 03/20/17
ACCENT COLOR ACCENT COLOR ACCENT COLOR ACCENT COLOR ACCENT COLOR ACCENT COLOR ACCENT COLOR ACCENT COLOR	DORAL SANCTUARY LOCATED AT: LOCATED AT: DORAL, FL FOR: SHOMA GROUP
DDING TO. ROOF ELEX. 32-0 ELEX. 0-0 BLACK METAL CANOPY	MSA ARCHITECTS, INC.MSA ARCHITECTS, INC.AAC000895MIAMI OFFICEAAC000895MIAMI OFFICESUITE 100MIAMI, FLORIDA 33156MIAMI, FLORIDA 33020MIAMI, FLORIDA 33020G054) 925-6030954) 925-6030954) 925-6030954) 925-6030MITING BY THE ARCHITECT.RLESS AUTHORIZED IN WRITING BY THE ARCHITECT.
MAIN STUCCO SW 7005 PURE WHITE ACCENT 1 SW 6361 AUTUMNAL ACCENT 2 SW 7016 MINDFUL GRAY ACCENT 3 SW 7017 DORIAN GRAY	RCHITECTURE & PLANN ECTS. INC. THE ARCHITECTURE OF DISTRIBUTION IS PROHIBITED TO DISTRIBUTION IS PROHIBITED TO
5 T T T T T T T T T T T T T	DRAWN CHECKED - DATE 08/31/16 SCALE AS SHOWN JOB NO. 1671.0.PRJ SHEET A = 3.1

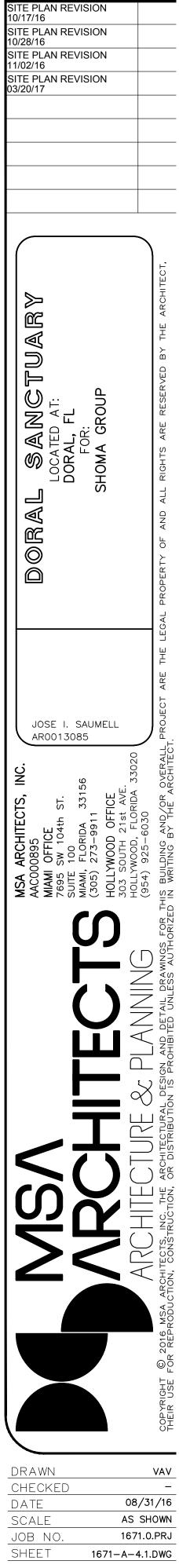
BUILDING ELEVATIONS

SCALE: 1/16"=1'-0"

SHEETS OF







A-4.1

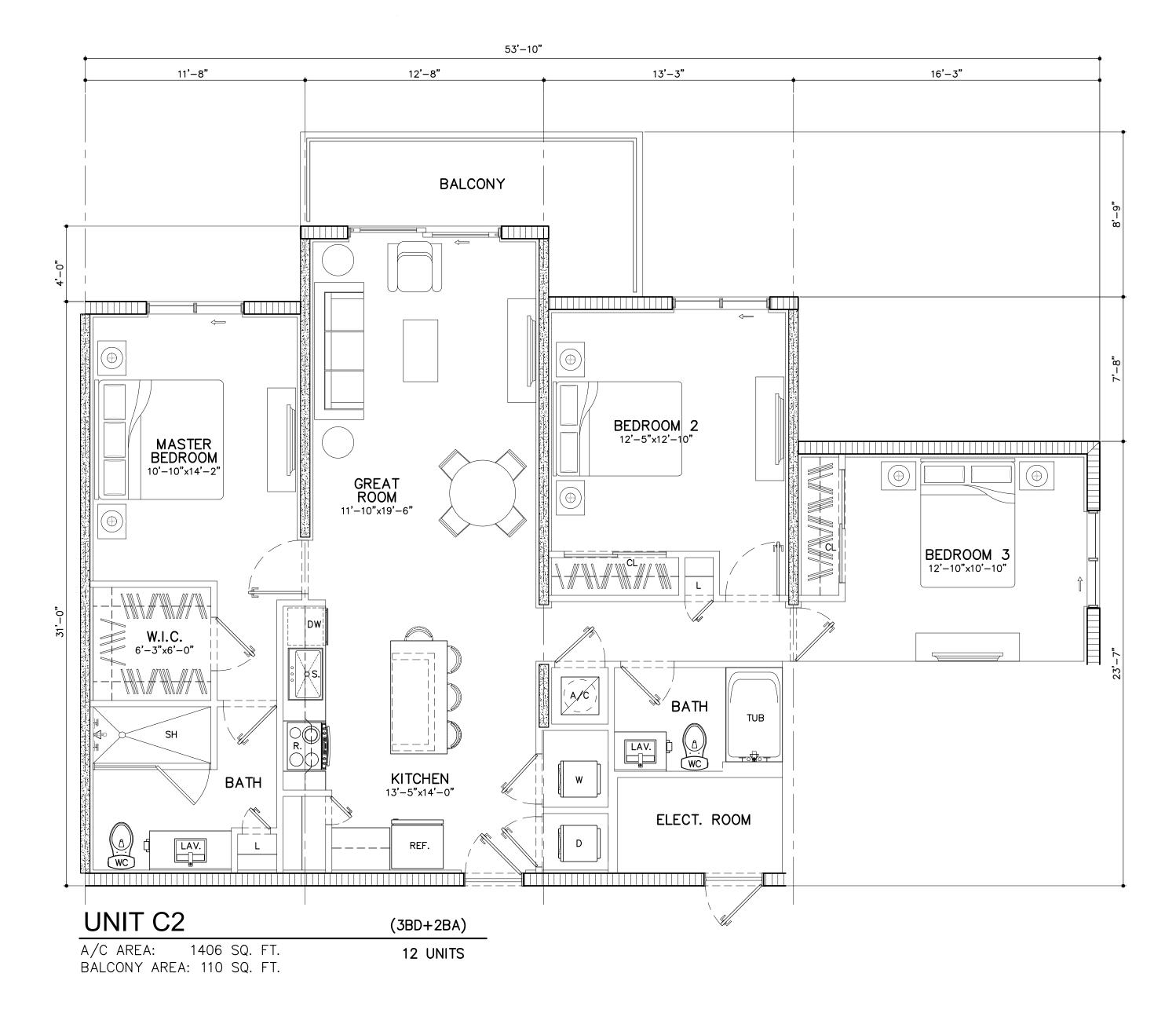
OF

SHEETS

BY

REVISIONS





SITE PLAN REVISION 10/17/16 SITE PLAN REVISION 10/28/16 SITE PLAN REVISION 11/02/16 SITE PLAN REVISION 03/20/17 L SANCTUARY LOCATED AT: DORAL, FL FOR: SHOMA GROUP DORAL JOSE I. SAUMELL AR0013085 ST. MSA ARCHI AAC000895 MIAMI 0FFICE 7695 SW 100 SUITE 100 MIAMI, FLORID (305) 273-9 HOLLYWOOD 303 SOUTH 2 HOLLYWOOD, (954) 925-6 ()COP YF THEIR VAV DRAWN CHECKED —

DRAWN CHECKED DATE SCALE JOB NO. SHEET

SCALE: 1/4" = 1'-0"

VAV -08/31/16 AS SHOWN 1671.0.PRJ 1671-A-4.2.DWG

A-4.2

UNIT FLOOR PLANS

 ALL ROOM SIZES DEPICTED IN THESE PLANS ARE NOMINAL DIMENSIONS. DIMENSIONS ARE TAKEN INTERIOR CMU TO STUD, & ALL INTERIOR PARTITIONS DIMENSIONS ARE TAKEN FROM FINISH TO FINISH (DRYWALL TO DRYWALL).
 ALL UNIT GROSS SQUARE FOOTAGE ARE MEASURED FROM CENTERLINE OF DEMISING TO EXTERIOR OF CORRIDOR WALL AND CMU EXTERIOR WALL.

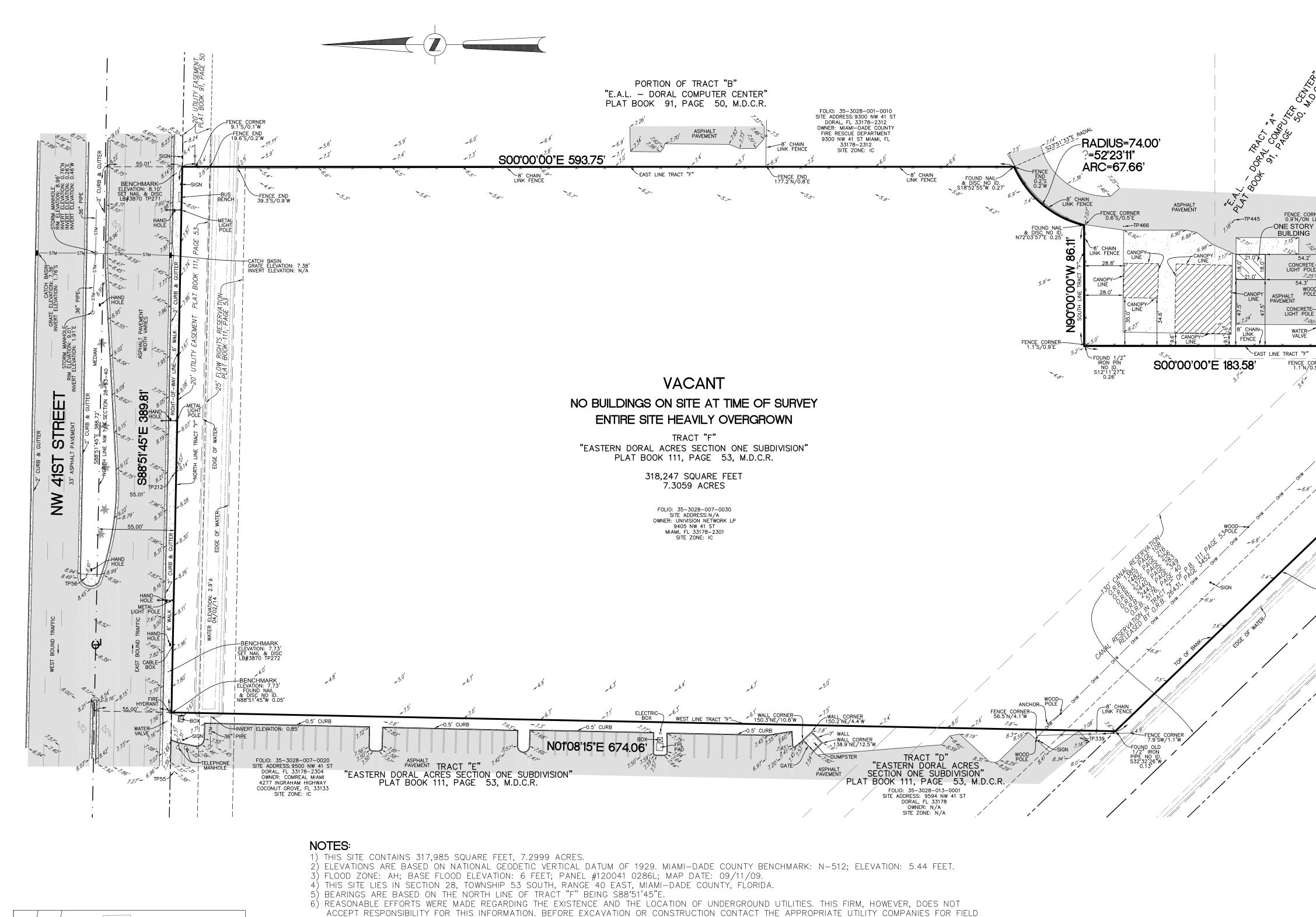
OF

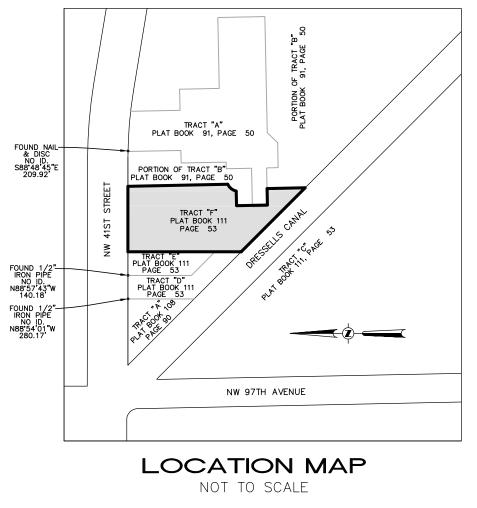
SHEETS

671_prj\TUNNEL CONSTRUCTION\PLOT-SHEETS\1671-A-4.2.dwg, 3/17/2017 12:56:05 PM, stat08, V

BY

REVISIONS





- VERIFICATION.
- WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'.
- 8) THIS SITE CONTAINS NO PARKING SPACES. TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF JANUARY 1, 2014 @ 11:59 P.M. THE FOLLOWING ARE SCHEDULE BII EXCEPTIONS TO SAID COMMITMENT: ITEMS 1, 2, 3, 4, 5, 6, 7 & 8-NOT ADDRESSED.
- BEEN SUPERCEDED BY PLAT BOOK 111, PAGE 53. BEEN SUPERCEDED BY PLAT BOOK 111, PAGE 53.
- AFFECT THIS SITE AS DEPICTED HEREON.
- ITEM 13-GRANT OF EASEMENT IN O.R.B. 8601, PAGE 690, DOES NOT AFFECT THIS SITE.
- ITEM 15-RIGHT OF WAY DEED IN O.R.B. 5176, PAGE 40, AFFECTS THIS SITE AS DEPICTED HEREON. ITEM 16-EASEMENT AND RESTRICTION AGREEMENT IN O.R.B. 7423, PAGE 936, AFFECTS THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 17-NOT ADDRESSED.
- 10) SITE ZONE-IC, INDUSTRIAL COMMERCIAL DISTRICT. 11) SETBACK REQUIREMENTS FOR ZONE IC: FRONT-20'; REAR-5'/15'; STREET SIDE-15'; INTERIOR SIDE-5'/15'. MAXIMUM HEIGHT=RIGHT-OF-WAY WIDTH. FROM DORAL, FLORIDA CODE OF ORDINANCES. SOURCE: MUNICODE.COM.
- 12) THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, OR BUILDING CONSTRUCTION.
- SIDEWALK CONSTRUCTION OR REPAIR. 14) THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

7) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.07'. THE VERTICAL ACCURACY OF ELEVATIONS OF

9) THIS SURVEY WAS PREPARED WITH BENEFIT OF COMMITMENT FOR TITLE INSURANCE, FILE NUMBER: 1062-3104391, PREPARED BY FIRST AMERICAN

ITEM 9-RESTRICTIONS, CONDITIONS, RESERVATIONS, DEDICATIONS, EASEMENTS AND OTHER MATTERS AS SHOWN IN PLAT BOOK 91, PAGE 50, HAVE ITEM 10-RESTRICTIONS, CONDITIONS, RESERVATIONS, DEDICATIONS, EASEMENTS AND OTHER MATTERS AS SHOWN IN PLAT BOOK 108, PAGE, 90 HAVE

ITEM 11-RESTRICTIONS, CONDITIONS, RESERVATIONS, DEDICATIONS, EASEMENTS AND OTHER MATTERS AS SHOWN IN PLAT BOOK 111, PAGE 53,

ITEM 12-RESERVATIONS IN DEED BOOK 2443, PAGE 349, AS PARTIALLY ASSIGNED IN O.R.B. 1335, PAGE 108, AND IN O.R.B. 2375, PAGE 256, AND PARTIALLY ASSIGNED IN O.R.B. 1482, PAGE 216, AND IN O.R.B. 2440, PAGE 283, AS AFFECTED QUIT CLAIM DEED IN O.R.B. 9929, PAGE 136, AND BY RELEASE OF CANAL RESERVATION IN O.R.B. 26431, PAGE 3452, AFFECT THIS SITE AS DEPICTED HEREON.

ITEM 14-DRAINAGE EASEMENT FOR CANAL MAINTENANCE IN O.R.B. 5176, PAGE 57, AFFECTS THIS SITE AS DEPICTED HEREON.

ITEM 18-MATTERS A, B & C, DISCLOSED BY SURVEY PREPARED BY FORD, ARMENTEROS & MANUCY, INC., AFFECT THIS SITE AS DEPICTED HEREON.

13) THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OF

LEGEND Œ TΡ

ASPHALT PAVEMENT ELEVATION — онw — OVERHEAD WIRES CENTERLINE O.R.B. OFFICIAL RECORDS BOOK TRAVERSE POINT (FOR FIELD INFORMATION ONLY) CENTRAL ANGLE PALM TREE



PORTION OF TRACT "B" "E.A.L. – DORAL COMPUTER CENTER" PLAT BOOK 91, PAGE 50, M.D.C.R.

FENCE CORNE 61.9'N/0.6'E

-FENCE CORNE 24.9'S/0.3'E S00°00'00"E 226.75'

+ x4 CONCRE, MONUMENT #249 S40'20'21'W 0.10

LEGAL DESCRIPTION:

TRACT "F", OF "EASTERN DORAL ACRES SECTION ONE SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 111, PAGE 53, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATION:

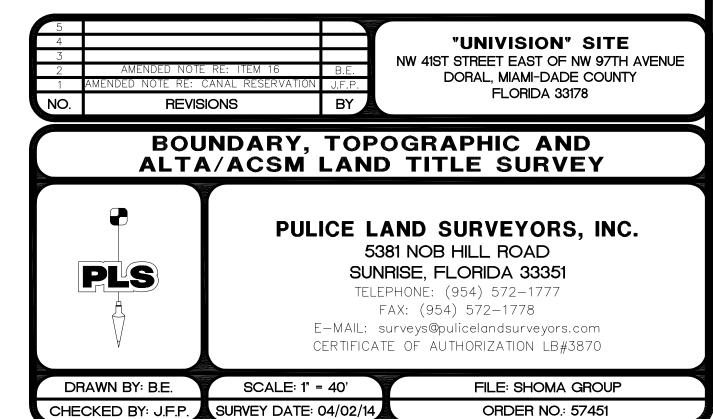
TO, SHOMA INVESTMENTS COMPANY, A FLORIDA CORPORATION; FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9, 10, 11(a) OF TABLE A THEREOF.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

□ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691 □ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136 STATE OF FLORIDA

COPYRIGHT 2014 BY PULICE LAND SURVEYORS, INC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAY BE REPRODUCED, IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM AN OFFICER OF PULICE LAND SURVEYORS, INC.



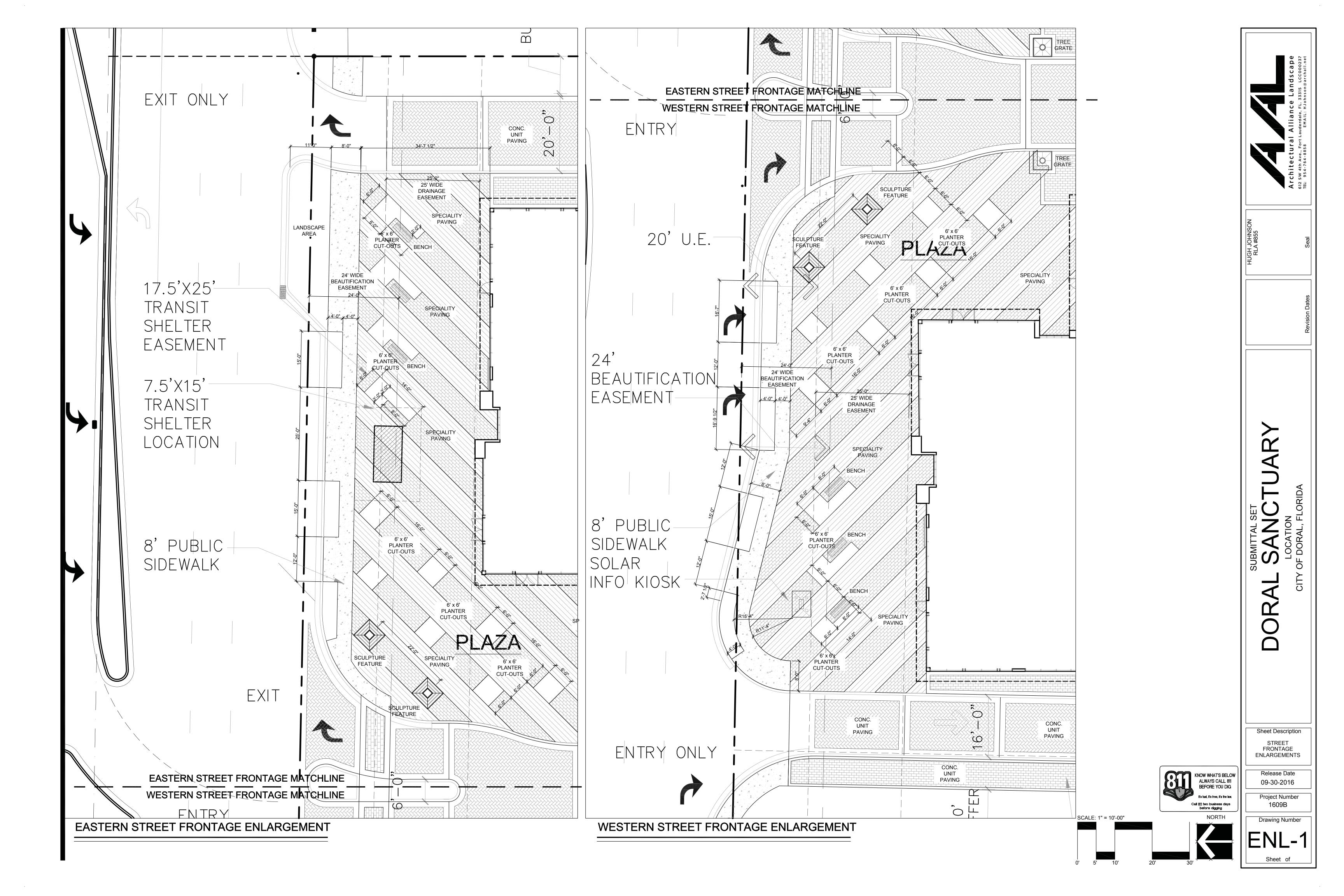
CONCRETE

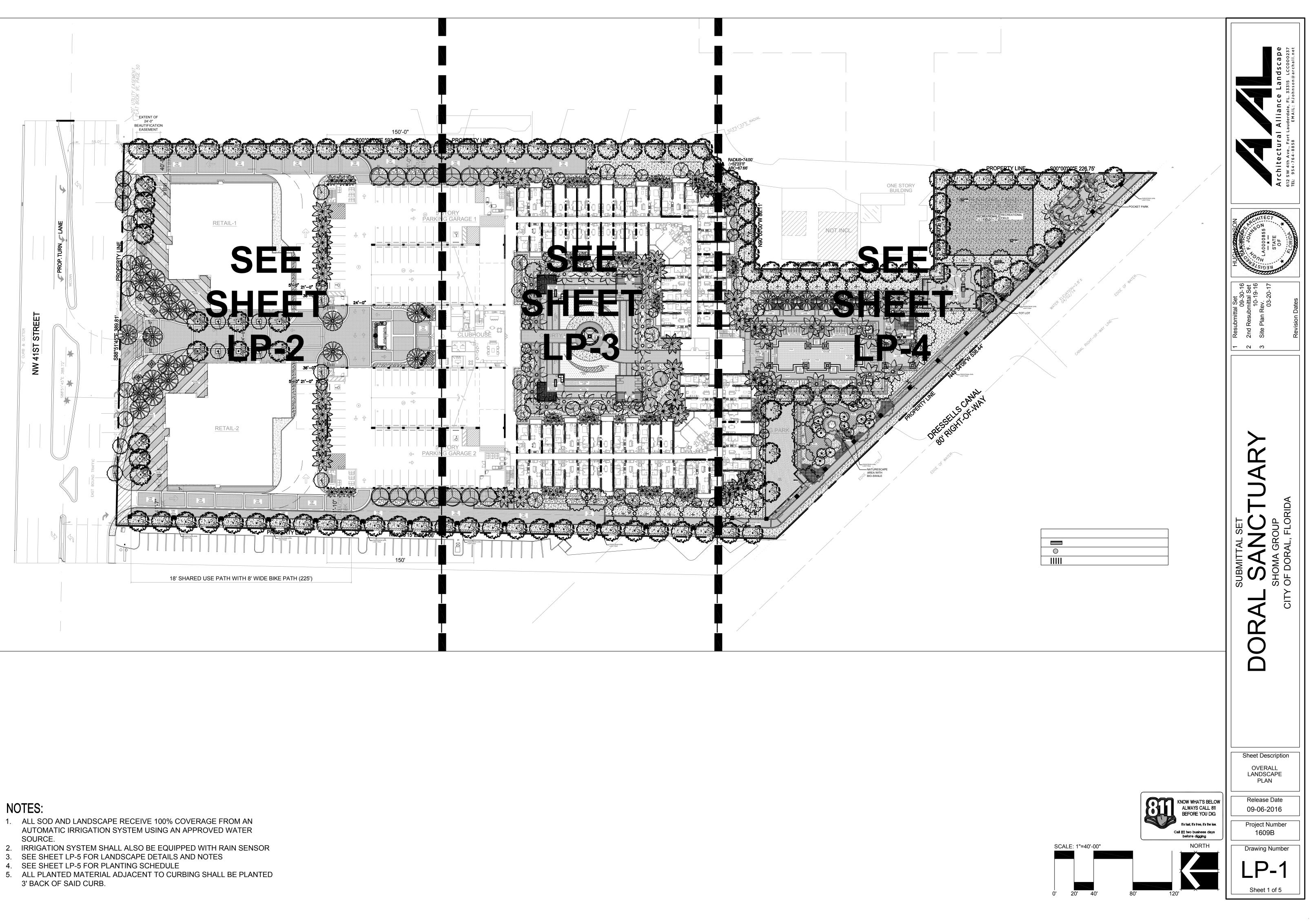
FENCE CORNEL

WATER-

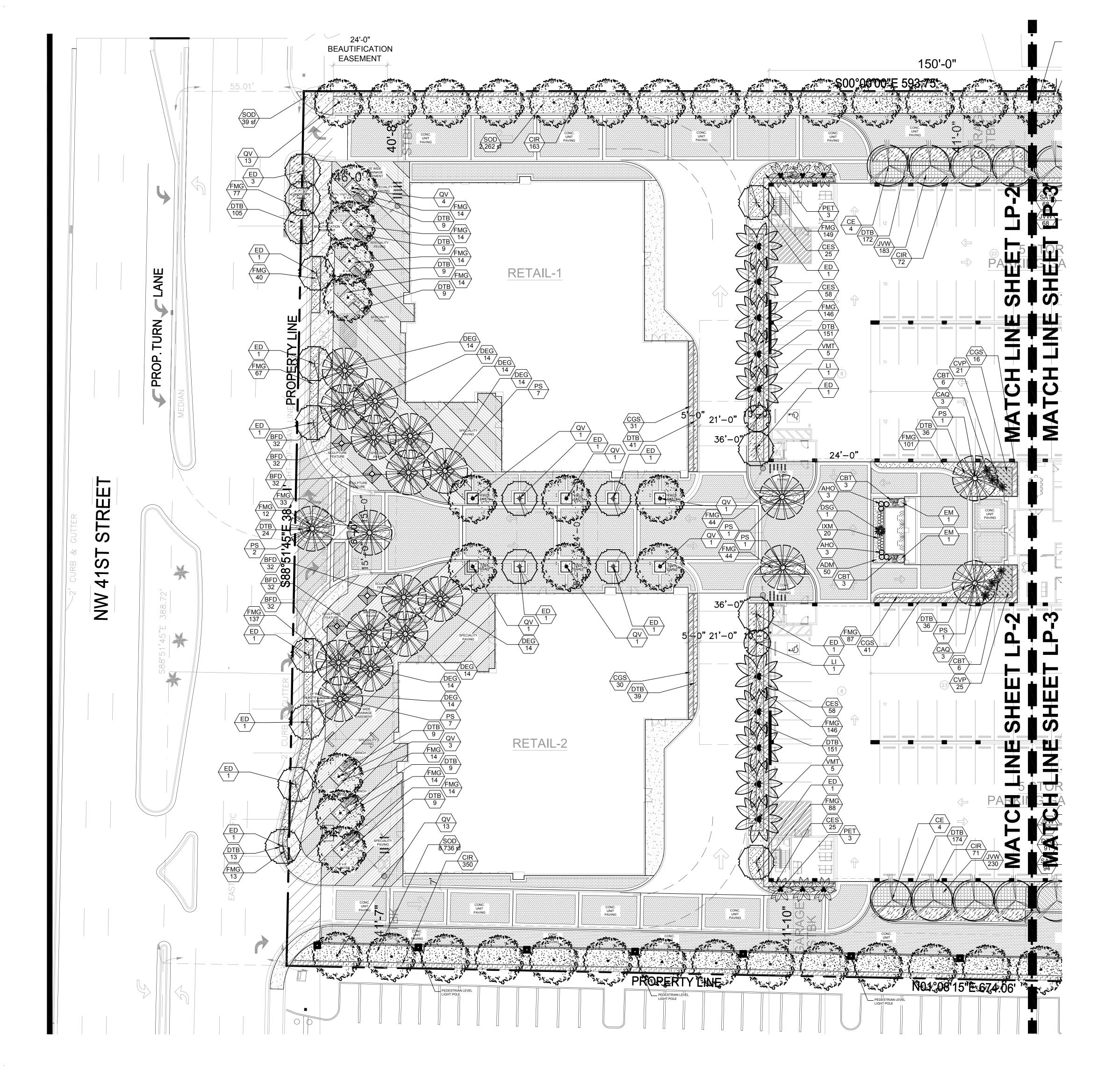
FENCE CORNE

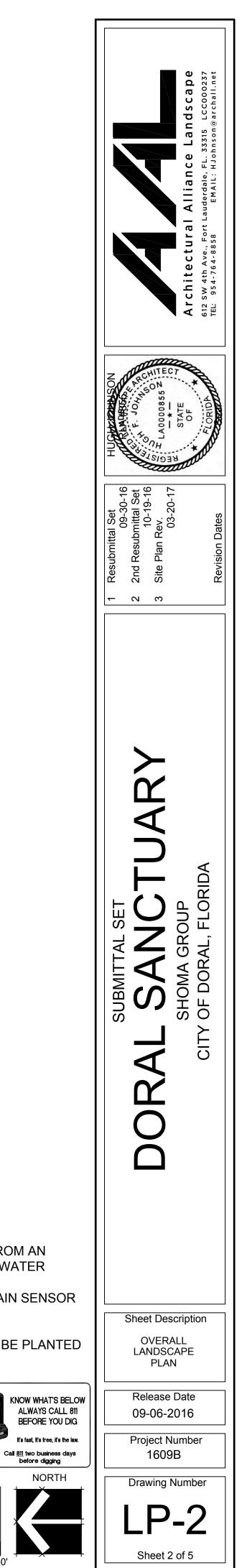
120' GRAPHIC SCALE 1"=40'





- 3.





NOTES:

- 1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- 2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR
- SEE SHEET LP-5 FOR LANDSCAPE DETAILS AND NOTES 3.
- 4. SEE SHEET LP-5 FOR PLANTING SCHEDULE
- 5. ALL PLANTED MATERIAL ADJACENT TO CURBING SHALL BE PLANTED 3' BACK OF SAID CURB.

SCALE: 1"=20'-00" 10' 20'

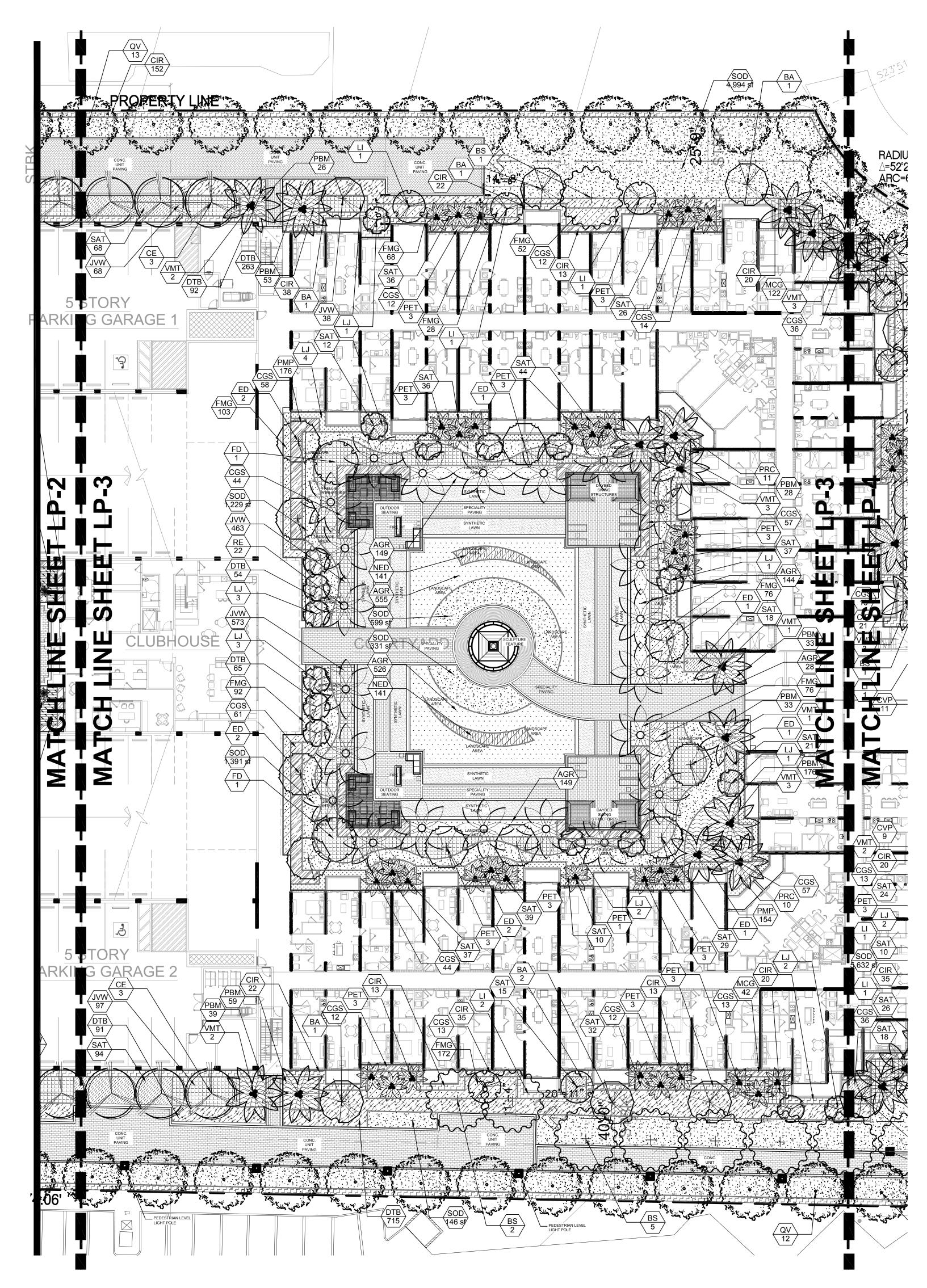
40'

A

It's fast, It's free, it's the law.

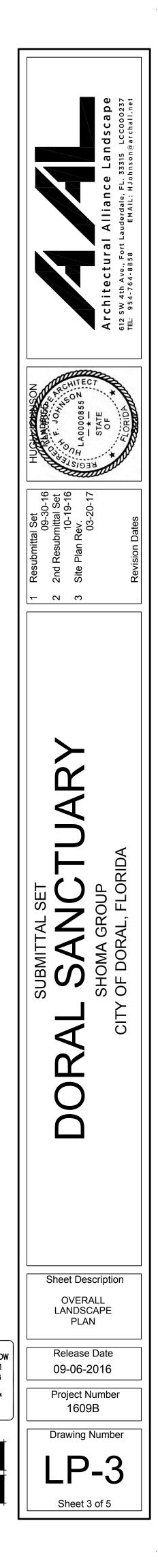
NORTH

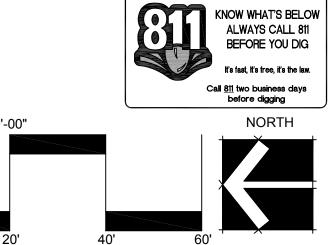
Call <u>811</u> two business days before digging



NOTES:

- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR
- SEE SHEET LP-5 FOR LANDSCAPE DETAILS AND NOTES SEE SHEET LP-5 FOR PLANTING SCHEDULE
- ALL PLANTED MATERIAL ADJACENT TO CURBING SHALL BE PLANTED 3' BACK OF SAID CURB.



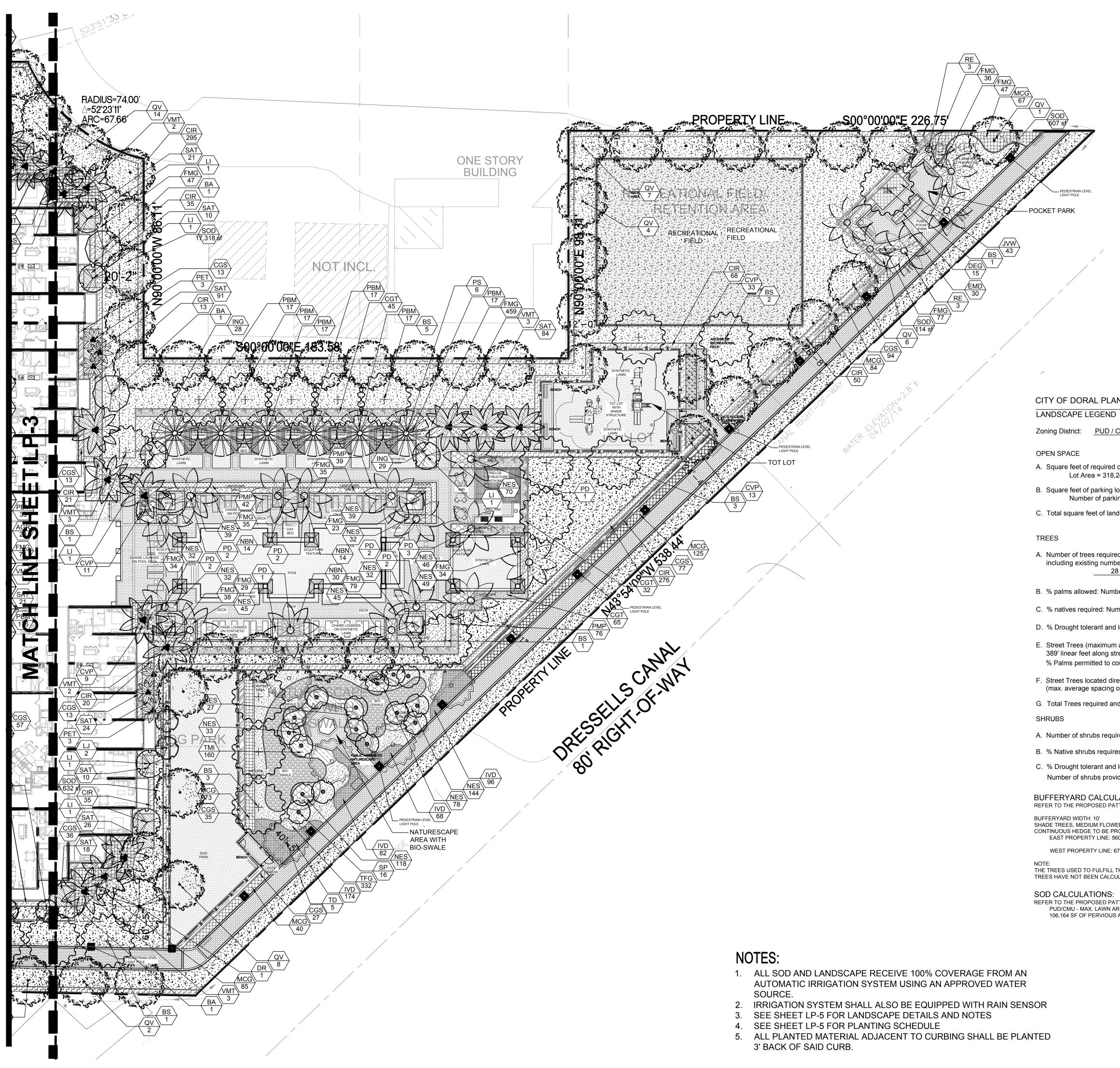


SCALE: 1"=20'-00"

10' 20'

0'

40'

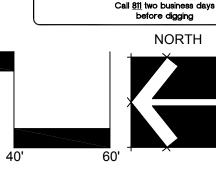


CITY OF DORAL PLANTING REQUIREMENTS

GEND		
PUD / CMU	Total Lot Area: <u>318,247</u> s.f.	7.3 Acres
	REQUIRED	PROVIDED
equired open space required by Chapter 33, as indicated on site p a = $318,247 \text{ s.fx } 10 \% = \frac{31,824 \text{ s.f.}}{31,824 \text{ s.f.}}$	lan: 31,825 SF	162,062 SF
parking lot open space required by Chapter 18A, as indicated on signal of parking spaces = 0×10 s.f. per parking space = 0	ite plan: n/a parking garage	n/a
et of landscaped open space required by Chapter 33: A + B =	31,825 SF MIN.	162,062 SF_
s required per net lot acre, ng number of trees meeting minimum requirements 28trees x7.3acres =	28 204	237
d: Number of trees provided x 30% =	61	61+
red: Number of trees provided x 30% =	61	61+
ant and low maintenance: Number of trees provided x 20% =	41	50+
aximum average spacing of 35' o.c.): along street / 35 = 11	11	11
ted to count towards street trees on 1:1 basis x 30%	1	1
ated directly beneath power lines: spacing of 25' o.c.: 389' linear feet along street / 25 = 16	n/a	n/a
uired and provided	215	237
bs required: Number of trees required x 10 =	2,040	12,415
s required: Number of shrubs provided by 30% =	612	3,070
ant and low maintenance shrubs required: lbs provided x 20%	408	2,500+
ALCULATIONS: DSED PATTERN BOOK PREPARED FOR DORAL SANCTUARY		
10' IM FLOWERING TREES, AND LARGE PALMS ARE PROVIDED TO BE PROVIDED. Y LINE: 560 LF, REQUIRES: 17 SHADE, 17 UNDERSTORY TREES, AND 168 SH PROVIDED: 17 SHADE, 17 UNDERSTORY AND 175+ SHRU Y LINE: 675 LF, REQUIRES: 20 SHADE, 20 UNDERSTORY TREES, AND 205 SH PROVIDED: 20 SHADE, 20 UNDERSTORY, AND 225+ SHRU	JBS HRUBS	
FULFILL THIS BUFFER REQUIREMENT ARE NOT REFLECTED WITHIN LINE IT EN CALCULATED TWICE.	FEM #A IN THE CHART ABOVE.	
TIONS: DSED PATTERN BOOK PREPARED FOR DORAL SANCTUARY LAWN AREA 60% MINUS ANY OPEN LAND THAT IS USED FOR RETENTION A ERVIOUS AREA - 6,500 SF RETENTION: 99,664 SF x 60% = 59,798 SF MAX. SO 32,967 SF SOD PROVIDED OR 33% PRO	DD AREA REQUIRED	
		KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG It's fast, it's free, it's the law.
		Call <u>811</u> two business days before digging

SCALE: 1"=20'-00"

10' 20'



16 16 2 ° γ − 7 R \triangleleft DA ORI

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Sheet Description

LANDSCAPE PLAN

Release Date

09-06-2016

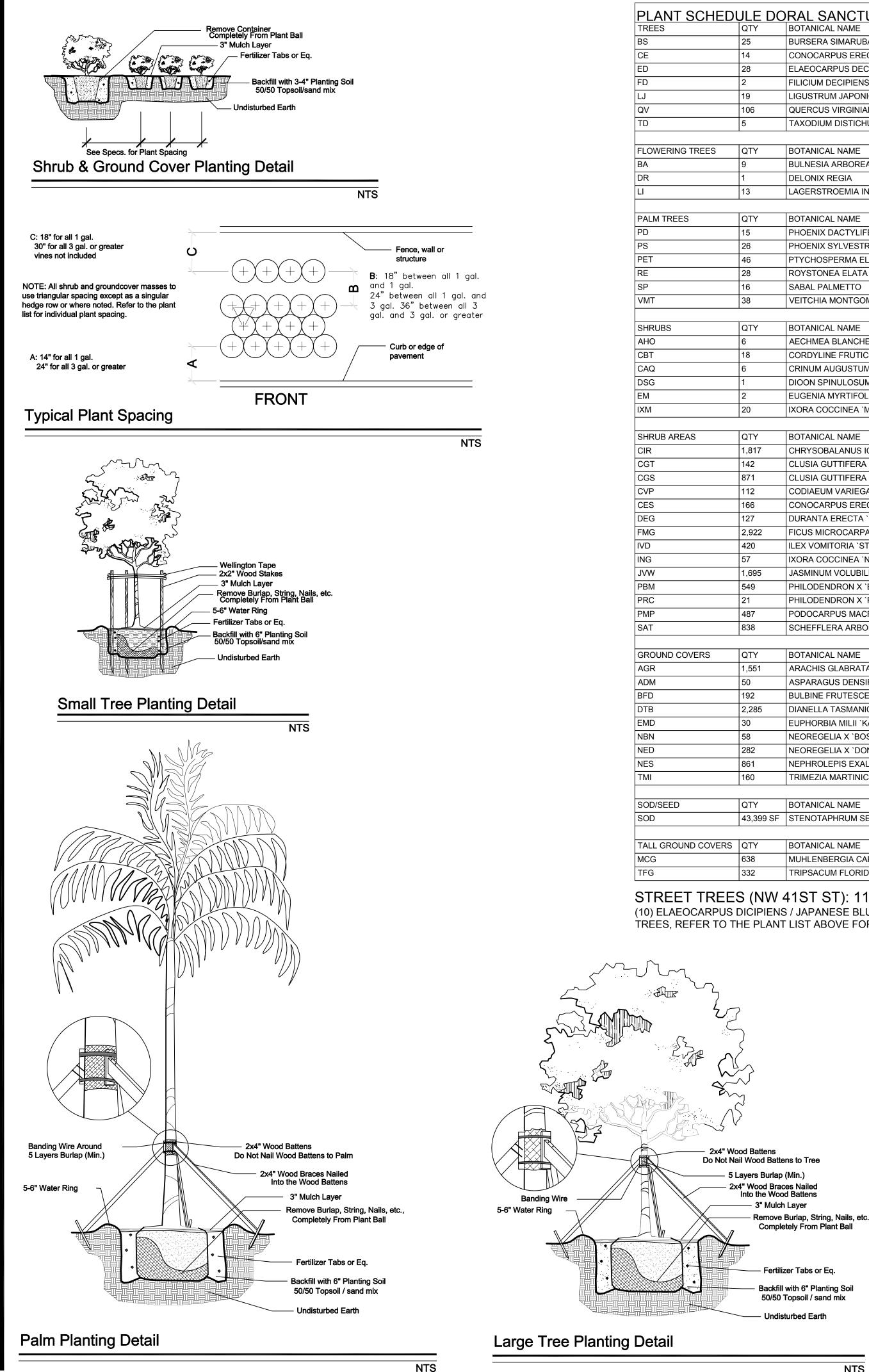
Project Number

Drawing Number

LP-4

Sheet 4 of 5

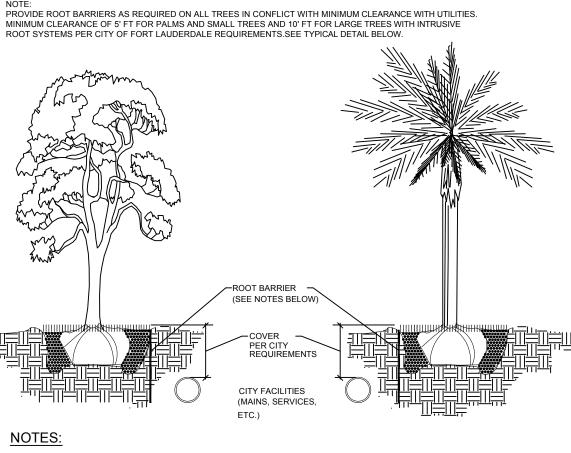
1609B



	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	
	25	BURSERA SIMARUBA	GUMBO LIMBO	FG/B&B	3"CAL	16` OA., 7` SPD., 8` CT.	YES	HIGH	
	14	CONOCARPUS ERECTUS	BUTTONWOOD	FG/B&B	2.5"CAL	16` OA., 7` SPD., 8` CT.	YES	HIGH	-
	28	ELAEOCARPUS DECIPIENS	JAPANESE BLUEBERRY TREE	45 GAL	2.5"CAL	14` HT. X 6` SPR., 6` CT	NO	HIGH	
	2					,		MEDIUM	
		FILICIUM DECIPIENS	JAPANESE FERN TREE	FG/B&B	2.5"CAL	12` HT X 6` SPR	NO		-
	19	LIGUSTRUM JAPONICUM	TREE LIGUSTRUM	FG/B&B	3"CAL	12-14` OA, MULTI-TRUNK	NO	MEDIUM	
	106	QUERCUS VIRGINIANA	LIVE OAK	FG/B&B	3"CAL	16` HT X 7` SPR, 7` CT	YES	HIGH	
	5	TAXODIUM DISTICHUM	BALD CYPRESS	FG/B&B	3"CAL	14` HT X 6` SPR	YES	HIGH	
		•	-			•			
RING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	
	9	BULNESIA ARBOREA	VERAWOOD	FG/B&B	2"CAL	16`-18` HT. X 8` SPR., 8` CT	NO	HIGH	
	1	DELONIX REGIA	ROYAL POINCIANA	FG/B&B			NO	HIGH	
	1				4"CAL	16` OA., 7` SPD., 8` CT.	NO	пібп	
	13	LAGERSTROEMIA INDICA `TUSCARORA`	TUSCARORA CRAPE MYRTLE `STANDARD`	FG/B&B	3"CAL	14`HT X 6`SPR, STD			
REES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	
	15	PHOENIX DACTYLIFERA `MEDJOOL`	MEDJOOL DATE PALM	FG/B&B		14` CT, NUT INCLUDED, MATCHED	NO	HIGH	
	26	PHOENIX SYLVESTRIS	WILD DATE PALM	FG/B&B		14` CT., MATCHED	NO	HIGH	
			ALEXANDER PALM	FG/B&B		,		HIGH	+
	46					14-16-18` OA., TRIPLES	NO		+
	28	ROYSTONEA ELATA	FLORIDA ROYAL PALM	FIELD GROWN / B & B		10` GW., 25` OA., MATCHED	YES	HIGH	
	16	SABAL PALMETTO	CABBAGE PALMETTO	FG/B&B		14`-20` OA, VARY HEIGHTS	YES	HIGH	
	38	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	FG/B&B		18-20` OA., TRIPLE TRUNKS	NO	MEDIUM	
				,	*		•		
S	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	SPACIN
	6	AECHMEA BLANCHETIANA `HACIENDA`	BURNT ORANGE BROMELIAD	3 GAL		20"X20" OA.	NO	HIGH	30" o.c.
			BOLERO TI PLANT						
	18	CORDYLINE FRUTICOSA 'BOLERO'		3 GAL		24-28" OA	NO	MEDIUM	24" o.c.
	6	CRINUM AUGUSTUM `QUEEN EMMA`	`QUEEN EMMA` CRINUM	7 GAL.		4` OA., FULL	NO	HIGH	48" o.c.
	1	DIOON SPINULOSUM	CYCAD	15 GAL		30-36" OA	NO	HIGH	60" o.c.
	2	EUGENIA MYRTIFOLIA	BRUSH CHERRY	15 GAL					48" o.c.
	20	IXORA COCCINEA `MAUI SUNSET`	MAUI SUNSET DWARF IXORA	3 GAL		12"X12" OA.	NO	MEDIUM	18" o.c.
	-						_	_	
	ΟΤΥ	BOTANICAL NAME		CONT		SIZE			
AREAS	QTY		COMMON NAME		CAL		NATIVE	DROUGHT	SPACIN
	1,817	CHRYSOBALANUS ICACO `REDTIP`	RED TIP COCOPLUM	3 GAL.,		24"HT X 24"SPR	YES	MEDIUM	24" o.c.
	142	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	15 GAL		60"HT X 36"SPR	YES	HIGH	36" o.c.
	871	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	3 GAL.,		24"HT X 24"SPR	NO	HIGH	24" o.c.
	112	CODIAEUM VARIEGATUM `PETRA`	BRAVO CROTON	3 GAL.,		18"HT X 18"SPR	NO	HIGH	24" o.c.
	166	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTON WOOD	3 GAL., FULL		30"HT X 24"SPR	YES	HIGH	24" o.c.
	127	DURANTA ERECTA `GOLD MOUND`	GOLD MOUND DURANTA	3 GAL.,		18"HT X 18"SPR	YES	HIGH	18" o.c.
	2,922	FICUS MICROCARPA `GREEN ISLAND`	GREEN ISLAND FICUS	3 GAL.,		18"HT X 18"SPR	NO	HIGH	18" o.c.
	420	ILEX VOMITORIA `STOKES DWARF`	DWARF YAUPON HOLLY	3 GAL		16" HT X 16" SPR	YES	HIGH	16" o.c.
	57	IXORA COCCINEA `NORA GRANT`	RED IXORA	3 GAL.,		20" HT X 20" SPR	NO	HIGH	24" o.c.
	1,695	JASMINUM VOLUBILE	WAX JASMINE	3 GAL.,		18"HT X 18"SPR	NO	MEDIUM	20" o.c.
	549	PHILODENDRON X `BURLE MARX`	PHILODENDRON	3 GAL.,		18"HT X 18"SPR	NO	MEDIUM	20" o.c.
	21	PHILODENDRON X `ROJO CONGO`	ROJO CONGO PHILODENDRON	3 GAL.,		18"HT X 18"SPR	NO	MEDIUM	30" o.c.
	487	PODOCARPUS MACROPHYLLUS	PODOCARPUS	3 GAL.,		24"HT X 24"SPR	NO	HIGH	24" o.c.
	838	SCHEFFLERA ARBORICOLA `TRINETTE`	SCHEFFLERA	3 GAL.,		24"HT X 24"SPR	NO	HIGH	24" o.c.
					•		•	•	•
ID COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	SPACIN
	1,551	ARACHIS GLABRATA	PERENNIAL PEANUT	1 GAL.,		6"HT X 12"SPR @	NO	HIGH	18" o.c.
	,					-			_
	50	ASPARAGUS DENSIFLORUS 'MYERS'	MYERS ASPARAGUS	3 GAL		18"HT X 18"SPR @	NO	MEDIUM	24" o.c.
	192	BULBINE FRUTESCENS	STALKED BULBINE	1 GAL.		8" HT. X 8" SPR.	NO	HIGH	12" o.c.
	2,285	DIANELLA TASMANICA	BLUEBERRY FLAX LILY	3 GAL.		16" HT X 16" SPR @	NO	MEDIUM	18" o.c.
	30	EUPHORBIA MILII `KAROLA`	DWARF RED CROWN OF THORNS	1 GAL.,		6" HT. MIN.	NO	HIGH	12" o.c.
	58	NEOREGELIA X `BOSSA NOVA`	GREEEN & WHITE BROMELIAD	1 GAL			NO	HIGH	20" o.c.
	282	NEOREGELIA X `DONGER`	RED DWARF BROMELIAD	1 GAL.,		4" HT. X 12" SPR.	NO	HIGH	12" o.c.
								HIGH	
	861		BOSTON FERN	1 GAL.		12" HT. X 12" SPR.	YES		12" o.c.
	160	TRIMEZIA MARTINICENSIS	YELLOW WALKING IRIS	16" HT X 16" SPR			NO	MEDIUM	18" o.c.
EED	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	SPACIN
	43,399 SF	STENOTAPHRUM SECUNDATUM `FLORITAM`	`FLORITAM` ST. AUGUSTINE SOD	SOD					1
					1	1	1	<u> </u>	<u> </u>
		DOTANICAL NAME		CONT					
	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	SPACIN
ROUND COVERS							s		
	638	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL.,		24" HT. X 24" SPR.	YES	HIGH	24" o.c.

STREET TREES (NW 41ST ST): 11 TREES REQUIRED, 11 TREES PROVIDED

(10) ELAEOCARPUS DICIPIENS / JAPANESE BLUEBERRY AND (1) PHOENIX SYLVESTRIS / WILD DATE PALM ARE USED AS THE STREET TREES, REFER TO THE PLANT LIST ABOVE FOR THE SPECIFIED SIZE OF EACH.



1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND

- UP TO FINISHED GRADE. 2. ROOT BARRIERS SHALL HAVE MINIMUM DEEP PER CITY REQUIREMENTS. APPROVED PRODUCTS INCLUDE DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
- 3. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS

Typical Root Barrier Detail

SPECIAL INSTRUCTIONS GENERAL SITE AND BERM GRADING TO +/- 1 INCH (1") ALL PLANT MATERIAL SHALL BE INSTALLED WITH FERTILIZER, WHICH SHALL BE STATE APPROVED AS A SHALL BE PROVIDED BY THE GENERAL COMPLETE FERTILIZER CONTAINING THE REQUIRED CONTRACTOR. ALL FINISHED SITE GRADING AND MINIMUM OF TRACE ELEMENTS IN ADDITION TO N-P-K, OF FINAL DECORATIVE BERM SHAPING SHALL BE WHICH 50% OF THE NITROGEN SHALL BE DERIVED FROM PROVIDED BY THE LANDSCAPE CONTRACTOR AN ORGANIC SOURCE AS PER CSI SPECIFICATIONS. ALL SOD AREAS AS INDICATED ON THE PLANTING CONTRACTORS ARE RESPONSIBLE FOR COORDINATING PLAN SHALL RECEIVE STENOTAPHRUM WITH THE OWNERS AND APPROPRIATE PUBLIC AGENCIES SECUNDATUM, ST. AUGUSTINE 'PALMETTO' SOLID TO ASSIST IN LOCATING AND VERIFYING ALL SOD. IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND UTILITIES PRIOR TO EXCAVATION. LANDSCAPE CONTRACTOR TO INCLUDE IN THE BID, THE REPAIR OF ANY SOD WHICH MAY BE DAMAGED ALL IDEAS, DESIGNS AND PLANS INDICATED OR FROM THE LANDSCAPE INSTALLATION OPERATIONS. REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE EXCLUSIVE PROPERTY OF ARCHITECTURAL NOTES: ALLIANCE LANDSCAPE.

- COVERAGE FROM AN AUTOMATIC WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE 2. EQUIPPED WITH RAIN SENSOR
- SAID CURB.

ALL SOD AND LANDSCAPE RECEIVE 100% **IRRIGATION SYSTEM USING AN APPROVED**

3. ALL PLANTED MATERIAL ADJACENT TO CURBING SHALL BE PLANTED 3' BACK OF

NOTES:

GENERAL PLANTING REQUIREMENTS

ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLANS ARE TO BE CONSIDERED MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER **REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS** NOTED ON THE PLAN(S) WILL ALSO BE REQUIRED FOR FINAL ACCEPTANCE.

ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR FLORIDA NURSERY PLANTS" AND "GRADES AND STANDARDS FOR FLORIDA NURSERY TREES". ALL MATERIAL SHALL BE INSTALLED AS PER CSI SPECIFICATIONS.

ALL PLANT MATERIAL AS INCLUDED HEREIN SHALL BE WARRANTIED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM PERIOD AS FOLLOWS: ALL TREES AND PALMS FOR 12 MONTHS, ALL SHRUBS, VINES, GROUNDCOVERS AND MISCELLANEOUS PLANTING MATERIALS FOR 90 DAYS AND ALL LAWN AREAS FOR 60 DAYS AFTER FINAL ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVE.

ALL PLANT MATERIAL SHALL BE PLANTED IN PLANTING SOIL THAT IS DELIVERED TO THE SITE IN A CLEAN LOOSE AND FRIABLE CONDITION. ALL SOIL SHALL HAVE A WELL DRAINED CHARACTERISTIC. SOIL MUST BE FREE OF ALL ROCKS, STICKS, AND OBJECTIONABLE MATERIAL INCLUDING WEEDS AND WEED SEEDS AS PER CSI SPECIFICATIONS.

TWELVE INCHES (12") OF PLANTING SOIL 50/50 SAND/TOPSOIL MIX IS REQUIRED AROUND AND BENEATH THE ROOT BALL OF ALL TREES AND PALMS, AND 1 CUBIC YARD PER 50 BEDDING OR GROUNDCOVER PLANTS.

ALL LANDSCAPE AREAS SHALL BE COVERED WITH EUCALYPTUS OR STERILIZED SEED FREE MELALEUCA MULCH TO A MINIMUM DEPTH OF THREE INCHES (3") OF COVER WHEN SETTLED. A FOUR-INCH CLEAR SPACE MUST BE LEFT FOR AIR BETWEEN PLANT BASES AND THE MULCH. CYPRESS BARK MULCH SHALL NOT BE USED.

ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED IN AT THE TIME OF PLANTING; NO DRY PLANTING PERMITTED ALL PLANT MATERIALS SHALL BE PLANTED SUCH THAT THE TOP OF THE PLANT BALL IS FLUSH WITH THE SURROUNDING GRADE

ALL LANDSCAPE AND LAWN AREAS SHALL BE IRRIGATED BY A FULLY AUTOMATIC SPRINKLER SYSTEM ADJUSTED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS. ALL HEADS SHALL BE ADJUSTED TO 100% OVERLAP AS PER MANUFACTURERS SPECIFICATIONS AND PERFORMANCE STANDARDS UTILIZING A RUST FREE WATER SOURCE. EACH SYSTEM SHALL BE INSTALLED WITH A RAIN SENSOR.

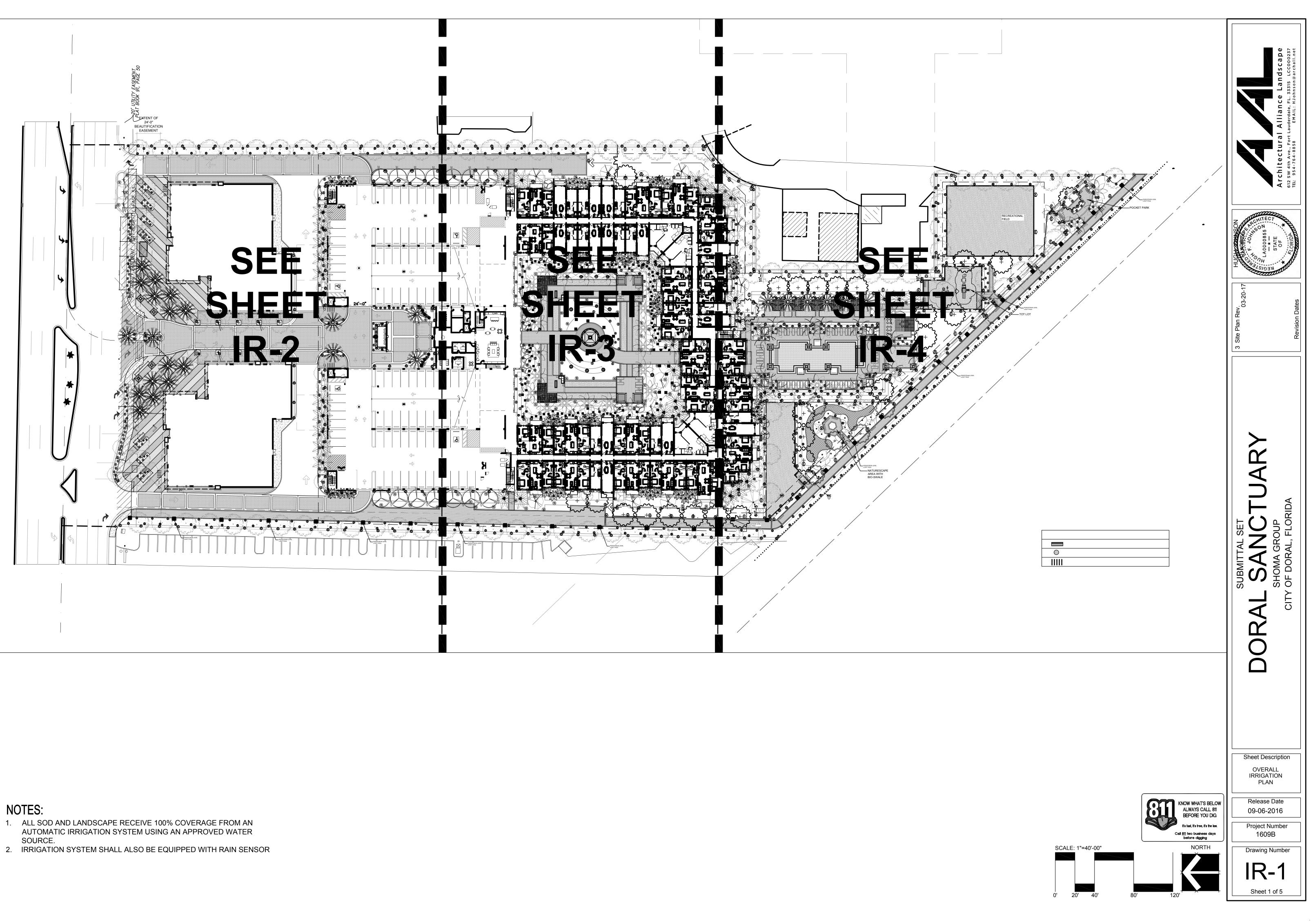
IT IS THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INSURE THAT ALL NEW PLANTINGS RECEIVE ADEQUATE WATER DURING THE INSTALLATION AND DURING ALL PLANT WARRANTY PERIODS. DEEP WATERING OF ALL NEW TREES AND PALMS AND ANY SUPPLEMENTAL WATERING THAT MAY BE REQUIRED TO AUGMENT NATURAL RAINFALL AND SITE IRRIGATION IS MANDATORY TO INSURE PROPER PLANT DEVELOPMENT AND SHALL BE PROVIDED AS A PART OF THIS CONTRACT.

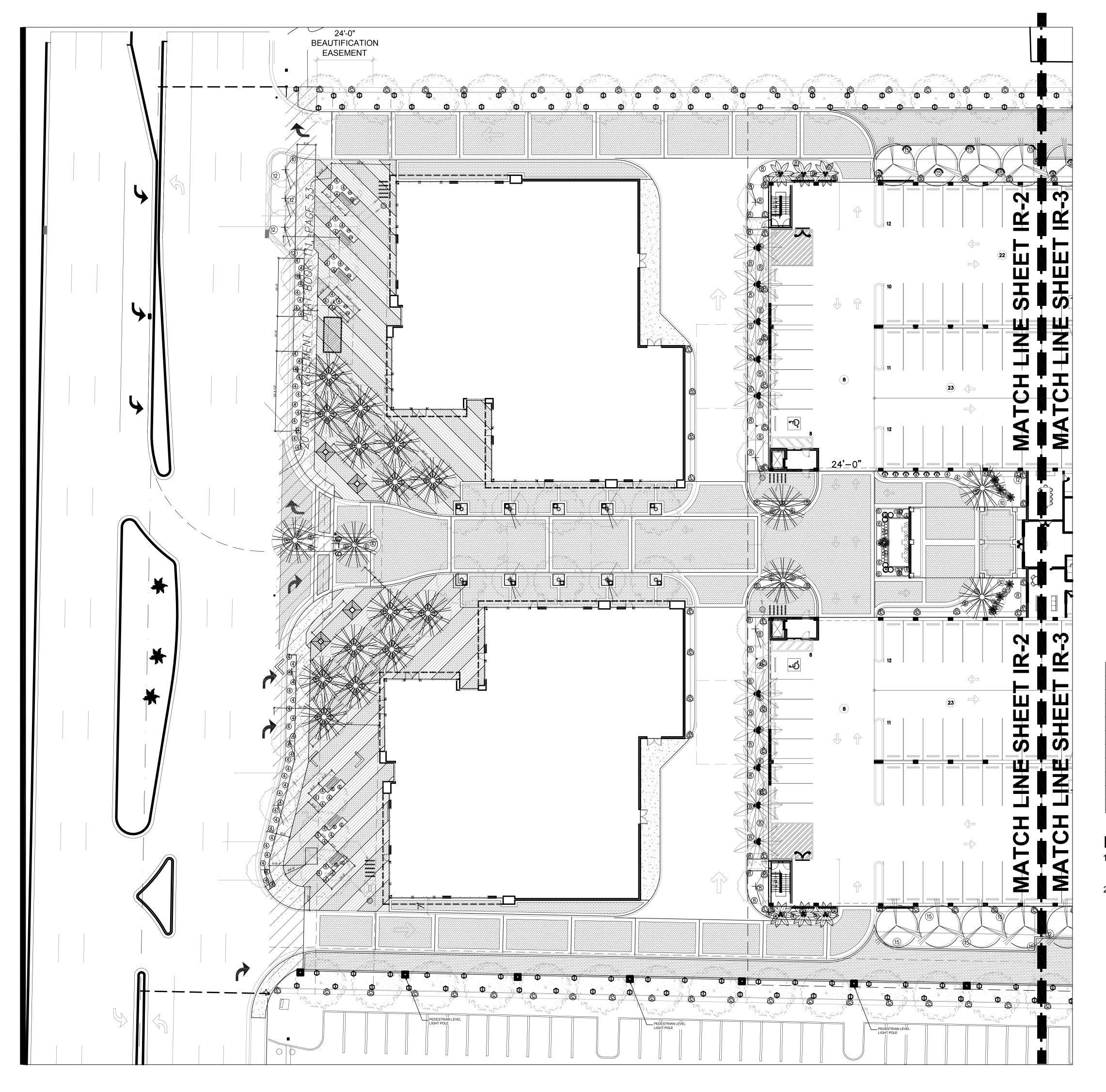
THE PLAN TAKES PRECEDENCE OVER THE PLANT LIST.



Architectural Alliance Landscape	
HUG HEREIS HUG HE	- COMPANY
 Resubmittal Set 09-30-16 2 2nd Resubmittal Set 10-19-16 3 Site Plan Rev. 03-20-17 	Revision Dates
BORAL SANCTUARY SHOMA GROUP CITY OF DORAL, FLORIDA	
Sheet Description	
LANDSCAPE NOTES AND DETAILS Release Date	

Sheet 5 of 5





		Architectural Alliance Landscape	612 SW 4th Ave., Fort Lauderdale, FL. 33315 LCC000237 TEL: 954-764-8858 EMAIL: HJohnson@archall.net
NOSMAGANONH	001 F LADDOD855 Z TH	STATE	FLORIDA A
3 Site Plan Rev. 03-20-17			Revision Dates
SUBMITTAL SET	DORAL SANCTUARY	SHOMA GROUP	CITY OF DORAL, FLORIDA
5	Sheet Des IRRIGA PLA	TION	
	Release		

SLEEVING SCHEDULE
SLEEVING PIPE SIZE
2"
2"
3"
3"
4"
6"
8"
12"
16"

SLEEVING NOTES:

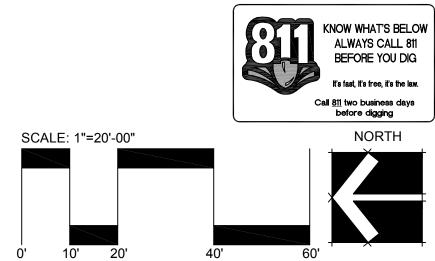
 VEHICULAR CROSSINGS ARE SHOWN AND SIZED ON THE PLANS.
 NON-VEHICULAR SLEEVES ARE SHOWN BUT NOT SIZED.
 SIZE ALL NON-VEHICULAR SLEEVES ACCORDING TO THE ADJACENT CHART.
 MAINLINE CROSSINGS MUST ALSO INCLUDE A 2" CONDUIT SLEEVE FOR CONTROL WIRE.
 CONTRACTOR TO DUCT TAPE END OF SLEEVES TO KEEP SLEEVE CLEAN AND CLEAR.
 CONTRACTOR TO STAKE END OF EACH SLEEVE ABOVE GROUND AND PAINT FLUORESCENT ORANGE. LABEL EACH STAKE WITH THE WORD 'SLEEVE' AND ITS SIZE.
 CONTRACTOR TO PROVIDE A 3 FT MINIMUM DEPTH OF COVERAGE OVER ALL SLEEVES.

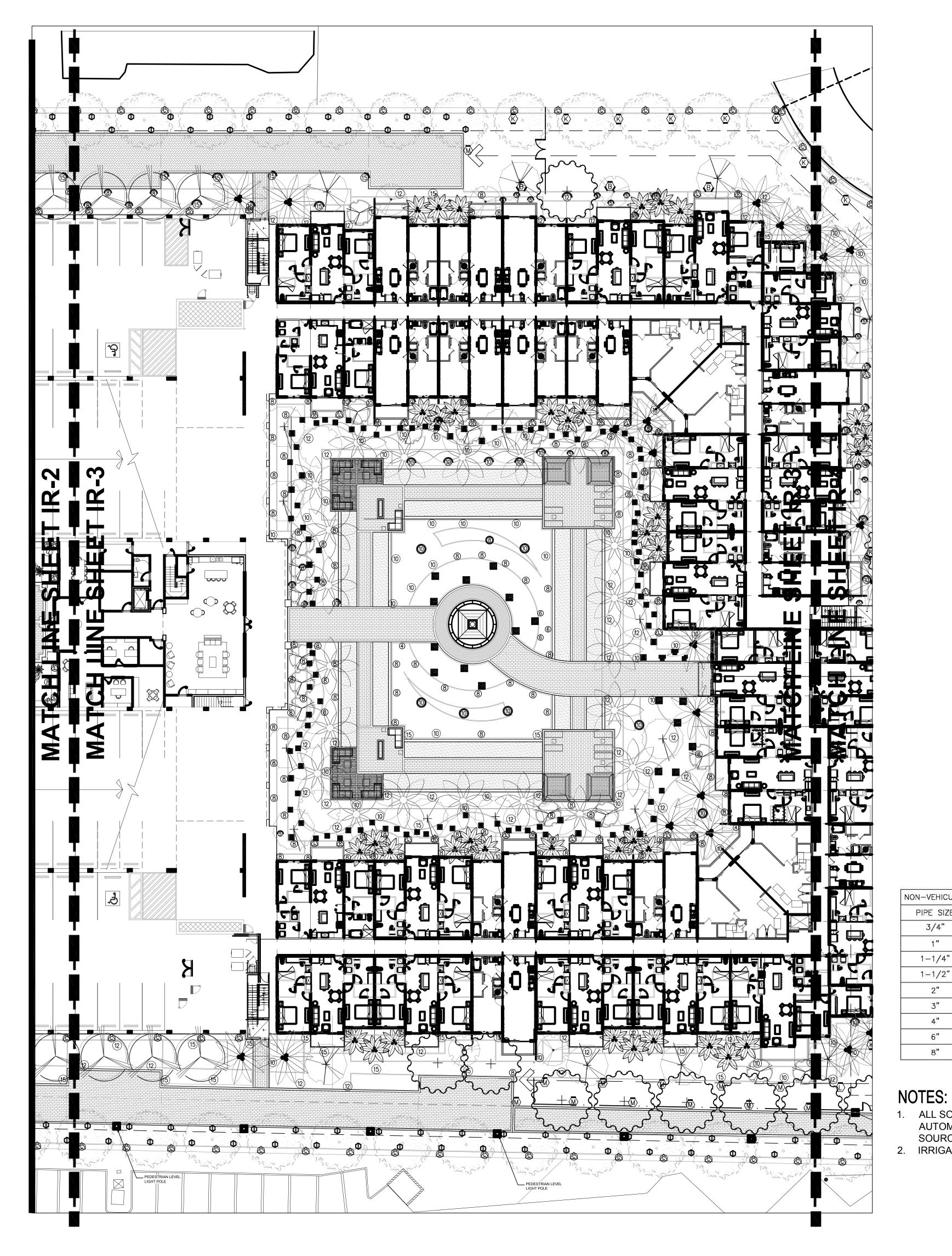
SLEEVE LABEL:

12"/6"/2" SLEEVES MEANS TO INSTALL ONE 12", ONE 6" AND ONE 2" SLEEVE.

NOTES:

- 1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- 2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR





SLEEVING SCHEDULE	NON-VEHICULAR	
SLEEVING PIPE SIZE	PIPE SIZE	
2"	3/4"	
2"	1"	
3"	1-1/4"	
3"	1-1/2"	
4"	2"	
6"	3"	
8"	4"	
12"	6"	
16"	8"	

SOURCE.

<u>SLEEVE LABEL:</u> 12"/6"/2" SLEEVES MEANS TO INSTALL ONE 12", ONE 6" AND ONE 2" SLEEVE.

PLANS.
NON-VEHICULAR SLEEVES ARE SHOWN BUT NOT SIZED.
SIZE ALL NON-VEHICULAR SLEEVES ACCORDING TO THE ADJACENT CHART.
MAINLINE CROSSINGS MUST ALSO INCLUDE A 2" CONDUIT SLEEVE FOR CONTROL WIRE.
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CONTRACTOR TO STAKE END OF EACH SLEEVE ABOVE GROUND AND PAINT FLUORESCENT ORANGE. LABEL EACH STAKE WITH THE WORD 'SLEEVE' AND ITS SIZE.
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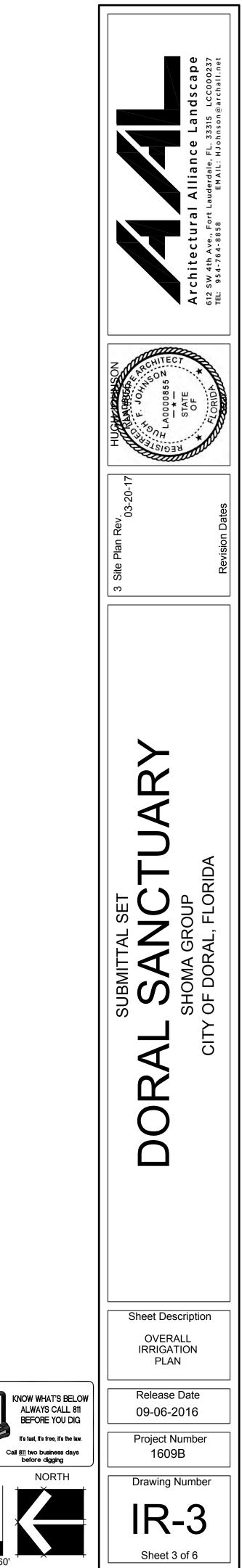
1. VEHICULAR CROSSINGS ARE SHOWN AND SIZED ON THE PLANS.

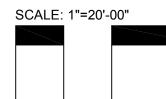
SLEEVING NOTES:

ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN

AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER

IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR



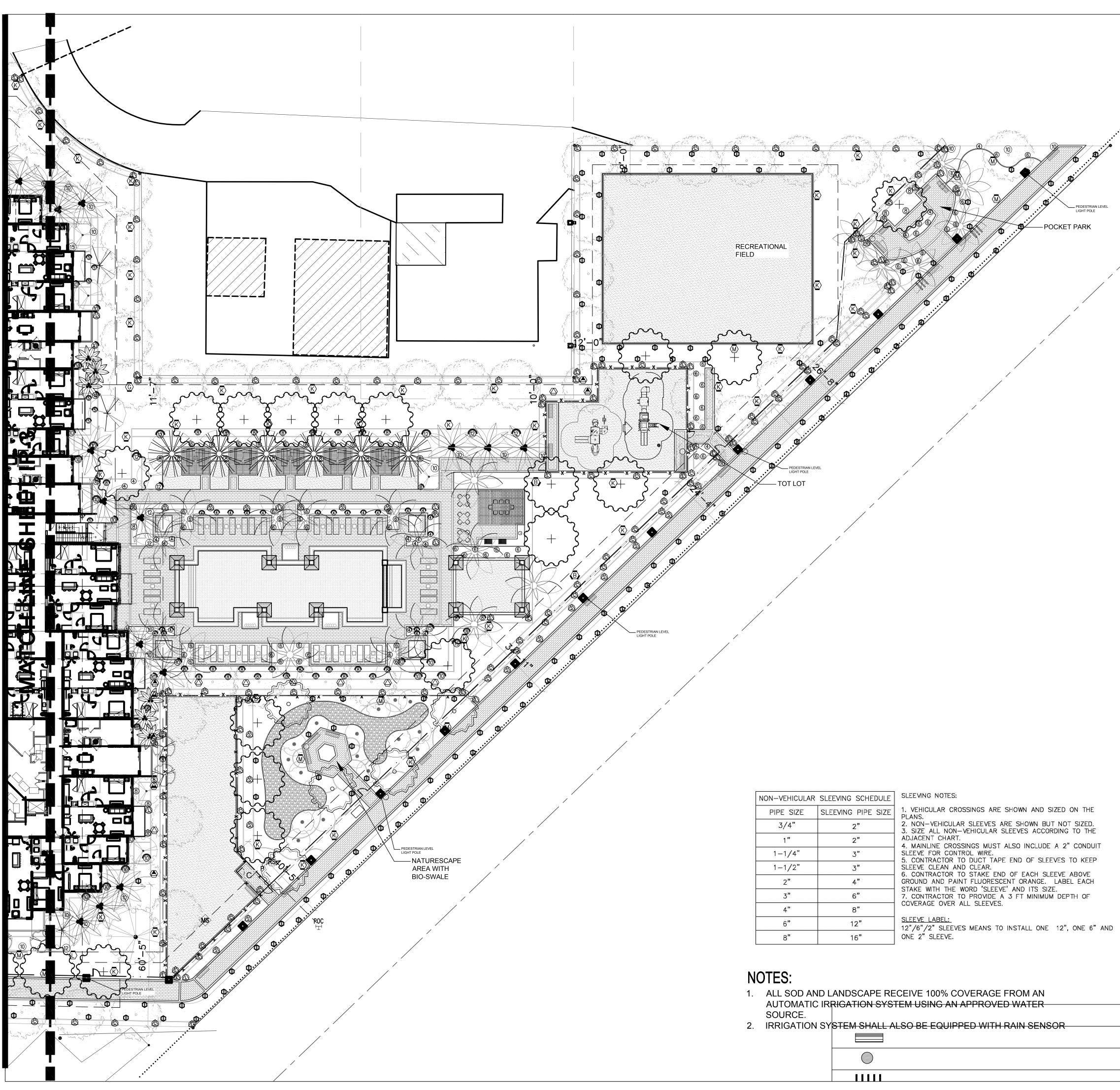


0' 10' 20'

40'

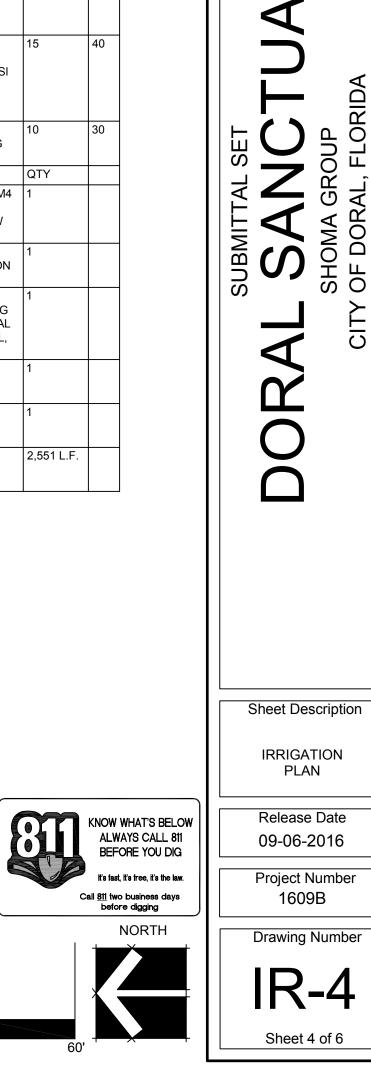
 $\mathbf{\mathfrak{M}}$

NORTH

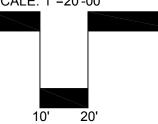


NON-VEHICULAR	SLEEVING SCHEDULE
PIPE SIZE	SLEEVING PIPE SIZE
3/4"	2"
1"	2"
1-1/4"	3"
1-1/2"	3"
2"	4"
3"	6"
4"	8"
6 "	12"
8"	16"

SYMBOL		QTY 3	PS 30
Q H F	RAIN BIRD 1806-PRS 5 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. SIDE AND BOTTOM INLET. 1/2" NPT FEMALE	3	30
	THREADED INLET. PRESSURE REGULATING.	05	20
4V 6V 18V	RAIN BIRD 1806-PRS ADJ TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. SIDE AND BOTTOM INLET. 1/2" NPT FEMALE	95	30
	THREADED INLET. PRESSURE REGULATING. RAIN BIRD 1806-PRS ADJ	32	30
Ø8HE-VAN 📴 12HE-VAN	TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. SIDE AND BOTTOM INLET. 1/2" NPT FEMALE	52	
	THREADED INLET. PRESSURE REGULATING. RAIN BIRD 1800-PA-8S-PRS SQ SERIES	42	30
ତ ଡ ଡ ଡ ଡି ଡି ଡି 2Q 2H 2F 4Q 4H 4F	SHRUB SPRAY ON FIXED RISER WITH THE PA-8S-PRS PRESSURE REGULATING SHRUB ADAPTER. USE WITH 1/2"	72	
	MPT THREADED RISERS. RAIN BIRD 1800-PA-8S-PRS 15 STRIP SERIES	322	30
ති 🖄 🕲 ති කි EST LCS RCS CST SST	SHRUB SPRAY ON FIXED RISER WITH THE PA-8S-PRS PRESSURE REGULATING SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS.		
ዕ ତ () ር ዘ F	RAIN BIRD 1800-PA-8S-PRS 5 SERIES MPR SHRUB SPRAY ON FIXED RISER WITH THE PA-8S-PRS	16	30
4 11 1	PRESSURE REGULATING SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS.		
	RAIN BIRD 1800-PA-8S-PRS 8 SERIES MPR	45	30
0 0 0 0 9 T H F	SHRUB SPRAY ON FIXED RISER WITH THE PA-8S-PRS PRESSURE REGULATING SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS.		
<u> </u>	RAIN BIRD 1800-PA-8S-PRS 10 SERIES MPR	44	30
Ф Ф Ф атнғ	SHRUB SPRAY ON FIXED RISER WITH THE PA-8S-PRS PRESSURE REGULATING SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS.		
	RAIN BIRD 1800-PA-8S-PRS 12 SERIES MPR	11	30
@ @ @ @ @ q т н тq ғ	SHRUB SPRAY ON FIXED RISER WITH THE PA-8S-PRS PRESSURE REGULATING SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS.		
@ @ @ @ @ @	RAIN BIRD 1800-PA-8S-PRS 15 SERIES MPR SHRUB SPRAY ON FIXED RISER WITH THE PA-8S-PRS	14	30
ф ф ф ф отн тор	PRESSURE REGULATING SHRUB ADAPTER. USE WITH 1/2"		
	MPT THREADED RISERS. RAIN BIRD 1800-PA-8S-PRS ADJ	259	30
④ ⑥ (18) 4V 6V 18V	SHRUB SPRAY ON FIXED RISER WITH THE PA-8S-PRS	259	30
40 00 100	PRESSURE REGULATING SHRUB ADAPTER. USE WITH 1/2" MPT THREADED RISERS.		
	RAIN BIRD 1800-PA-8S-PRS ADJ	294	30
 8 Ø8HE-VAN 12HE-VAN 10 10HE-VAN 15HE-VAN 	SHRUB SPRAY ON FIXED RISER WITH THE PA-8S-PRS PRESSURE REGULATING SHRUB ADAPTER. USE WITH 1/2"		
	MPT THREADED RISERS.		
	HUNTER MP1000 PROS-06-PRS40-CV TURF ROTATOR, 6" (15.24 CM) POP-UP WITH CHECK VALVE,	20	4
	PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR		
	NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.		
	HUNTER MP2000 PROS-06-PRS40-CV	45	4(
ଝତ®	TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI		
	(2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.		
	HUNTER MP3000 PROS-06-PRS40-CV	6	4(
๎®ฬ⊗	TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI		
	(2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE		
	ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.		
	HUNTER MP800SR PROS-06-PRS40-CV	273	4
Ф Ф ADJ. 36Ø	TURF ROTATOR, 4.0" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR		
	NOZZLE ON PRS40 BODY. ADJ=ORANGE AND GRAY (ARC		
	90-210), 360=LIME GREEN AND GRAY (ARC 360) HUNTER MP STRIP PROS-06-PRS40-CV	15	4
LST RST SST	TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY		
	INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY.		
	LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP.		
▲ 1402 1408	RAIN BIRD 1806-PRS-1400 FLOOD	10	30
▲ ■ ▲ ■ 1401 ■ 1404	FLOOD BUBBLER 6.0" POPUP WITH PRESSURE REGULATING DEVICE.		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
С	RAIN BIRD ESP8LXME-LXMM-LXMMPED WITH (02) ESPLXMSM4 32 STATION CAPABLE COMMERCIAL CONTROLLER.	1	
0	MOUNTED ON A POWDER-COATED METAL PEDESTAL. FLOW SENSING.		
	RAIN BIRD RSD-BEX	1	
(RS)	RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.		
MS>	RAIN BIRD SMRT-Y SOIL MOISTURE SENSOR KIT. 24VAC @ 50/60 HZ. OPERATING	1	
	TEMPERATURE: -4 DEGREES F TO 158 DEGREES F. SURVIVAL TEMPERATURE: -40 DEGREES F TO 185 DEGREES F. UL, CUL, C-TICK CERTIFICATIONS.		
P	WATERTRONICS WATERMAX 5000 - 20 HP EFFICIENT COMPACT PUMPING SYSTEM, 20 HORSEPOWER.	1	
РОС '노'	POINT OF CONNECTION 3"	1	$\left \right $
Ч		2,551 L.F.	
			1
	IRRIGATION MAINLINE: PVC SCHEDULE 40 PVC SCHEDULE 40 IRRIGATION PIPE.	2,001 L.1.	



SCALE: 1"=20'-00"

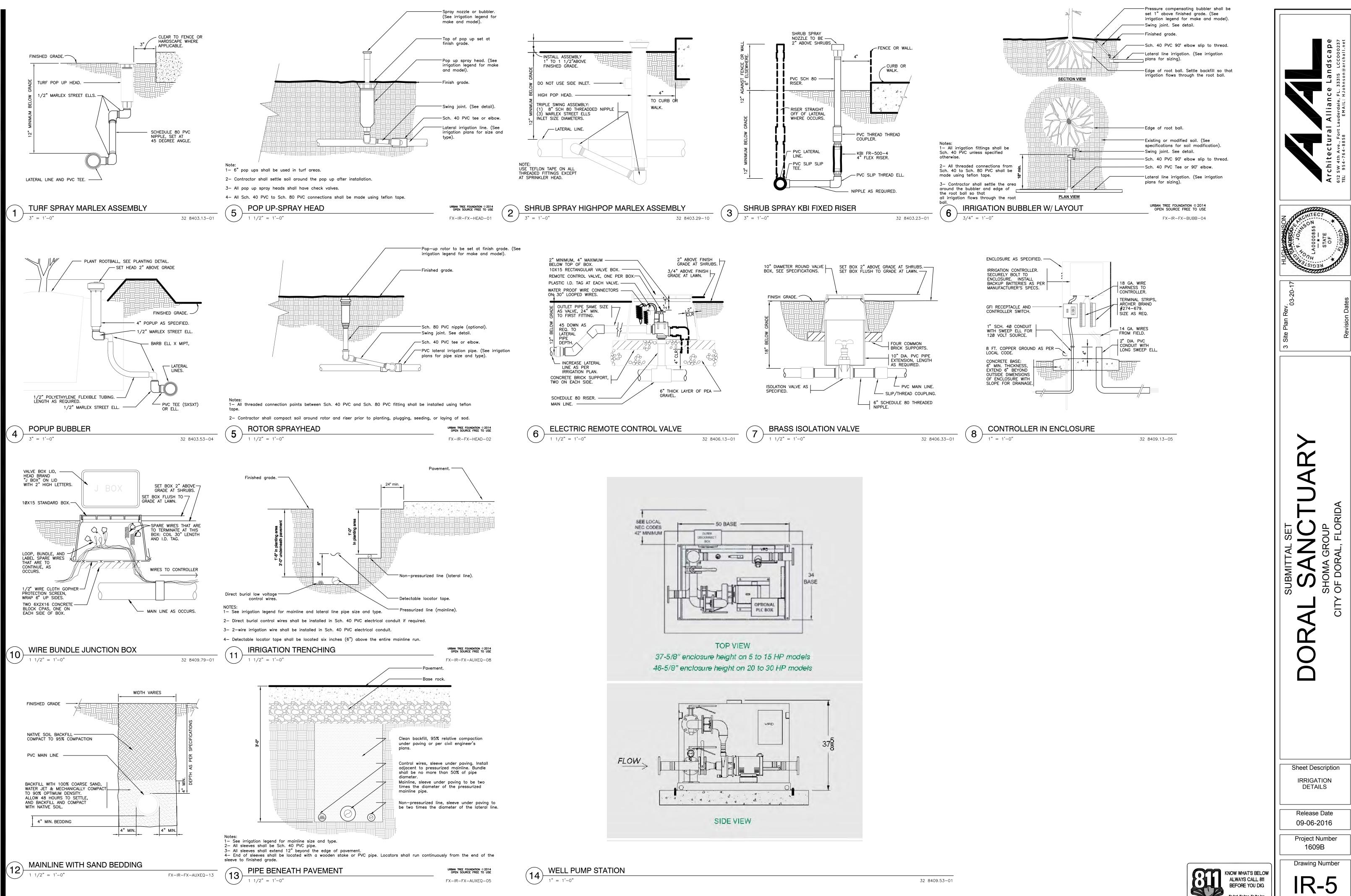


40'

CITY



0'



A1 It's fast, it's free, it's the law. Call <u>811</u> two business days before digging

Sheet 5 of 6

WIRING

Irrigation control wire shall be thermoplastic solid copper, single conductor, low voltage irrigation controller wire; suitable for direct burial and continuous operation at rated voltages.

Tape and bundle control wires every 10' and run alongside the mainline. At all turns in direction make a 2' coil of wire. At all valve boxes coil wire around a 3/4" piece of PVC pipe to make a coil using 30 linear inches of wire. Make electrical connections with 3MDBY/R connectors.

Number all wires, using an electrical book of numbers, according to the plans. Number wires in all valve boxes, junction boxes and at the controller.

Wire sized, numbered and colored as follows:

#14 white for common

#14 spare black common #14 individual color coded hot wire

#14 spare yellow hot wire

Spare wires

Leaving each controler, run four spare wires in both directions (eight spare wires total). Install as 1 common spare (2 total) and 3 hot wires (6 total). Loop these wires into each RCV along their path and terminate in the last valve box controlled by the wires respective controller. The loop into each valve box shall extend up into the valve box a minimum of 8" and be readily accessible by opening the valve box lid. These wires must be all numbered and color coded as required in these plans.

Controller and Pump station Control Panel grounding - Contractor to utilize 4"X8'X5/8" copper grounding plates, 5/8"X10' copper clad grounding rods, 'One Strike' CAD wells at all connection points, #6 insulated copper wire, and earth contact material. Install these and other required components as outlined in the detail. Contractor to verify that the earth to ground resistance does not exceed 10 ohms. Contractor shall provide a written certification, on a licensed electrical contractors letter head, showing the date of the test, controller/pump location, and test results. Each controller/pump shall be so grounded and tested. Each component must have its own separate grounding grid, unless they are sitting side by side, in which case up to two controllers can share a common grounding grid.

LAYOUT

Lay out irrigation system mainlines and lateral lines. Make the necessary adjustments as required to take into account all site obstructions and limitations prior to excavating trenches.

Stake all sprinkler head locations. Adjust location and make the necessary modifications to nozzle types, etc. required to ensure 100% head to head coverage. Refer to the Edge of Pavement Detail on the Irrigation Detail Sheet.

Spray heads shall be installed 4" from sidewalks or curbed roadways and 12" from uncurbed roadways and building foundations. Rotors shall be installed 4" from sidewalks or curbed roadways, 12" from building foundations, and 36" from uncurbed roadways.

Shrub heads shall be installed on 3/4" Sch 40 PVC risers. The risers shall be set at a minimum of 18" off sidewalks, roadway curbing, building foundations, and/or any other hardscaped areas. Shrub heads shall be installed to a standard height of 4" below maintained height of plants and shall be installed a minimum of 6" within planted masses to be less visible and offer protection. Paint all shrub risers with flat black or forest green paint, unless irrigation system will utilize reuse water; in this case the risers shall be purple PVC and shall not be painted.

Locate valves prior to excavation. Ensure that their location provides for easy access and that there is no interference with physical structures, plants, trees, poles, etc. Valve boxes must be placed a minimum of 12" and a maximum of 15" from the edge of pavement, curbs, etc. and the top of the box must be 2" above finish grade. No valve boxes shall be installed in turf areas without approval by the irrigation designer - only in shrub beds. Never install in sport field areas.

VALVES

Sequence all valves so that the farthest valve from the P.O.C. operates first and the closest to the P.O.C. operates last. The closest valve to the P.O.C. should be the last valve in the programmed sequence.

Adjust the flow control on each RCV to ensure shut off in 10 seconds after deactivation by the irrigation controller.

Using an electric branding iron, brand the valve I.D. letter/number on the lid of each value box. This brand must be $2^{*}-3^{*}$ tall and easily legible.

EQUIPMENT

All pop-up heads and shrub risers shall be pressure compensating. All pop-up heads shall be mounted on flex-type swing joints. All rotors shall be installed with PVC triple swing joints unless otherwise detailed.

All sprinkler equipment, not otherwise detailed or specified on these plans, shall be installed as per manufacturer's recommendations and specifications, and according to local and state laws.

TRENCHING

Excavate straight and vertical trenches with smooth, flat or sloping bottoms. Trench width and depth should be sufficient to allow for the proper vertical and horizontal separation between piping as shown in the pipe installation detail on the detail sheet.

Protect existing landscaped areas. Remove and replant any damaged plant material upon job completion. The replacement material shall be of the same genus and species, and of the same size as the material it is replacing. The final determination as to what needs to be replaced and the acceptability of the replacement material shall be solely up to the owner or owner's representative.

INSTALLATION

Solvent Weld Pipe: Cut all pipe square and deburr. Clean pipe and fittings of foreign material; then apply a small amount of primer while ensuring that any excess is wiped off immediately. Primer should not puddle or drip from pipe or fittings. Next apply a thin coat of PVC cement; first apply a thin layer to the pipe, next a thin layer inside the fitting, and finally another very thin layer on the pipe. Insert the pipe into the fitting. Insure that the pipe is inserted to the bottom of the fitting, then turn the pipe a 1/4 turn and hold for 10 seconds. Make sure that the pipe doesn't recede from the fitting. If the pipe isn't at the bottom of the fitting upon completion, the glue joint is unacceptable and must be discarded.

Pipes must cure a minimum of 30 minutes prior to handling and placing into trenches. A longer curing time may be required; refer to the manufacturer's specifications. The pipe must cure a minimum of 24 hours prior to filling with water.

BACK FILL

The Back fill 6" below. 6" above, and around all piping shall be of clean sand and anything beyond that in the trench can be of native material but nothing larger than 2" in diameter. All piping and excavations shall be backfilled and compacted to a density of 95% modified Proctor, or greater.

Mcin line pipe depth measured to the top of pipe shall be: 24" minimum for 3/4"-21/2" PVC with a 30" minimum at vehicular crossings; 30" minimum for 3" & 4" PVC with a 36" minimum at vehicular crossings.

Lateral line depths measured to top of pipe shall be: 18" minimum for 3/4"-3" PVC with a 30" minimum at vehicular crossings; 24" minimum for 4" PVC and above with a 30" minimum at vehicular crossings.

Contractor shall backfill all piping, both mainline and laterals, prior to performing any pressure tests. The pipe shall be backfilled with the exception of 2' on each side of every joint (bell fittings, 90's, tees, 45's, etc.). These joints shall not be backfilled until all piping has satisfactorily passed its appropriate pressure test as outlined below.

FLUSHING

Prior to the placement of valves, flush all mainlines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Prior to the placement of heads, flush all lateral lines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

walls, walks and paving.

TESTING

Soil: At a minimum of 2 locations on the site, soil tests for infiltration and texture shall be performed according to the USDA Soil Quality Test Kit Guide. The tests shall be documented in a USDA Soil Worksheet. (All of the above is available at http://soils.usda.gov/sqi/assessment/ test_kit.html) The completed worksheet shall be submitted to the owners representative for review/approval. Do not proceed without written direction from the owner/owner's representative.

of testing.

Mcinline: Remove all remote control valves and cap using a threaded cap on SCH 80 nipple. Hose bibs and gate valves shall not be tested against during a pressure test unless authorized by written permission from the owner. Fill mainline with water and pressurize the system to 125 PSI. Monitor the system pressure at two gauge locations; the gauge locations must be at opposite ends of the mainline. With the same respective pressures, monitor the gauges for two hours. There can be no loss in pressure at either aguae for solvent-welded pipe.

If these parameters are exceeded, locate the problem: repair it; wait 24 hours and retry the test. This procedure must be followed until the mainline passes the test.

Lateral Lines: The lateral lines must be fully filled to operational pressure and visually checked for leaks. Any leaks detected must be repaired.

Operational Testing -Once the mainline and lateral lines have passed their respective tests, and the system is completely operational, a coverage test and demonstration of the system is required. The irrigation contractor must demonstrate to the owner, or his/her representative, that proper coverage is obtained and the system works automatically from the controller. This demonstration requires each zone to be turned on, in the proper sequence as shown on the plans, from the controller. Each zone will be inspected for proper coverage and function. The determination of proper coverage and function is at the sole discretion of the owner or owner's representative.

Upon completion of the operational test, run each zone until water begins to pudde or run off. This will allow you to determine the number of irrigation start times necessary to meet the weekly evapotrar spiration requirements of the planting material in each zone. In fine sandy soils, it is possible no puddling will occur. If this is experienced, then theoretical calculations for run times will be required for controller programming.

SUBMITTALS

Pre-Construction: Deliver five (5) copies of submittals to Owner's Representative within ten (10) working days from date of Notice to Proceed. Furnish information in 3-ring binder with table of contents and index sheet. Index sections for different components and label with specification section number and name of component. Furnish submittals for components on material list. Indicate which items are being supplied on catalog cut sheets when multiple items are shown on one sheet. Incomplete submittals will be returned without review. In lieu of hardcopies, an electronic package in PDF format can be submitted.

After project completion:

compact disk (CD).

Use screens in heads and adjust heads for proper coverage avoiding excess water on

Schedule testing with Owner's Representative a minimum of three (3) days in advance

As a condition of final acceptance, the irrigation contractor shall provide the owner

1. Irrigations As-builts - shall be provided utilizing a sub-foot Global Navigation Satellite System (GNSS) to accurately locate all mainlines, sleeves, remote control valves, gate valves, independent wire runs, wire splice boxes, controllers, high voltage supply sources/conduit path, control mechanisms, sensors, wells and water source connections in Florida East State Plane, NAD 83, and CORS 96 format. The data collected shall be in POINT format and include an ID for each data point with Manufacturer, Type, Size, and Depth. All mainline and independent runs of wire shall be located every 30' for straight runs and at every change of direction. Sleeves will be located at end points and every 20' of length. All underground items shall include depth in inch format. These POINTS once collected shall be imported into an AutoCAD DWG geo-referenced base file to be labeled accordingly. The completed AS-Built shall be a Geo-Referenced DWF file and delivered to the owner on a

- 2. Controller charts Upon completion of "as-built" prepare controller charts; one per controller. Indicate on each chart the area controlled by a remote control valve (using a different color for each zone). This chart shall be reduced to a size that will fit inside of the controller door. The reduction shall be hermetically sealed inside two 2ml pieces of clear plastic.
- 3. Grounding Certification Provide ground certification results for each controller and pump panel grounding grid installed. This must be on a licensed electrician letter head indicating location tested (using IR plan symbols), date, time, test method, and testing results.

INSPECTIONS AND COORDINATION MEETINGS REQUIRED - Contractor is required to schedule, perform, and attend the following, and demonstrate to the owner and/or owners representative to their satisfaction, as follows:

1. Pre-construction meeting - Designer and contractor to review entire install process and schedule with owner/general contractor.

- 2. Mainline installation inspection(s) all mainline must be inspected for proper pipe, fittings, depth of coverage, backfill. and installation method
- 3. Mainline pressure test All mainline shall be pressure tested according to this design's requirements 4. Flow Meter calibration - All flow meters must be calibrated, provide certified
- calibration report for all flow meters. 5. USDA Soil Quality Tests for infiltration/texture
- 6. Coverage and operational test
- 7. Final inspection
- 8. Punch list inspection

FINAL ACCEPTANCE

Final acceptance of the irrigation system will be given after the following documents and conditions have been completed and approved. Final payment will not be released until these conditions are satisfied.

- 1. All above inspections are completed, documented, and approved by owner. 2. Completion and acceptance of 'as-built' drawings.
- 3. Acceptance of required controller charts and placement inside of
- controllers. 4. All other submittals have be made to the satisfaction of the owner.

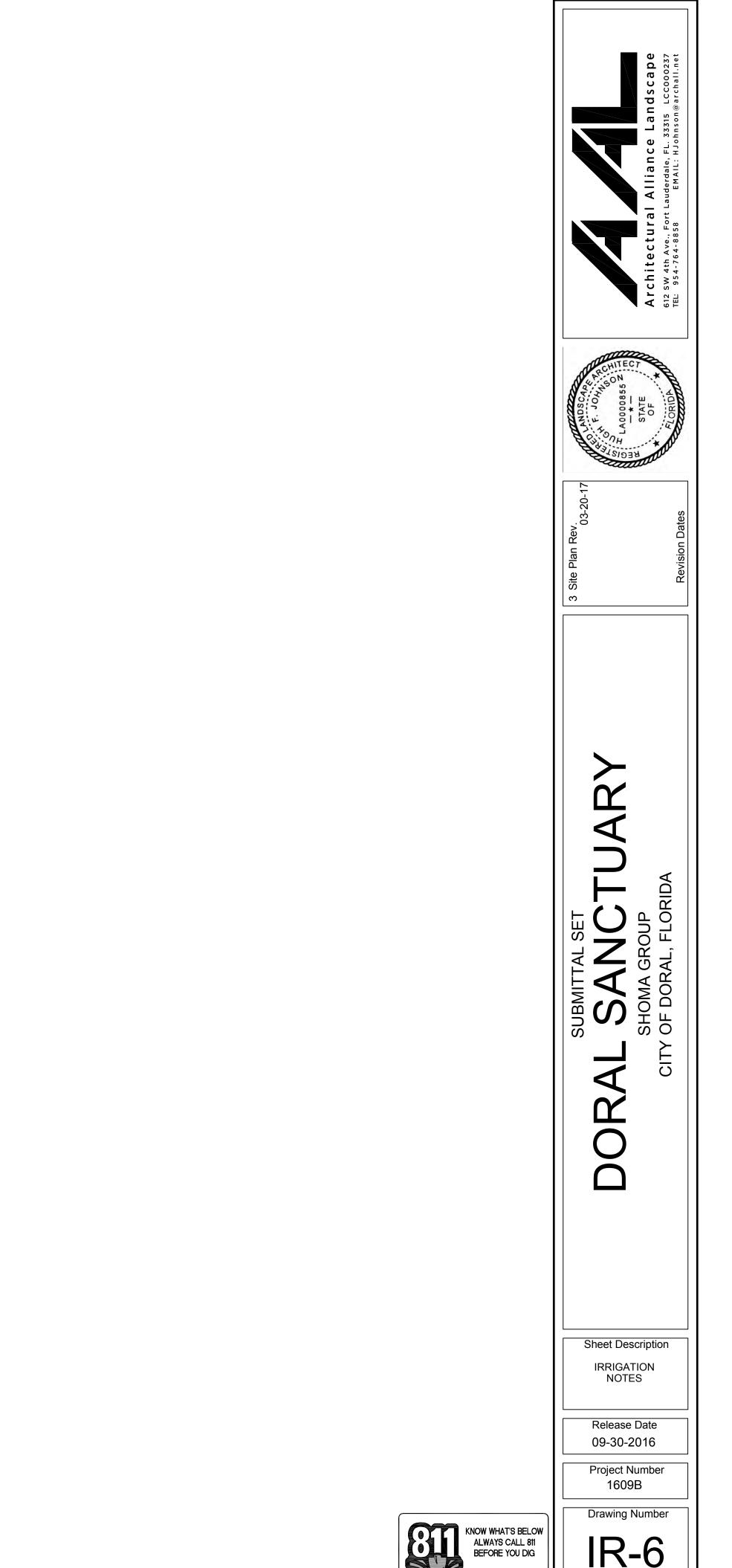
GUARANTEE: The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.

MINIMUM RECOMMENDED IRRIGATION MAINTENANCE PROCEDURES

- 1. Every irrigation zone should be checked monthly and written reports generated describing the date(s) each zone was inspected, problems identified, date problems repaired, and a list of materials used in the repair. At minimum, these inspections should include the following tasks:
- Turn on each zone from the controller to verify automatic operation. Α.
- B. Check schedules to ensure they are appropriate for the season, plant and soil type, and irrigation method. Consult an I.A. certified auditor for methods used in determining proper irrigation scheduling requirements.
- C. Check remote control valve to ensure proper operation.
- D. Check setting on pressure regulator to verify proper setting, if present.
- E. Check flow control and adjust as needed; ensure valve closure within 10-15 seconds after deactivation by controller.
- F. Check for leaks mainline, lateral lines, valves, heads, etc.
- G. Check all heads as follows:
 - 1. Proper set height (top of sprinkler is 1" below mow height) 2. Verify head pop-up height - 6" in turf, 12" in ground cover, and
 - pop-up on riser in shrub beds. 3. Check wiper secl for leaks - if leaking, clean head and re-inspect.
 - 4. If still leaking, replace head with the appropriate head with pressure regulator and built—in check valve.
 - 5. All nozzles checked for proper pattern, clogging, leaks, correct make & model, etc. - replace as needed
 - 6. Check for proper alignment perfectly vertical; coverage area is correct; minimize over spray onto hardscapes.
 - 7. Riser height raised/lowered to accommodate plant growth patterns
 - and ensure proper coverage. 8. Verify the pop-up riser retracts after operation. If not. repair/replace as needed.
- H. Check controller/C.C.U. grounds for resistance (10 ohms or less) once per year. Submit written reports.
- I. Check rain shut-off device monthly to ensure it functions properly.
- J. Inspect all filters monthly and clean/repair/replace as needed.
- K. Inspect backflow devices by utilizing a properly licensed backflow inspector. This should be done annually, at minimum.
- L. Inspect all valve boxes to ensure they are in good condition, lids are in place and locked.
- M. Check pump stations for proper operation, pressures, filtration, settings, etc. refer to pump station operations manual.
- N. Check and clean intake screens on all suction lines guarterly, at minimum. Clean and/or repair, as needed.
- 0. Winterize, if applicable, as weather in your area dictates. Follow manufacturer recommendations and blow out all lines and equipment using compressed air. Perform seasonal startup of system as per manufacturer recommendations.
- P. Conduct additional inspections, maintenance tasks, etc. that are particular for your site.

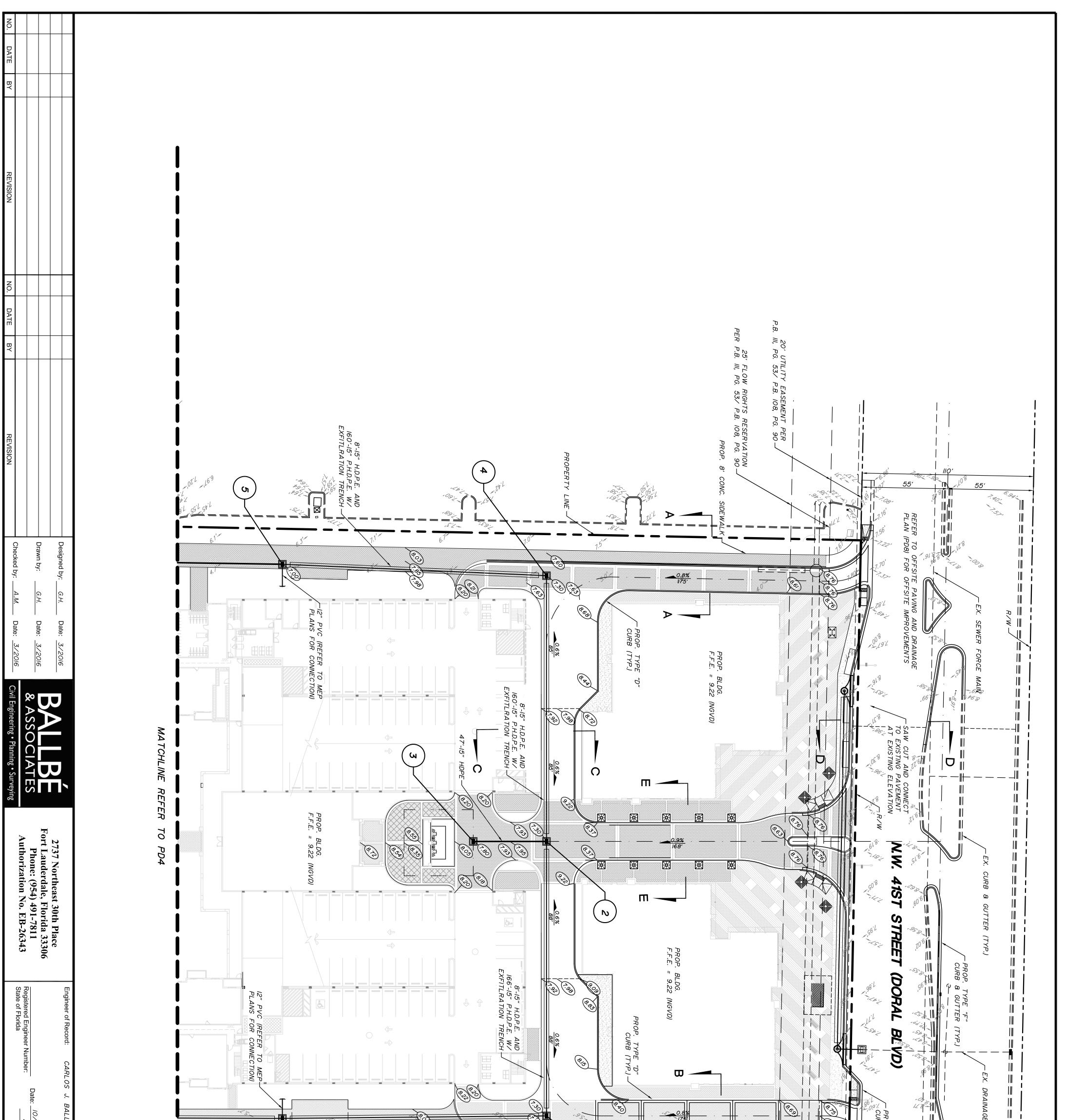
Soil Moisture Sensor

- 1. Place all soil moisture sensor wiring in 1" SCH 40 PVC conduit
- 2. Soil moisture sensor should be placed in the middle of a spray or drip area as per manufacturer's recommendations.
- 3. Controller shall be set to the Florida Automated Weather Network's urban scheduler settings using the SMS as a moisture cut off device (like a rain switch) per manufacturer directions.





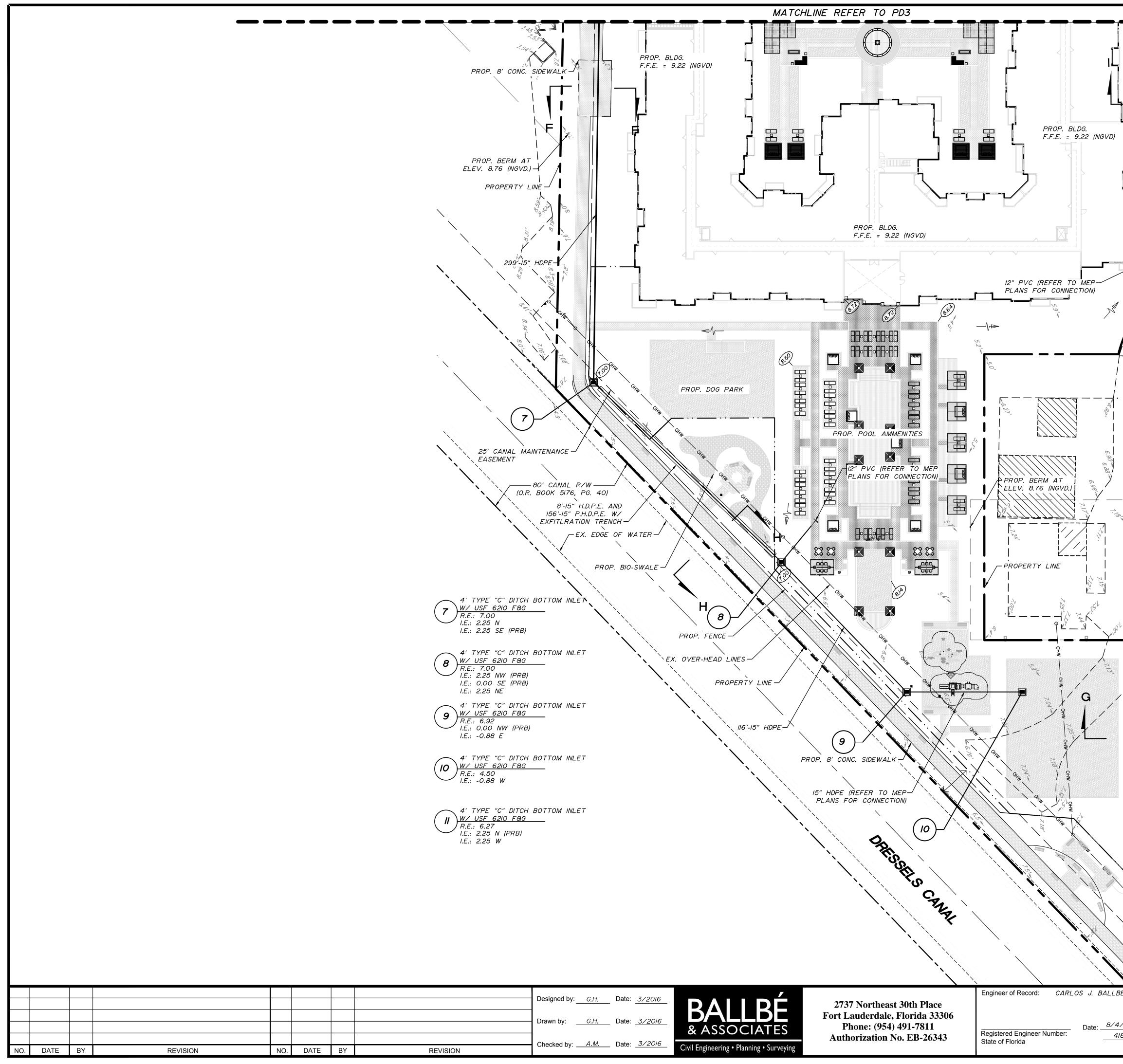
Sheet 6 of 6







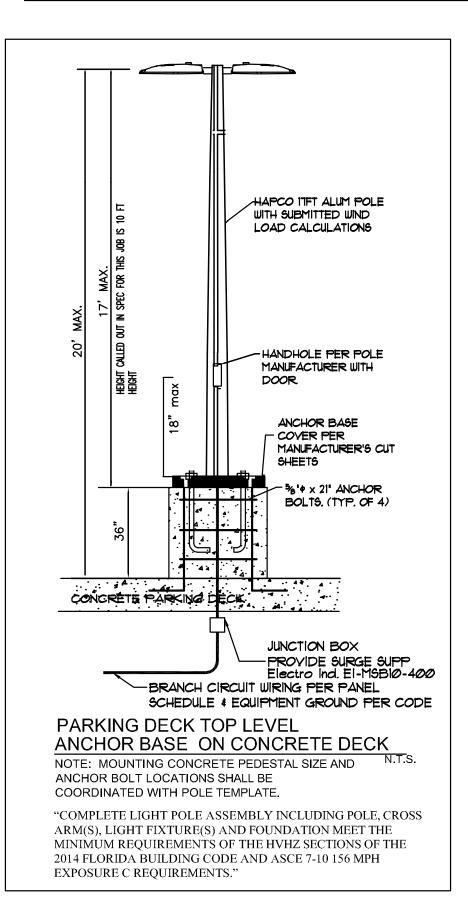
41811 SX		ワナ	ELEV. BERM AT I SIL I	B'-15" H.D.P.E. AND 159'-15" P.H.D.P.E. MV EXFITLRATION TRENCH	SUT PROPERTY LINE		
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Sheet Number: PD3	Project Number: 201412	4L GEODETIC					Feet $I'' = 30'$



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8'-15" H.D.P.E. AND 212'-15" P.H.D.P.E. W/ EXFITLRATION TRENCH PROPERTY LINE	Feet 1" = 30'
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PROPERTY LINE	
NOTE: UNLESS OTHEWISE STATED ALL ELEVATIONS ARE BASED VERTICAL DATUM OF 1929 (NAVD).	ON THE NATIONAL GEODETIC
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PAVING AND DRAINAGE SYSTEM PLAN	Project Number: 201412
SANCTUARY AT DORAL SHOMA GROUP	Sheet Number: <i>PD4</i>

	VAIR	ΕS	SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	GT	4	US ARCHITECTURAL RZR-V-SQ-W- 80PLED-NW-1050 MOUNTED ON RTA POLE TO 20' AFF	TOP OF PARAPET OR COL	WHITE LED ARRAY, 40K JM POLES TO BE MOUNTED ON UMN BASE PEDESTALS WITH. M. R 20'-0". TYPE GT - HAPCO # RTA		Absolute	0.85	532

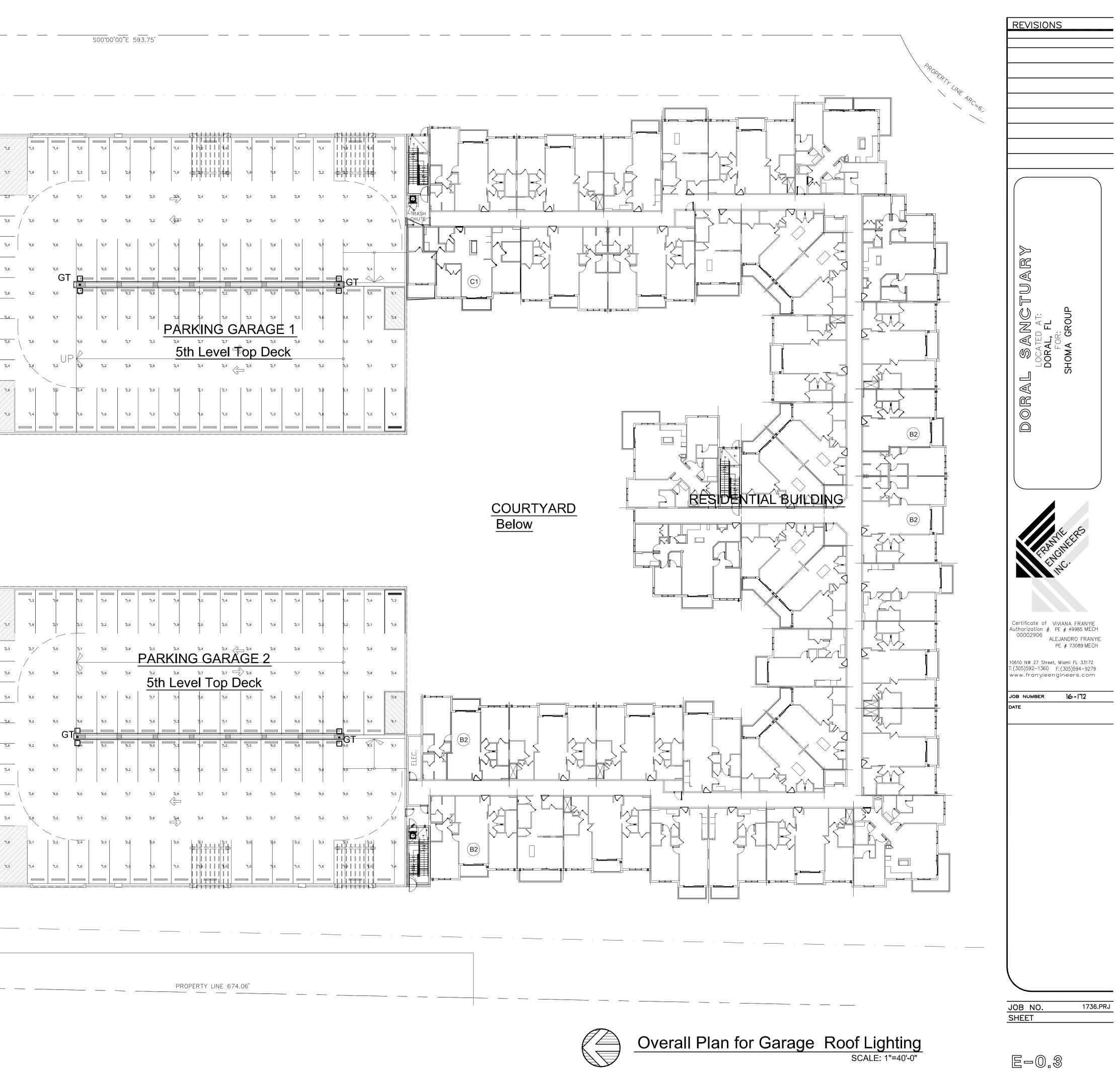
STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min
GARAGE 1 - 5TH FL OPEN PARKING (Z=0')	+	2.9 fc	4.9 fc	1.1 fc	4.5:1
GARAGE 2 - 5TH FL OPEN PARKING (Z=0')(Copy)	+	2.9 fc	4.9 fc	1.2 fc	4.1:1

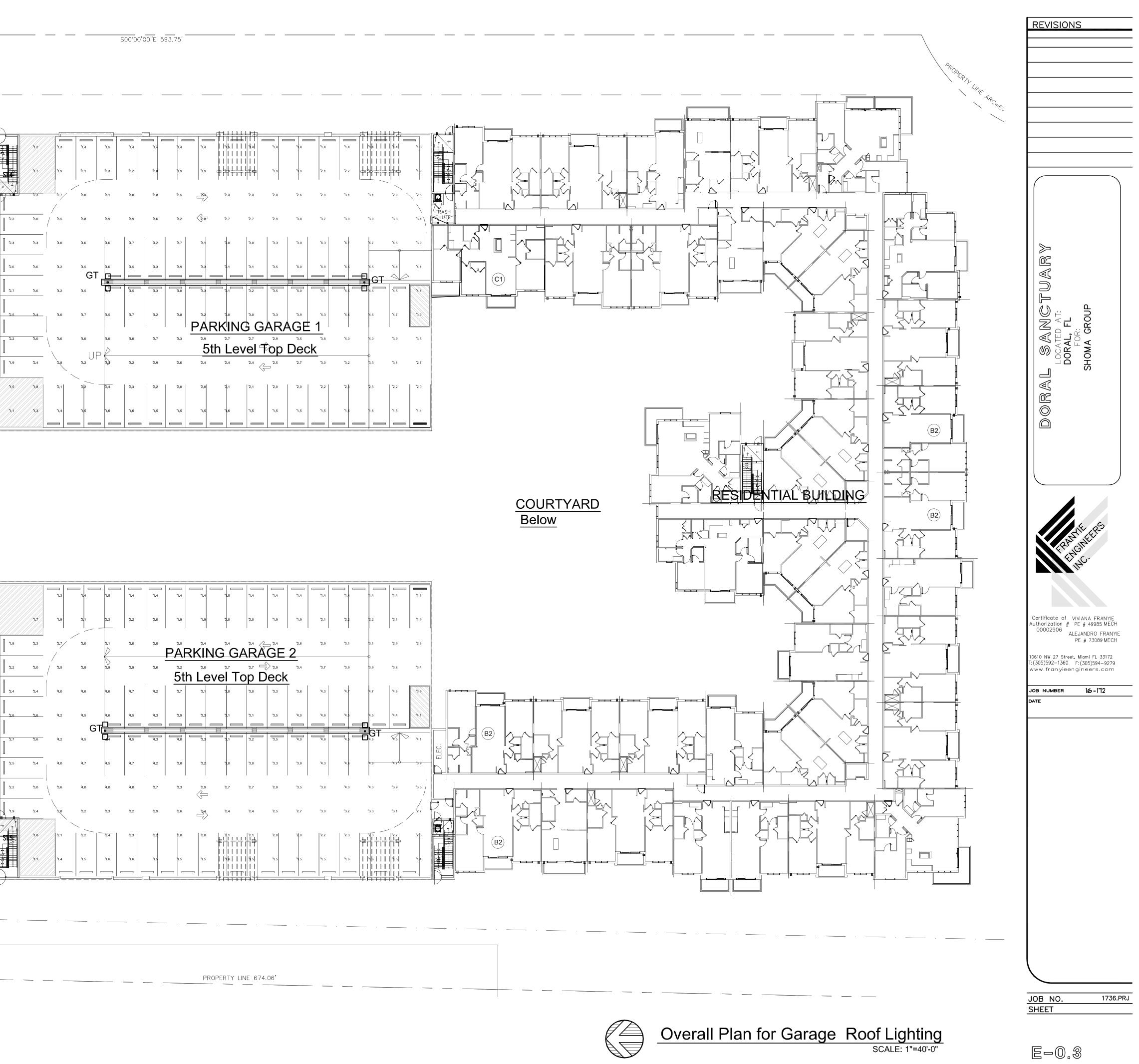


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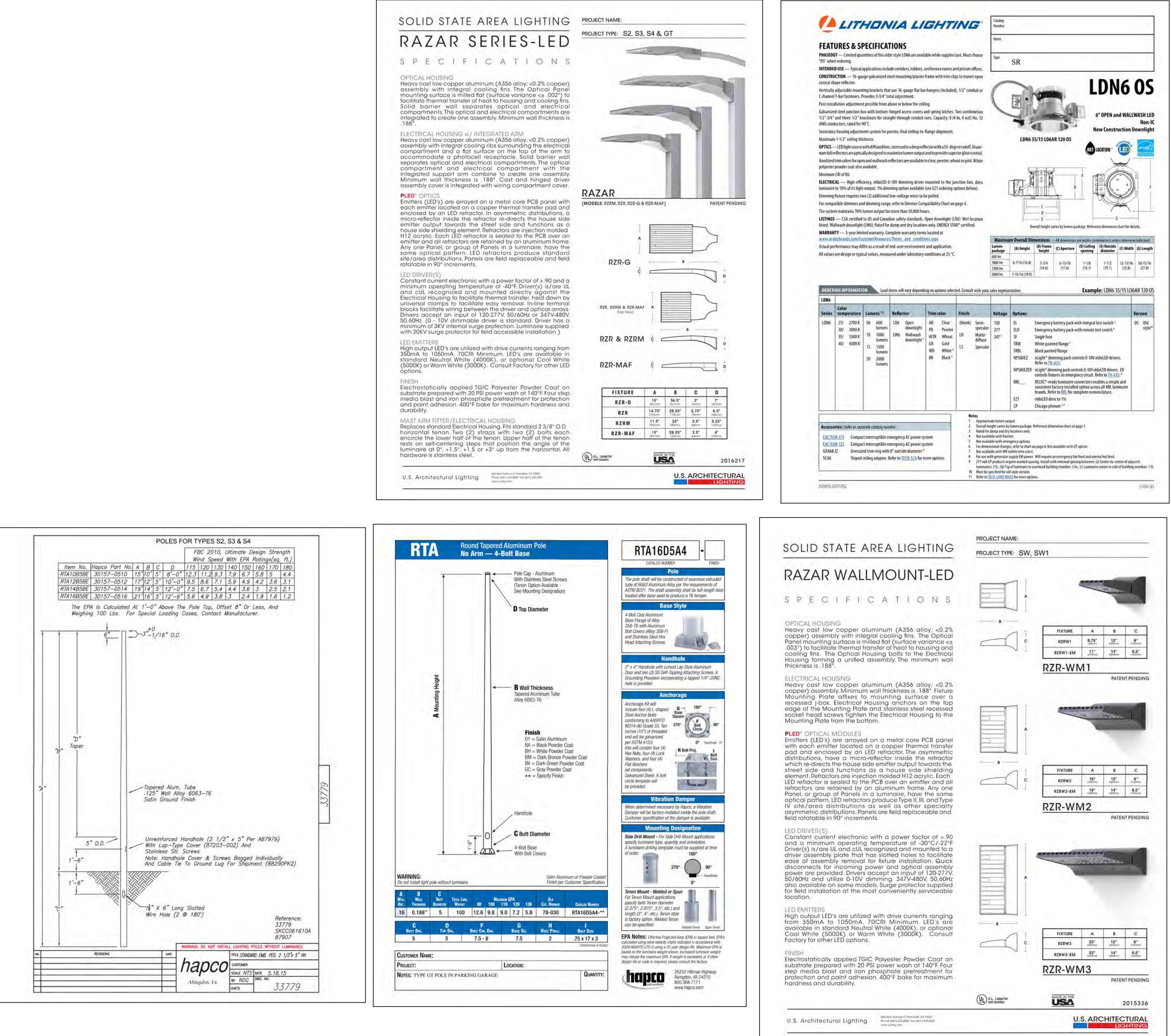
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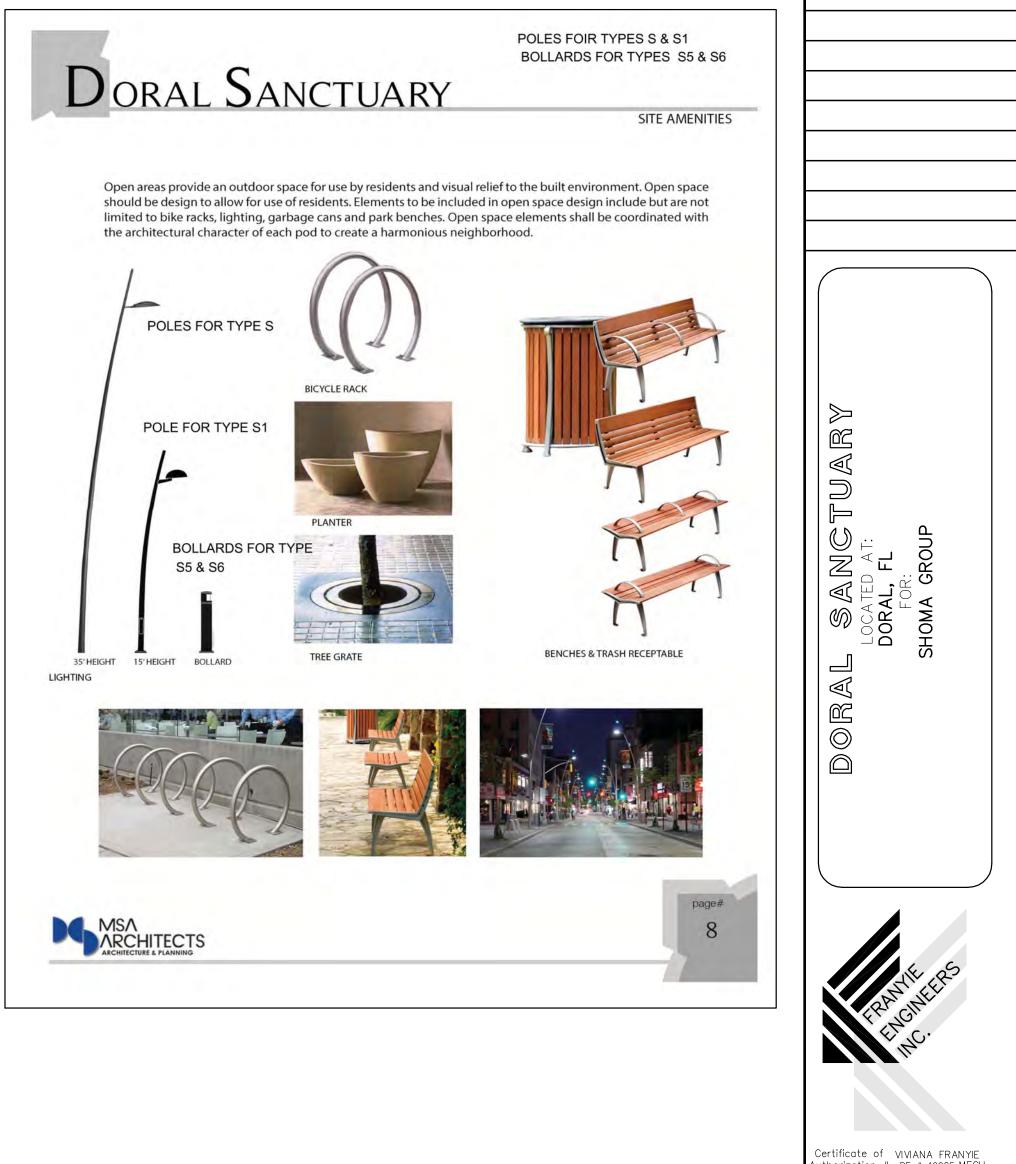






SHEETS





ithorization # PE # 49985 MECH 00002906 ALEJANDRO FRANYIE PE # 73089 MECH

16-172

0610 NW 27 Street, Miami FL 33172 (305)592-1360 F: (305)594-9279 www.franyieengineers.com

JOB NUMBER

REVISIONS

SHEET

E-0.4

Electrical Light Fixture Cut sheets

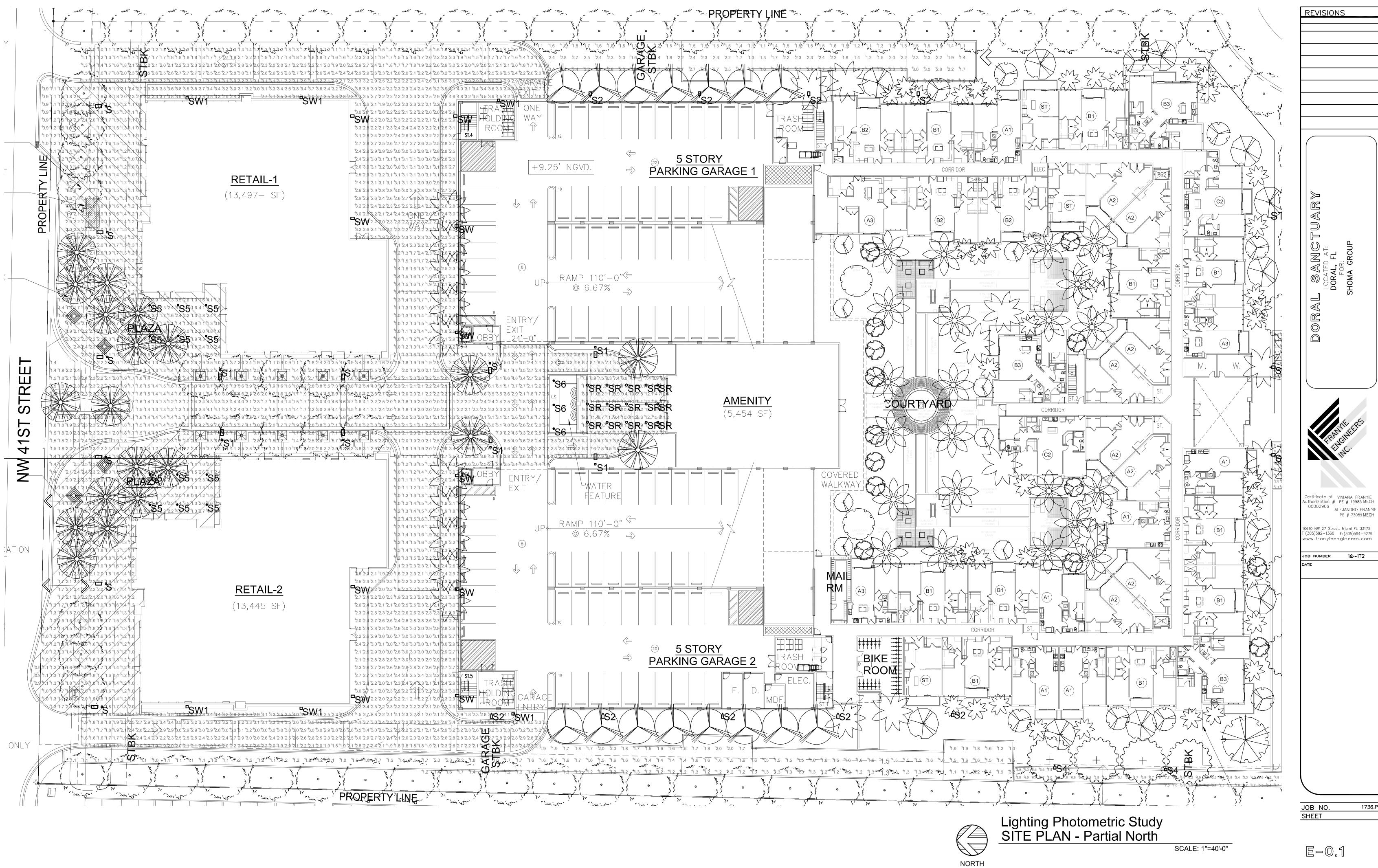
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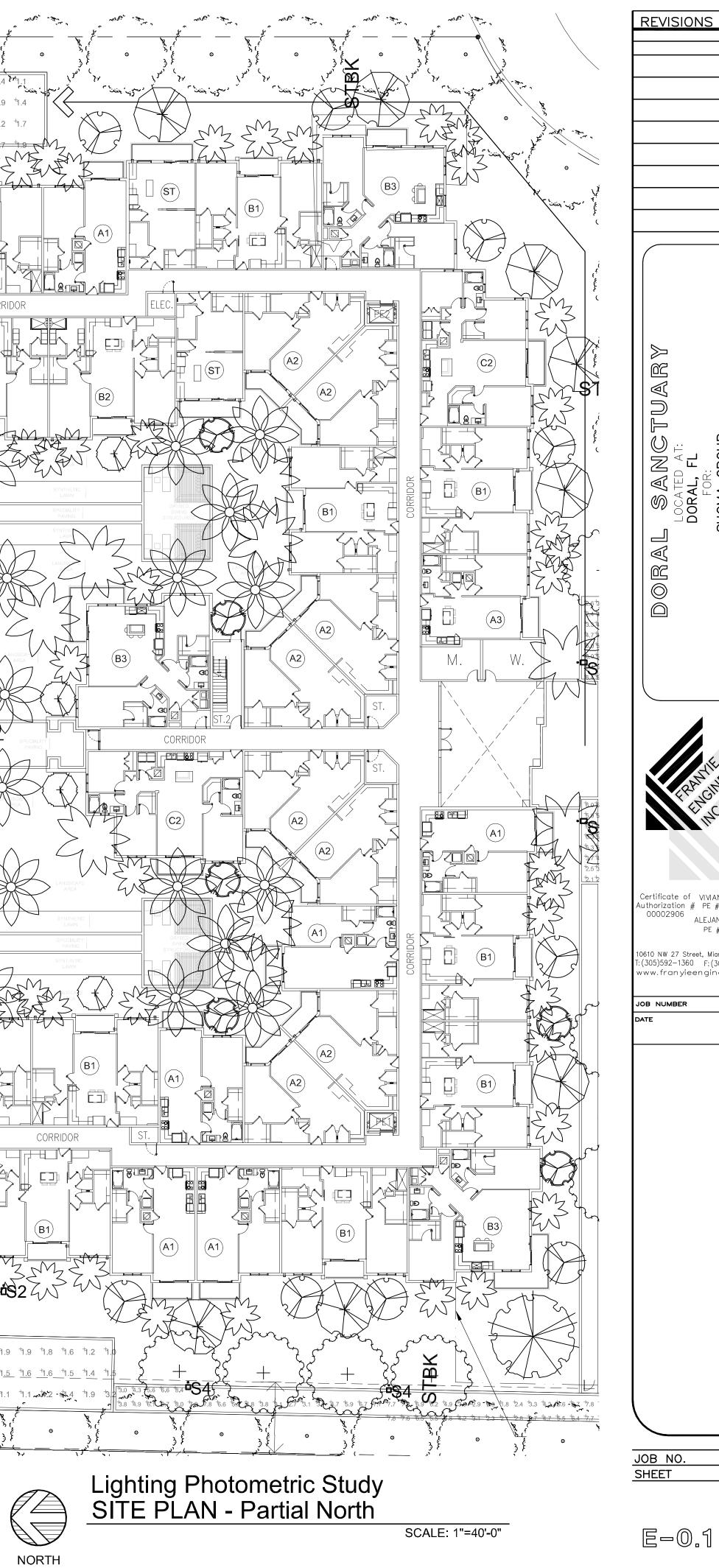


SCALE: N.T.S.

JOB NO.

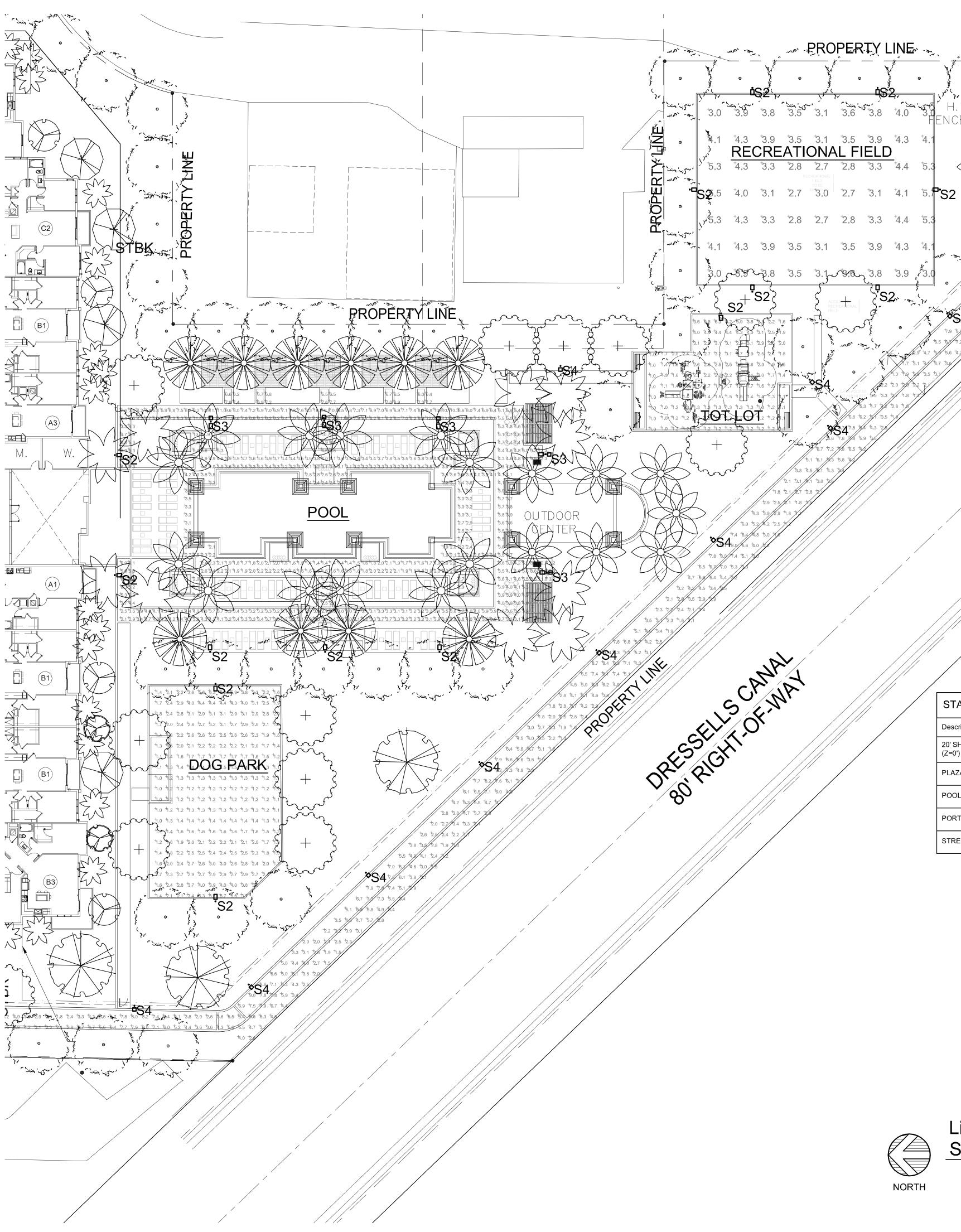
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Symbol	Label	Catalog Number	Description	Lamp	Lumens	LLF	Watt
	S	SHREDER LIGHTING HEM-48- XP-G2(R4)-5098- 1x150W-500mA- 120-277V MOUNTED 30' AFG ON CURVED ALUMINUM POLE	Approved Roadway Luminaire Shreder Lighting - HESTIA LED	LED. LUMINAIRE OUTPUT: 6987 Lms.	Absolute	1.00	75.5
	S1	SHREDER LIGHTING HEM-48- XP-G2(R5)-5098- 1x150W-350mA- 120-277V MOUNTED 13' AFG ON CURVED ALUMINUM POLE	Approved Roadway Luminaire Shreder Lighting - HESTIA LED	48 LEDs with plastic optics under each LUMINAIRE OUTPUT: 5651 Lms.	Absolute	1.00	53.3
	S2	US ARCHITECTURAL RZR-IV-FT-40PLED- -525mA-NW MOUNTED 12' AFG ON DIRECT BURIAL RTA POLE	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 2 CIRCUIT BOARDS EACH WITH 20 LEDS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI- SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	FORTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE- -UP POSITION.	Absolute	0.85	65.6
	S3	US ARCHITECTURAL RZR-IV-FT-40PLED- -525mA-NW MOUNTED 12' AFG ON DIRECT BURIAL RTA POLE	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 2 CIRCUIT BOARDS EACH WITH 20 LEDS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI- SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	FORTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE- -UP POSITION.	Absolute	[]	131
	S4	US ARCHITECTURAL RZR-II-40PLED- 525mA-NW MOUNTED 10' AFG ON DIRECT BURIAL RTA POLE	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 2 CIRCUIT BOARDS EACH WITH 20 LEDS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI- SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	FORTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE- -UP POSITION. PRORATED LUMENS BASED ON ITL83056 & TYPE IV SCALE FACTOR	Absolute	0.85	65.6
\bigcirc	SR	LITHONIA LDN6 35/10 LO6 AR RECESSED MOUNTED UNDER CANOPY +9' AFG	1000LM 80CRI 3500K 6" LED COMMERCIAL DOWNLIGHT	WHITE LED ARRTAY, 35K	Absolute	0.85	17.9
	SW	US ARCHITECTURAL RZR-WM2-IV-FT- 40PLED-525mA- NW WALL MOUNTED 18' AFG ON EXTERIOR WALLS	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 2 CIRCUIT BOARDS EACH WITH 20 LEDS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI- SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	FORTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE- -UP POSITION.	6503	0.85	65.6
	SW1	US ARCHITECTURAL RZR-WM2-III- 40PLED-525mA- NW WALL MOUNTED 15' AFG	CAST BLACK PAINTED FINNED METAL HOUSING, CAST BLACK PAINTED METAL DRIVER COVER, 2 CIRCUIT BOARDS EACH WITH 20 LEDS, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, 1 FORMED SEMI- SPECULAR METAL OPTIC MOUNTING PLATE BELOW EACH CIRCUIT BOARD.	FORTY WHITE LIGHT EMITTING DIODES (LEDS), VERTICAL BASE- -UP POSITION. PRORATED LUMENS BASED ON ITL83057 & TYPE IV SCALE FACTOR	Absolute	0.85	65.4
	S5	HESS CN500/360, CN900/360, 4000K high output BOLLARD	Cento 360 Illuminating Bollard	Job 2604740	Absolute	0.85	24
	S6	HESS CN900/500/280 LED-4000K High Output BOLLARD	Cento 900 / 500 / 280 LED Bollard	Job 2583261 Job 2583261 (Prorated from 3000K standard-output	Absolute	0.85	28



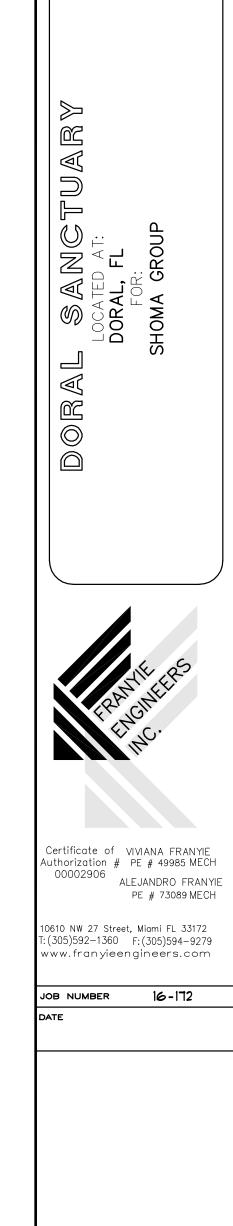
STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
20' SHARED PATHWAY (Z=0')	+	4.5 fc	10.4 fc	1.0 fc	10.4:1	N/A
PLAZA/SIDEWALK (Z=0')	+	2.3 fc	8.0 fc	0.9 fc	8.9:1	N/A
POOL DECK NP (Z=0')	+	4.7 fc	14.2 fc	1.4 fc	10.1:1	N/A
PORTE COCHERE (Z=0')	+	10.3 fc	17.0 fc	5.7 fc	3.0:1	N/A
STREETS (Z=0')		2.5 fc	N/A	N/A	9.9.1	28.1

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Description	Symbol	Avg	Max	Min	Max/Min	A∨g/Min
20' SHARED PATHWAY (Z=0')	+	4.5 fc	10.4 fc	1.0 fc	10.4:1	N/A
PLAZA/SIDEWALK (Z=0')	+	2.3 fc	8.0 fc	0.9 fc	8.9:1	N/A
POOL DECK NP (Z=0')	+	4.7 fc	14.2 fc	1.4 fc	10.1:1	N/A
PORTE COCHERE (Z=0')	+	10.3 fc	17.0 fc	5.7 fc	3.0:1	N/A
STREETS (Z=0')	+	2.5 fc	N/A	N/A	9.9:1	2.8:1

ROPHAT



REVISIONS

1736.PRJ

E-0.2



Lighting Photometric Study SITE PLAN - Partial South

SCALE: 1"=40'-0"

OF

Doral Sanctuary

CITY OF DORAL



PATTERN BOOK APRIL 29, 2016 REV MARCH 23, 2017



OWNER SHOMA GROUP 3470 NW 82ND AVE Suite 988 Doral, FL 33122 Phone: 786.8658

M	MSA ARCHITECTS ARCHITECTURE & PLANNING

ARCHITECT MSA ARCHITECTS INC. 7695 SW 104th Street Suite 100 Miami, FL 33156 Phone: 305.273.9911



LANDSCAPE ARCHITECT ARCHITECTURAL ALLIANCE 612 SW 4TH AVE Fort Lauderdale, FL 33315 Phone: 954.764.8858





DORAL SANCTUARY

TABLE OF CONTENTS

4

4A

SECTION 1

GENERAL PROJECT INFORMATION

STATEMENT OF DESIGN	1
ARCHITECTURAL EXCELLENCE	1A-1B
DORAL BLVD. COMPLIANCE	1C
AERIALS & PHOTOGRAPHS OF EXISTING BUILDINGS	2
ZONING LOCATION MAP	3A
FUTURE LAND USE ZONING MAP	3B

SECTION 2

SITE ANALYSIS SITE REGULATORY GUIDELINES CONCEPTUAL SITE PLAN USES DIAGRAM

USES DIAGRAM	4B
CONTEXTUAL MASSING STUDY	5
PEDESTRIAN AND VEHICULAR CIRCULATION PLAN	6
MEMO FROM MIAMI DADE COUNTY DEPARTMENT OF PUBLIC WORKS	6A
TRAFFIC CIRCULATION PLAN	6B
STREET SECTIONS GUIDELINES	7A-7B
SITE AMENITIES	8
BUS SHELTER	8A

SECTION 3

RETAIL ARCHITECTURAL DESIGN GUIDELINES	
	9
RETAIL/COMMERCIAL DESIGN GUIDELINES	9A
PLAN	9B
ELEVATIONS	9C
MONUMENT SIGN	

SECTION 4

RESIDENTIAL ARCHITECTURAL DESIGN GUIDELINES

	10
RESIDENTIAL/MULTIFAMILY FACADE TREATMENTS	11
DOORS, WINDOWS & STOREFRONTS	12
BALCONIES, AWNINGS & CANOPIES	13
ROOF TYPES & MATERIALS	14
BUILDING ARCHITECTURAL LIGHTING	15A-15B
CHARACTER ELEVATIONS (RESIDENCE)	16A-16B
UNIT PLANS	

SECTION 5

LANDSCAPE DESIGN GUIDELINES



LANDSCAPE DESIGN GUIDELINES POOL DESIGN GUIDELINES CTS 17-17B 18



SECTION 1

GENERAL PROJECT INFORMATION





STATEMENT OF DESIGN

Doral Sanctuary complies with the following policies in the City of Doral's Comprehensive Master Plan :

Policy 2.1.9: Work toward correcting the current over- abundance of industrial use in the city by considering and proposing land use changes in the future that will create a balanced land use mix, more typical of healthy, thriving cities.

The development of Doral Sanctuary is a conversion of an Industrial land use to a Community Mixed Use encouraging a more balanced land use mix and a healthier thriving community city.

Policy 4.1.8: Increase the residential potential within the City by allowing the conversion of industrial land to downtown and community mixed use in designated areas of the adopted Future Land Use map.

The transformation of this property from an Industrial land zoning use to a Community Mixed allows the proposed development "Doral Sanctuary". To increase the residential potential within the city. The intergration of retail satisfies the mixed use requirement.

Policy 5B.2.1: Continue to coordinate with Miami-Dade County WASD to ensure that adequate facility capacity will be available to serve development concurrent with the demands for such facilities.

Doral Sanctuary will meet the County requirements to ensure adequate facility capacity for the development.

Policy 5C.1.4: Storm water runoff from development shall not adversely impact storm water storage capacity of adjacent lands, identified conservation areas, or downstream surface waters.

Doral Sanctuary will be in accordance with the County Storm water management requirements with no adverse impact to adjacent properties or areas downstream from the development.

Policy 7.1.6: Provided a variety of recreational opportunities for the City's diverse community and ensure accessibility to recreational facilities.

Doral Sanctuary will offer a variety of recreational activities for the community as well as it'residents, visitors, and retail users.

Policy 7.1.8: Provide appropriate lighting, parking, and security for the safety of the citizens.

Doral Sanctuary will provide adequate parking and appropriate level of site lighting and security.





ORDINANCE NO. 2016-05 Adopted May 18, 2016

(1) Urbanism.

a. The project shall contribute to creating a neighborhood that is diverse, compact and pedestrian friendly. Doral Sanctuary creates a neighborhood that is diverse, compact and pedestrian friendly through the integration of two (2) public plazas fronting the retail components that are fronting NW 41st Street. The designs of the parking garage and the residential building are tucked behind the retail and provide multiple pedestrian friendly access points throughout the site. A bike path along the west side of the development is integrated to connect from NW 41st Street south to Dressel's Canal.

b. The project shall create opportunities for daily living activities within walking distance.

The retail center, as well as, the dog park, tot lot, pool recreation area, and soccer field among other activities at the Doral Sanctuary provides enhanced activities for its user within walking distance.

c. The project shall include a civic and/or cultural component reinforcing the community identity.

The civic and cultural components of the Doral Sanctuary include the Art in the Public Places that is proposed in the Plazas in front of the retail areas. The cultural functions in the City of Doral shall be identified through the integration of a 5'x7' informational kiosk adjacent to the beautification easement along NW 41st Street. This kiosk shall also have its lighting powered through solar PV cells mounted on the roof of the kiosk. This design element furthers the commitment to providing conspicuous sustainable technologies for the development while also serving as an educational element to provide information to the community.

d. Within one-quarter (¼) mile of major intersections (section line and half section line roads), buildings six (6) stories or higher are strongly encouraged in order to preserve as much of the site as possible for ground level spaces and activities, improved plazas, active and passive recreation, community agriculture and leisure.

The building levels for the residential spaces towards Dressel's Canal meet six stories in order to preserve as much of the site as possible for ground level spaces and activities. The active Plazas shall attract the community not only to the retail spaces, but also for the cultural weight added to it with their Art in Public Places.

(2) Design excellence.

a. Design and material must be selected that fit with South Florida's natural and urban climate. Building architecture shall be creative and distinctive with site development incorporating sustainable design concepts. Buildings fronting on public streets shall have an inviting frontage conducive to pedestrian interaction and activities with no expanse of solid wall surface greater than sixteen (16) feet in length unbroken by a functional window or doorway or other appropriate design feature such as a green wall and wall artwork. South Florida's natural and urban climate is accommodated with the materials the Doral Sanctuary shall provide. The project is creative and distinctive with site development incorporating sustainable design concepts. The project provides an inviting frontage conducive to pedestrian interaction and activities with no expanse of solid wall surface greater than sixteen feet in length unbroken by a functional window or doorway or other appropriate design concepts. The project provides an inviting frontage conducive to pedestrian interaction and activities with no expanse of solid wall surface greater than sixteen feet in length unbroken by a functional window or doorway or other appropriate design feature such as a green wall and wall artwork.

b. Materials must contribute to the longevity of the project.

Doral Sanctuary shall provide long lasting materials extending the lifespan of the project.

c. In addition to the requirements of the City's Art in Public Places Ordinance, the project shall proactively contribute to the encouragement of public art in some manner and by incorporating at least one (1) significant piece of outdoor artwork clearly visible from each adjacent and/or interior public street.

The project, Doral Sanctuary, shall be proactive in the encouragement of public art and shall incorporate a significant piece of outdoor artwork clearly visible form each adjacent and/ or interior public street.



CREATIVE EXCELLENCE

d. The project must demonstrate innovation with respects to architecture, green design, landscaping and urban form. All buildings shall be designed and constructed to the meet, at a minimum, the 'LEED Silver' building standard or an equivalent standard of another recognized green building rating certification approved by the Building Official. Owner will install and maintain well-designed landscaping in rights-of-way and easements abutting all internal and adjacent public and private streets to the project at no cost to the City. The landscaping plan for these areas must be approved by the public agency with ownership of the subject right-of-way or control of the easement use.

Doral Sanctuary demonstrates innovation with respects to architecture, green design, landscaping and urban form. All buildings to be constructed to minimum 'Leed Silver' building standard or an equivalent standard of another recognized green building rating certification approved by the Building Official. The landscaping installed at all the rights-of-way and easements abutting all internal and adjacent public and private streets shall be integrated to the project at no cost to the City. Landscaping shall be approved by the local public agency.

e. Project shall contain recreation, health and fitness (RHF) areas equal in size to at least fifty percent (50%) of the City's park acreage

level-of-service standard, and a minimum of one-half (½) of this area must be located outside. The outside area is over and above the minimum open space requirement contained in the City Code for the applicable zoning district. RHF features may include, but are not limited to, greens roofs, community gardens, swimming pools and fitness centers.

In addition to the public plazas, the project, "Doral Sanctuary", shall include but are not limited to an indoor recreation facility/clubhouse with fitness center, game room, an outdoor pool and recreation area, passive courtyards, tot lot, dog park, a dedicated public bike path and pocket park to meet the City's park acreage level-of-service standard. These areas equal approximately 76,000 sf.

f. If a project contains retail uses, they must be located on, and serve to activate, the public street frontage.

The project has located all retail uses along the public street (NW 41st Street) and provides additional active public street frontage by the incorporation of its Plazas to allow for additional outdoor retail uses to activate the street frontage.

g. Projects shall utilize Low Impact Development design principles and standards in compliance with City Code Section 74-881.

The project has been designed to exceed the landscape and open space requirements for the site by approximately 1 acre. With that overage, the development is incorporating a large nature preserve area along south edge of the property fronting the shared use path along the canal. This preserve shall provide native vegetation and a bio swale that will serve as stormwater control as well as enhanced landscape features for the site. The development shall also provide and informational plaque at this location along the shared use path to educate the users in this unique sustainable design element and its benefit to the environment. In addition, there is a large retention area provided on the site as depicted on the site plan (SP-1 and LP-1) as well as on the preliminary paving & drainage plans by the civil engineer. This design element shall also serve to provide a distributed control of stormwater for the site. Pursuant to sustainable design principles and to the best of our ability, we are proposing to implement certain site design practices as follows:

Reduce pollution from construction activities by controlling soil erosion, and waterway sedimentation.

• Assess site conditions before design to evaluate sustainable options and inform related decisions about site design as depicted in the site plan submitted herin.

• Create expansive exterior open space(s) that encourages interaction with the environment, social interaction, passive recreation, and physical activities as depicted in this site plan.

- Reduce runoff volume and improve water quality.
- Increase night sky access, improve nighttime visibility, and reduce the consequences of development for wildlife and people.
- Provide residents, staff and visitors with the health benefits of the natural environment by creating outdoor places of respite as depicted in this site plan.

(3) Scale, connections and context.

a. The project must integrate into the existing neighborhood by providing vehicular, bicycle and pedestrian connections. At no cost to the City, dedicate rights-of-way and/or easements, and construct bicycle and/or pedestrian facilities contained in approved City plans to be located within or abutting the project. Facilities located on an easement or right-of-way dedicated by the property owner shall be properly maintained by the owner at no cost to the City. Doral Sanctuary provides vehicular connections to all parking facilities proposed for the development. In addition to the vehicular connections and at no cost to the City, the development shall also provide a shared use path that is 20' wide bordering the south and west property boundaries which connects to NW 41st Street. The proposed shared use path shall contain an 8' wide continuous bike/pedestrian bath with continuous landscaping and a pocket park with seating along the canal at the southeastern edge. These facilities shall be provided as an easement or right-of-way dedicated by the property owner and shall be properly maintained by the owner at no additional cost to the City.

b. The project must incorporate opportunities for public transportation enhancement and connections. At no cost to the City or Miami-Dade County, dedicate easements and right-of-ways, as necessary, and/or construct and maintain a spacious, lighted, weather-resistant and architecturally pleasing transit and/or trolley shelter at or near the subject project, if requested by Miami-Dade Transit or the City of Doral, and provided site conditions allow for proper shelter placement.

At no cost to the city the project, "Doral Sanctuary", shall incorporate a 15' x 7.5' transit shelter with gracious overhangs to shield from inclement weather. The transit shelter easement shall extend 5' beyond the shelter footprint at no larger than 25' x 17.5'. In addition to the shelter and easement, a bus pull off will be provided for this stop. Refer to the site plan exhibits contained in this pattern book for configuration and location. The design shall meet the City's design standards for such shelters as depicted in the City's Doral Boulevard Master Plan (DBMP) or be consistent in style with the proposed architecture for the development. The shelter shall be located on NW 41ST Street and the design shall be approved by City Council.

c. The overall scale of the development shall be consistent with the existing land use patterns or future land uses for the neighborhood. The project, "Doral Sanctuary", shall be consistent with the existing land use patterns or future land uses for the neighborhood.

d. To the greatest extent possible, the project shall connect to the existing ecology, and provide for logical interconnections. The project, "Doral Sanctuary", shall connect to the existing ecology, and provide for logical interconnections.

e. Any roadway, transit, and/or beautification rights-of-way or easements to be dedicated shall be without cost to the City.

The developer shall at no cost to the City, dedicate and/or provide the necessary/required easements as depicted in this Pattern Book. Consistent with the Doral Boulevard Street Beautification Master Plan, a twenty-four (24') wide Beautification Easement shall be provided along the entire property frontage along NW 41st Street (Doral Boulevard). This easement shall contain an eight (8') public sidewalk and incorporate attractive hardscape features and landscaping, as approved by the City.



DORAL BLVD. COMPLIANCE

The Doral Sanctuary Development site is located in the southeast of the intersection of Doral Boulevard and 97th Avenue. The front of the lot faces the Doral Boulevard and the rear the Dressel's canal. Due to its location, the project's intention is to enhance the Doral Boulevard in accordance with the patterns established in the Doral Boulevard street beautification master plan, as well as to connect to the waterway as a recreational greenway. The development consists of a mixed use community which encourages the interaction in public spaces by its residents and visitors. The integration of commercial, residential, and services zones is achieved by dividing the development's uses in three cores.

The first layer of the development consists of the retail spaces which are lining the street frontages onto the sidewalks of the Doral Boulevard, as well as, to the proposed main pedestrian and vehicular access to the development. Doral Sanctuary proposes to extend the use of pavement patterns in the sidewalks throughout the area, providing the corridor with a different character to enhance its identity. Doral Sanctuary development proposes an open plaza outdoor space in lieu of a continuous colonnade. Open plazas are incorporated adjacent to the retail areas to encourage pedestrian connectivity through the site. Also they provide an outdoor area where public art can be appreciated by the visitors and neighbors. The monument sign has been designed as per the parameters provided in the Doral Boulevard Master Plan. The project provides a transit easement for a bus shelter selected as per the Doral Boulevard Master Plan. The signs on the retail spaces will be designed as per the signage specifications in the Doral Master Plan. Signage in the storefront should be oriented towards the pedestrian. The signs should not be larger than 3 square feet in area with a maximum letter height of 6 inches, and a minimum clearance of 7'-6" to the bottom above the sidewalk. The façade of the retail spaces will be articulated to incorporate breaks in the wall. No single wall plane shall exceed 60 feet in length.

The second layer houses the parking and service core which is located behind the retail buildings fronting the boulevard. The location is between the retail and the residential units in order to support both visitors and residents of the Doral Sanctuary Development. The location facilitates vehicular access to the development and prevents vehicles to access the residential core. The entrances to the garage can be accessed from the primary and secondary access points.

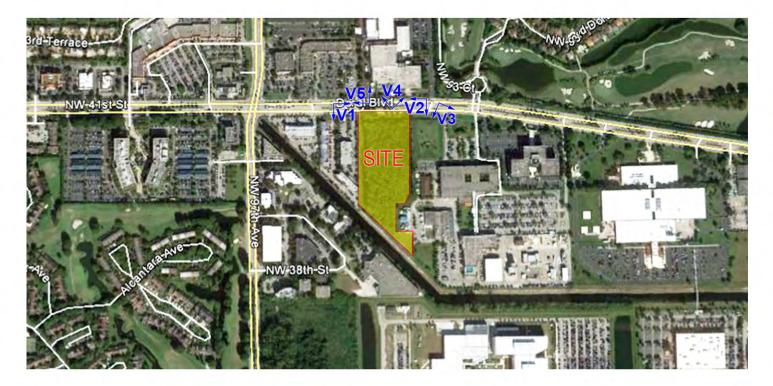
The residential core is located further away from the Doral Boulevard. The apartment units are arranged in a u-shape parti to create a private courtyard which houses the resident's pool area. The clubhouse and amenities are positioned strategically in the site to promote pedestrian circulation for the residents. The apartment units are surrounded by pedestrian paseo in the recreational greenway which connects to the Dressel's Canal bank.

The quality of semi-urban spaces within the project demonstrates the compliance of the Doral Sanctuary to the planning component of the Doral Master Plan. Outdoor spaces are furnished as per the Master Plan parameters. The Lighting fixtures, benches, trash receptacles, tree grates, planters & bus shelters have been selected from the list of possible options in the master plan. The Doral Sanctuary accommodates the use of bicycle through the site. An added bike path that connects to the existing bike path in the Dressel's canal bank to Doral Boulevard has been provided.

The quality and placement of the landscape areas in comparison to the building structures within the site demonstrates compliance to the landscape architectural component. A 10' wide landscape buffer shall be provided on the perimeter on the property. Doral Sanctuary environmental standards are accomplished by providing bicycle racks or storage, the use of energy efficient features in window design, the use of operable windows in the residential units, installation of energy-efficient appliances in the residential units, reduced the coverage of asphalt by providing parking garages in lieu of surface parking, the usage of LED lighting, planting native trees, and provision of structural shading. Doral Sanctuary development shall provide minimum 'Leed Silver' building standard or an equivalent standard of another recognized green building rating certification approved by the Building Official.



AERIAL & PHOTOGRAPHS OF EXISTING BUILDINGS





View 1

View 2



View 3 MIAMI DADE COUNTY EMERGENCY MANAGEMENT DORAL BLVD

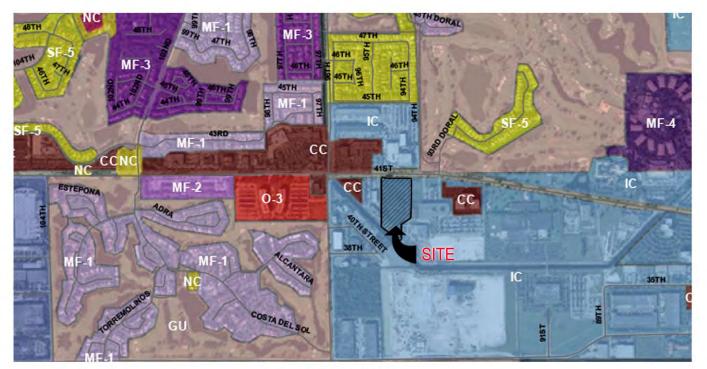
View 4 UNIVISION NETWORK AT DORAL BLVD







ZONING MAP



City of Doral



Planning & Zoning Department

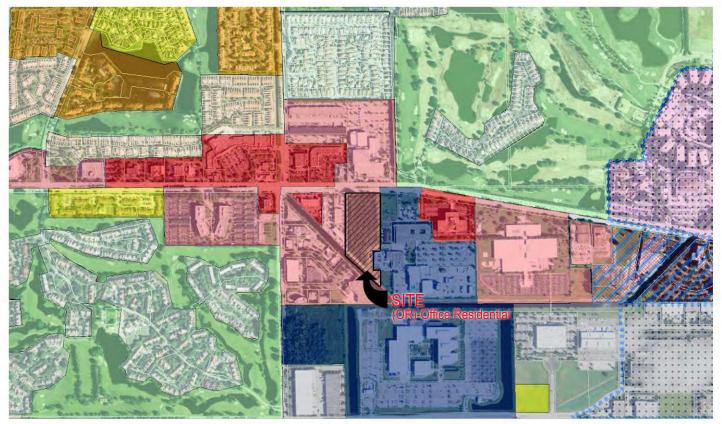
Aerial Zoning Map

Legend





FUTURE LAND USE ZONING MAP



City of Doral



Future Landuse Zoning





3B

SECTION 2

SITE ANALYSIS





DORAL SANCTUARY SITE INFORMATION

Site Area: Approx. 7.3 acres (318,247 sf) Zoning: PUD/CMU

Land Use: CMU

SITE
REGULATORY
GUIDELINES

REG	GULATORY GUIDELINES	
	DENSITY	the second s
	DU/acre	# Of Dwelling Units
Base Density (Base)	19 DU/acre	138 DU
Creative Excellence (CE)	6 DU/acre	44 DU
Workforce Housing (WF)(Max. 30% Bonus)*	6 DU/acre	44 DU
TOTAL	31 DU/acre	226 DU
Setbacks	Allowed	Provided
Front (NW 41st St)	25'	25'-0"
Rear	25'	25'-0" * Note 1
Int Side	20'	25'-0" * Note 1
* Note 1: Balconies/porches allowed to encroach up t	05'	
Building Height	Allowed	Provided
Der turk K. A. A.	100' (9 Stories)	Six Stories * Note 2

* Note 2: Building height not to exceed Six (6) stories and a maximum of 75' height to top of main roof slab. Parapets, mansord roofs and other architectural non habitable building projections shall be allowed and shall not to exceed 20' above main roof

Max. Allowed Floor Area Ratio (FAR)-Per IC:	Allowed	Provided
Level 1		
Residential Bullding		40,287 st
Retail		26,099 st
Clubhouse		3,605 sf
Sub-Total	3.65 acres (0.5)	1.60 acres (0.22)
Level 2		1
Residential Building		41,098 st
Clubhouse		2,805 st
Sub-Total	1.825 acres (0.25)	1.01 acres (0.13)
Level 3-6		
Residential Building		41,098 st
Sub-Total	1.825 acres (0.25/flr)	0.94 acres (0.13)
Grand Total (Based on 6 stories)	12.78 acres (1.75)	6.37 acres (0.87)

Provided
res) 15% (1.095 acres
2.73 acres
s

Off-Street Parking Requirements per LDC			
Residential		the second second second	
1BD @ 2 sp/DU	102 units	204 sp	
2BD @ 2 sp/DU	102 units	204 sp	
3BD @ 3 sp/DU	22 units	66 sp	
Sub-Total	226 units	474 sp	2 avg sp/unit
Visitor @ .25 sp/DU		57 sp	
Residential Total		531 sp	2.34 avg sp/uni
Non-residential			
Retail @ 1sp/250 GFA	19,717 sf	79 sp	
Restaurant @ 1sp/45 Patron Area (7,225 GSF)	5,060 sf	112 sp	
Leasing Office @ 1sp/300 GFA	980 sf	4 sp	
Non-Residential Total		195 sp	
Grand Total Required		726 sp	-

-	Unit	Breakdown	A	
Type of Unit	1 Bd	2 Bd	3 Bd	Total
1.	102 units	102 units	22 units	226 units
% of total	45%	45%	10%	100%

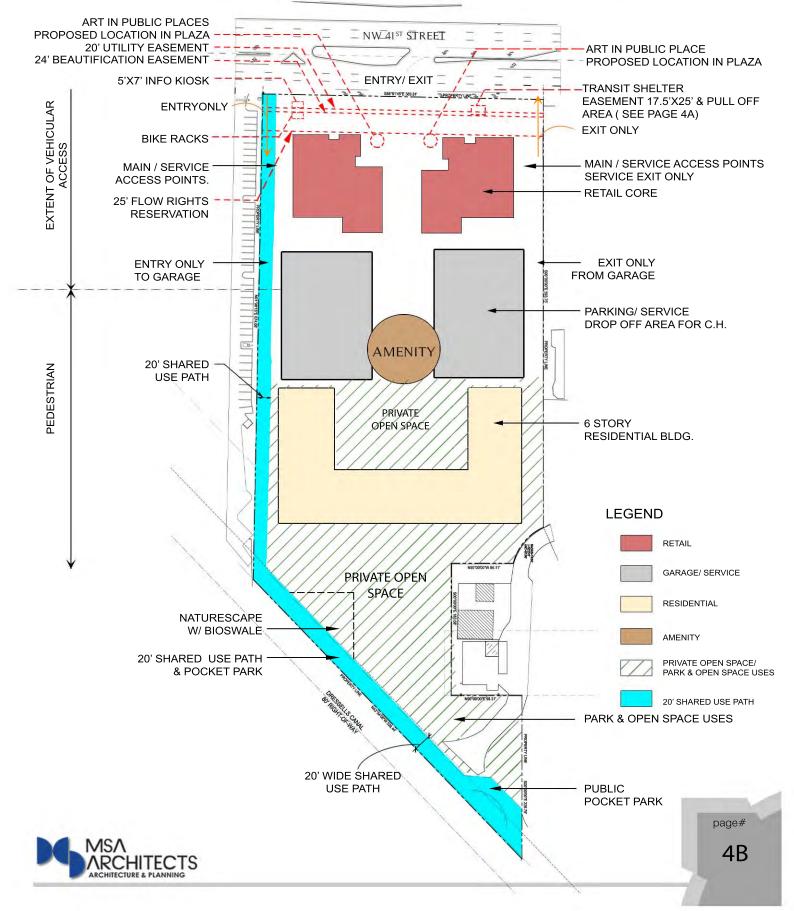
Dwelli	ing Unit Areas	
1Bd	@ 600 sf - 850 sf	
2Bd	@ 850 sf - 1195 sf	
3Bd	@1200 sf & greater	



-Standards will be addressed prior to site plan approval.			
Residential	· · · · · · · · · · · · · · · · · · ·	the second se	
1BD @ 1.75 sp/DU	102 units	179 sp	
2BD @ 2 sp/DU	102 units	204 sp	
3BD @ 2.25 sp/DU	22 units	50 sp	
Sub-Total	226 units	432 sp	1.91 avg sp/unit
Visitor @ 10% of the required parking		43 sp	
Residential Total		475 sp	2.10 avg sp/unit
Non-residential			
Retail @ 1sp/250 GFA	19,717 sf	79 sp	10.000
Restaurant @ 1sp/45 Patron Area (7,225 GSF)	5,060 sf	112 sp	and the second second
Leasing Office @ 1sp/300 GFA	980 sf	4 sp	n
Non-Residential Total		195 sp	page
Grand Total Required		670 sp	
			- 4
Grand Total Provided	1	670 sp	1.



USES DIAGRAM

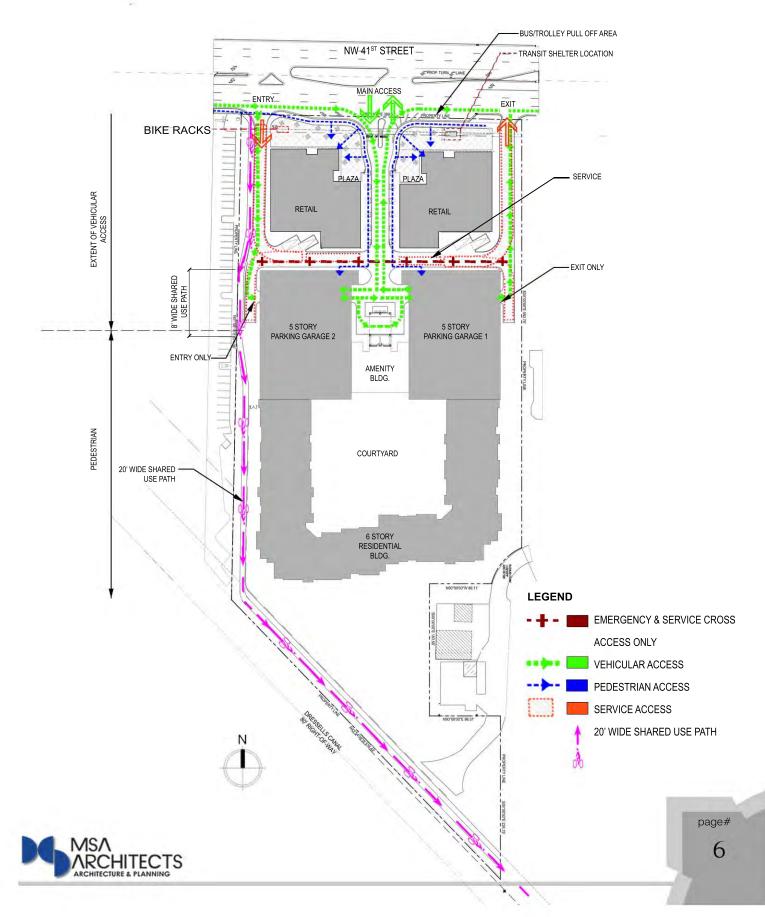


CONTEXTUAL MASSING STUDY





PEDESTRIAN AND VEHICULAR CIRCULATION PLAN



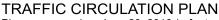
	Memorandum Miami-Dade
Date:	June 20, 2016
То:	Jorge Gomez, P.E. Acting Director, Public Works City of Doral
From:	Darlene M. Fernandez, P.E. Assistant Director Department of Transportation and Public Works
Subject:	Doral Sanctuary Site Circulation

A review has been completed of the Traffic Circulation Plan for the Doral Sanctuary project prepared by Ballbe & Associates dated June 20, 2016. Miami Dade County Traffic Engineering is in agreement with the curb cuts, striping (including bus only bay on NW 41st Street), and the ingress/egress as shown on the plans.

Should you have any questions or need additional information, please do not hesitate to contact our office at (305) 375-2030.

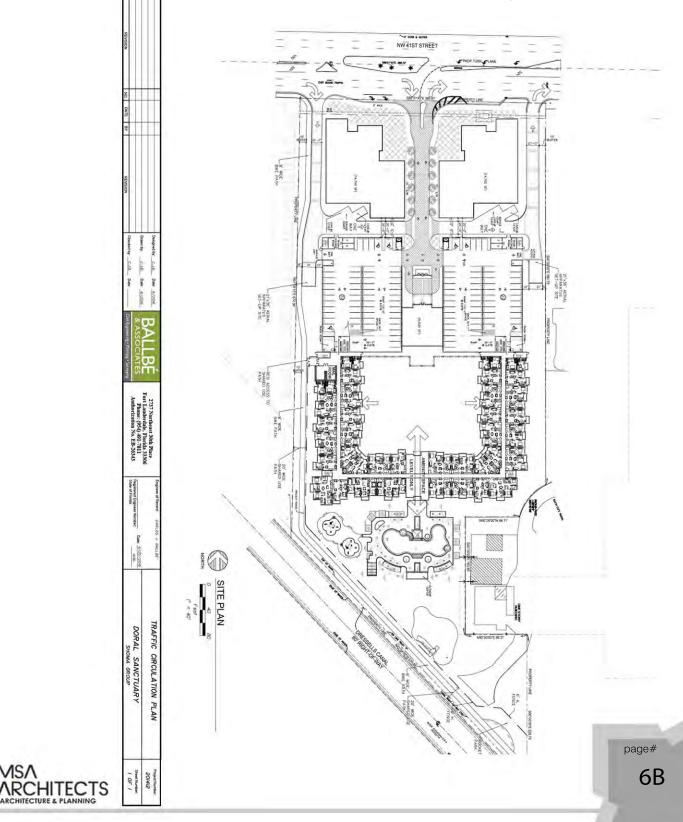


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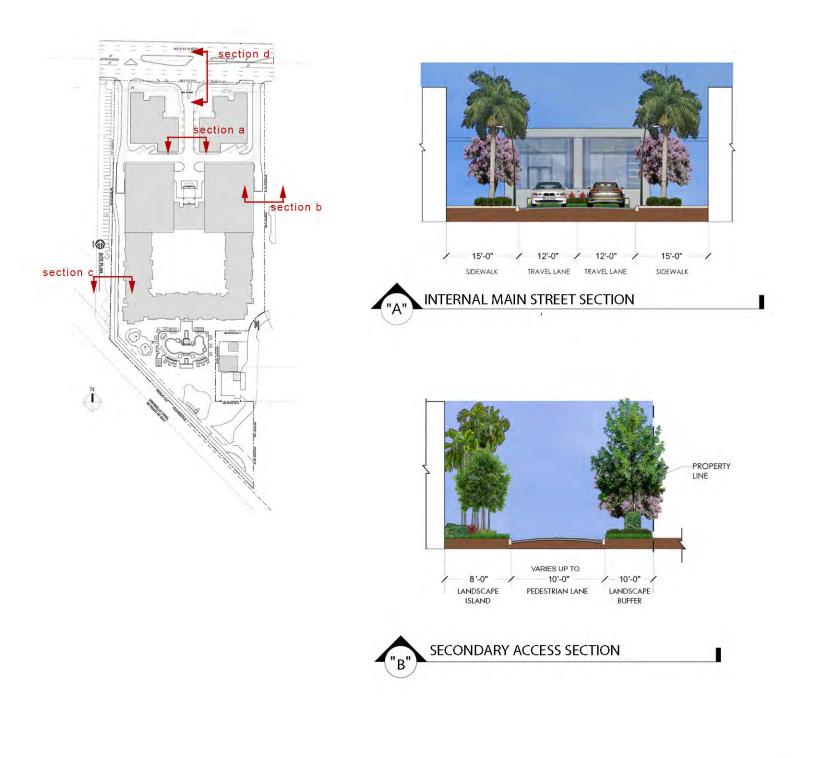


Plan as aproved on June 20, 2016 (refer to pg. 6A)

Exhibit to depict vehicular circulation only. Site configuration subject to change without amend of the pattern book.



STREET SECTIONS GUIDELINES





page#

7A

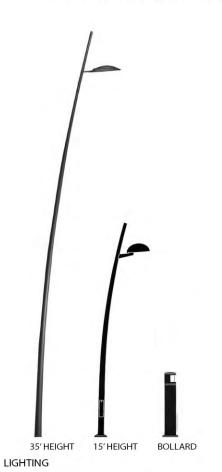
STREET SECTIONS GUIDELINES





SITE AMENITIES

Open areas provide an outdoor space for use by residents and visual relief to the built environment. Open space should be design to allow for use of residents. Elements to be included in open space design include but are not limited to bike racks, lighting, garbage cans and park benches. Open space elements shall be coordinated with the architectural character of each pod to create a harmonious neighborhood.



BICYCLE RACK



PLANTER



TREE GRATE



BENCHES & TRASH RECEPTABLE









BUS SHELTER/ SOLAR INFORMATION KIOSK

Open areas provide an outdoor space for use by residents and visual relief to the built environment. Open space should be design to allow for use of residents. Elements to be included in open space design include but are not limited to bike racks, lighting, garbage cans and park benches. Open space elements shall be coordinated with the architectural character of each pod to create a harmonious neighborhood.





BUS SHELTER





PUBLIC INFORMATION KIOSK (5'X7') (STYLE TO BE APPROVED AT TIME OF SITE PLAN APPROVAL SOLAR POWERED LIGHTING)





SECTION 3

ARCHITECTURAL DESIGN GUIDELINES

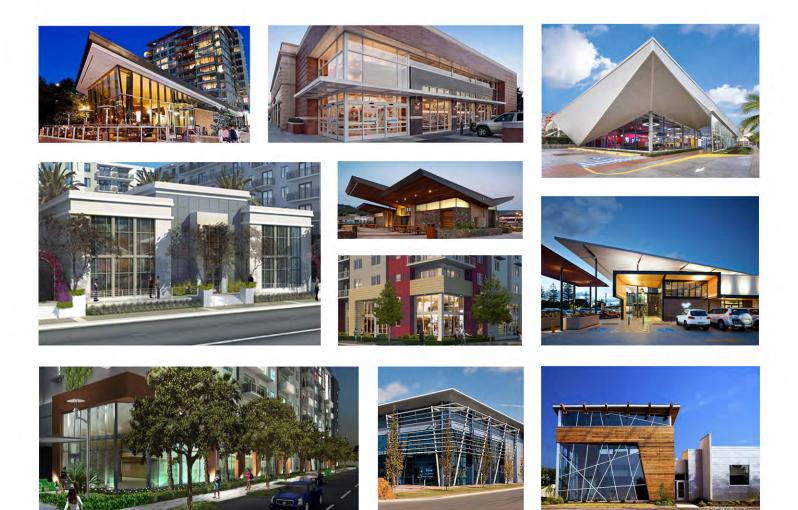
Retail/ Commerical





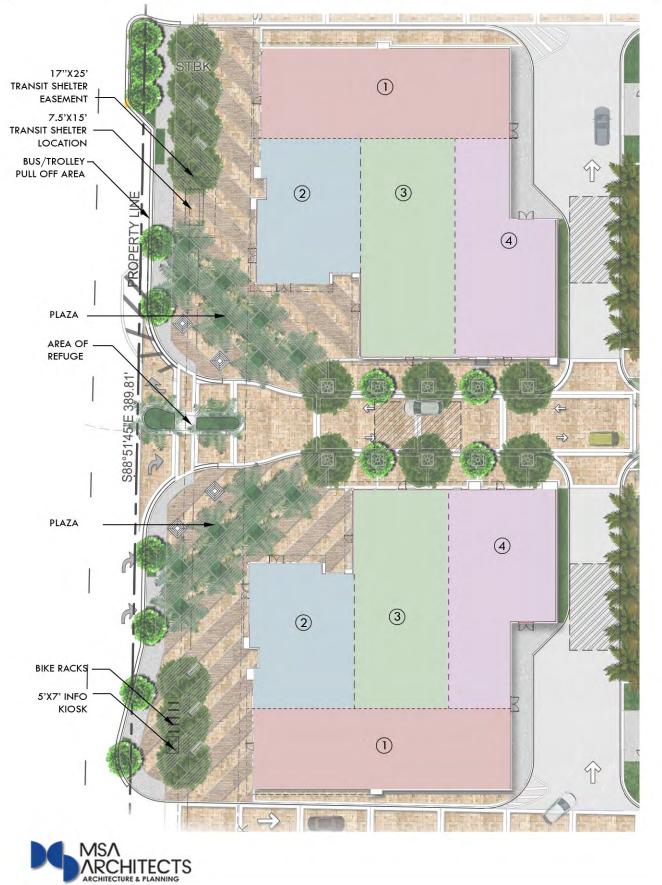
RETAIL /COMMERCIAL DESIGN GUIDELINES

Retail / Commercial buildings may include retail, entertainment, office, and fitness center. Covered entrances, awnings, arcades, balconies and roof overhangs should be integrated into the architecture for pedestrian experience and comfort. Public plazas and landscaping should be provided as an integral ground floor public experience.

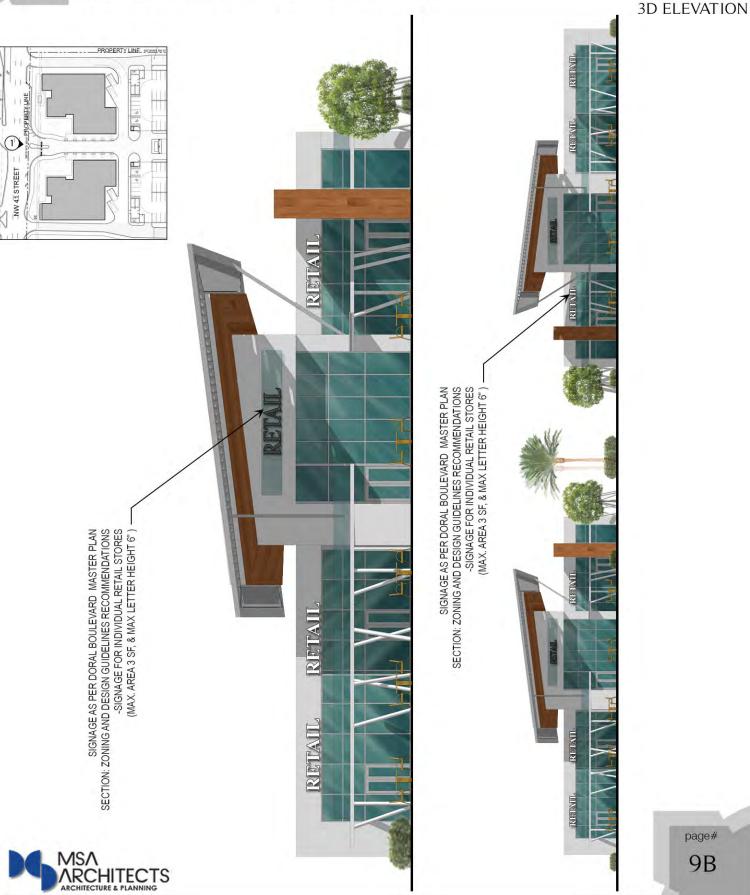




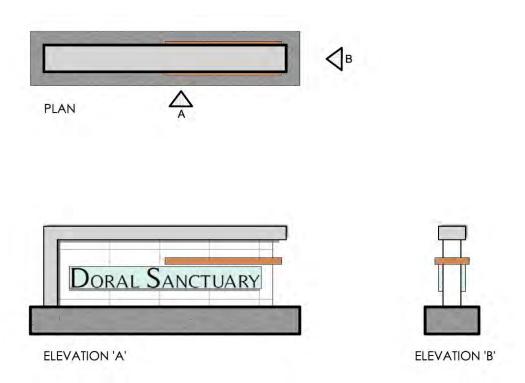
RETAIL PLAN



9A



GROUND MONUMENT SIGNAGE







SECTION 4

ARCHITECTURAL DESIGN GUIDELINES

Residential /Multifamly





ARCHITECTURAL DESIGN GUIDELINES

Facade Treatments

Exterior facades shall generally incorporate but not limited to glass, aluminum, metal cladding, and shall provide contemporary color accents. Buildings shall have architectural features and patterns that provide visual interest from the pedestrian perspective. Facades shall be designed to reduce the mass/ scale and monotonous appearance of repetitive walls.







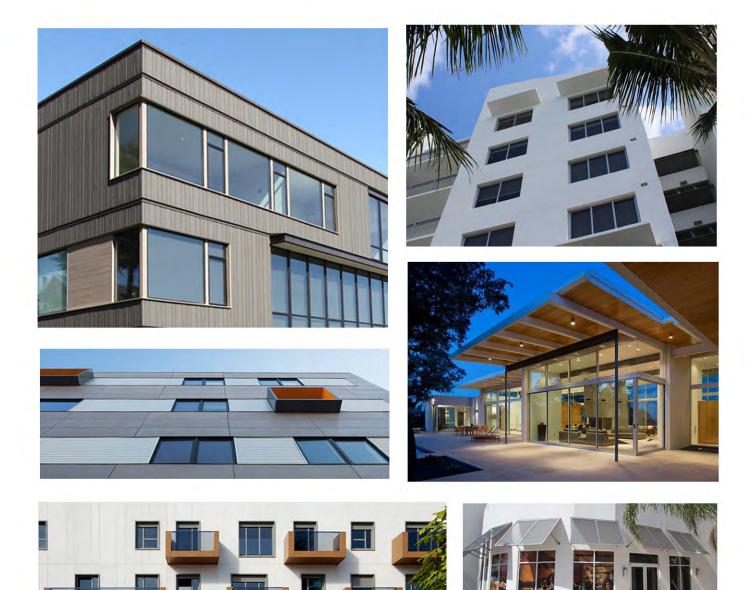




ARCHITECTURAL DESIGN GUIDELINES

Doors, Windows & Storefronts

Windows of various proportions, shall be considered. Windows shall be made of painted metal or anodized aluminum frame. Glass may be clear or lightly tinted. Doors shall be at least 50% transparent, which shall count towards the overall transparency requirement. A variety of storefronts with windows adds vitality & visual transparency to the public plazas.





ARCHITECTURAL DESIGN GUIDELINES

Balconies, Awnings & Canopies

Balconies are encouraged for upper level residential units as well as porches & stoops at ground floor units. Railings shall be designed to provide visibility. The types of railings systems can be metal mesh, aluminum picket or horizontal metal and metal panels. Balconies can be further enhanced by decorative brackets and columns to complement the building facade and style. Awnings and canopies at windows and door opening's provides shade and adds to architectural intent.



Mesh Railings



Private patio stoops with mesh railings





Awnings/Canopies





Horizontal railings



Picket railing



Combo of solid & transparent railing system



Horizontal railings

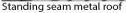


ARCHITECTURAL DESIGN GUIDELINES

RoofTypes & Materials

Roof areas and parapets are some of the most important elements which define architectural character and style. Roof materials shall consist of concrete tile roofs, standing seam metal roof, or barrel tiles. Flat roof system shall incorporate varying parapet heights, toner features, and banding parapets shall be tall enough to screen mechanical equipment from public view.







Cement tile roof



Flat roof parapets



Barrel Tile roof



Cement Tile roof



Flat roof parapets



Standing seam metal roof



ARCHITECTURAL DESIGN GUIDELINES

Building Architectural Lighting

Decorative light fixtures such as wall scones and bollards shall be encouraged, and shall match in architectural style as approved to the architecture of the buildings.

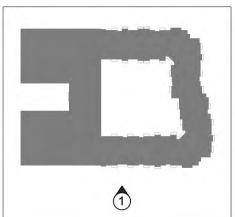




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CHARACTER ELEVATIONS



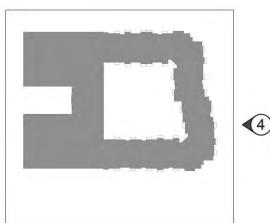
COLOR SCHEME



page# 15A



CHARACTER ELEVATIONS



COLOR SCHEME



ACCENT 2 SW 7016 MINDFUL GRAY



ACCENT 3 SW 7017 DORIAN GRAY



15B

CONCEPTUAL UNIT PLANS



CONCEPTUAL UNIT PLANS







16B

SECTION 5

LANDSCAPE GUIDELINES





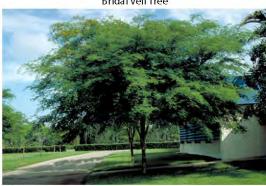
Doral Sanctuary

LANDSCAPE GUIDELINES

Landscape plans shall meet or exceed current City of Doral Land Development Code requirements including surface parking areas, street trees, and buffer-yards. All landscaping will be regulated by the most applicable zoning district. The perimeter landscape buffer between the internal drive aisles and the adjacent properties is 10 ft. in width. A 10 ft. wide buffer will accommodate large shade trees, medium flowing trees and large palms of varying heights. The shrubs within the buffer to provide privacy in the pedestrian zone will be species that are full to the ground and will grow to heights of 20 ft. if desired. The intent of the buffer is to provide complete privacy and visual blockage to the adjacent properties

Street Trees









Palm Trees





Florida Royal Palm



Sabal Palm



Montgomery Palm



DORAL SANCTUARY

LANDSCAPE DESIGN GUIDELINES

Accent and Shrub Selections

Shrub selection shall include, but not be limited to the following:







Dwarf Philodendron

Muhly Grass





Schefflera Trinette



Awabuki Viburnum



Allamanda





Dwarf Pitch Apple



Saw Palmetto

Dwarf Clusia





Podocarpus





Doral Sanctuary

LANDSCAPE DESIGN GUIDELINES

Groundcover Selection

Groundcover selection shall include, but not be limited to the following:

Green Island Ficus



Yaupon Holly

Duranta

Peanut Grass







DORAL SANCTUARY

POOL DESIGN GUIDELINES

Pool selection shall include, but not be limited to the following: landscape areas with accent plants, ground covers and palms, as well as outdoor grills, pool cabanas,trellis, and water features

Outdoor Grills



Trellis



Lounge Chairs on Synthetic Lawn



Pool Cabanas

















Bougainvillea







March 23, 2017

This instrument was prepared by:

Name: Address: Felix M. Lasarte., Esq. The Lasarte Law Firm 3250 NE 1st Avenue Suite 334 Miami, Florida 33137

(Space reserved for Clerk of Court)

SECOND AMENDMENT TO THE MASTER DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT (hereinafter the "Agreement") is made and entered into this ______day of ______, 2017, by and between Sanctuary at Doral, LLC., a Florida limited liability company (the "Developer"), and the City of Doral, Florida, a Florida municipal corporation (the "City").

WITNESSETH:

WHEREAS, the Developer is the owner of the real property located within the boundaries of the City, the legal description of which is attached hereto and made a part hereof as Exhibit "A" (the "Property");

WHEREAS, the Property is currently designated "Community Mixed Use" on the City's Comprehensive Plan (as herein defined) and zoned Community Mixed Use and Planned Unit Development pursuant to the Land Development Regulations (as herein defined);

WHEREAS, the Developer and the City mutually desire that the Property be developed with a base density of 31 units per acre or maximum of 226 dwelling units, 26,099 square feet of retail use, as permitted by the Comprehensive Plan and the Land Development Regulations (the "Project");

WHEREAS, the Developer and the City desire to establish certain terms and conditions relating to the proposed development of the Property and wish to establish certainty as to the ultimate development of the Project, as provided pursuant to Chapter 68, Article V, Division 4 of the City's Land Development Regulations.

NOW, THEREFORE, in consideration of the conditions, covenants, and mutual promises hereinafter set forth, the Developer and the City agree as follows:

1. <u>Recitals</u>. The foregoing recitals are true and correct and are hereby incorporated herein by reference. All exhibits to the Agreement are hereby deemed a part hereof.

2. <u>Definitions</u>.

- a. "Additional Term" is defined in Section 4 of this Agreement.
- b. "Comprehensive Plan" means the City's comprehensive plan meeting the requirements of Chapter 163, F.S.
- c. "Conceptual Master Plan" is that master development plan entitled "Doral Sanctuary," prepared by MSA Architects, Inc., dated March 20, 2017 Site Plan Resubmittal #1 Revision, and approved by the City, which regulates the nature of the streets and blocks and establishes the lots and building sites within the Property and, along with the Pattern Book, govern the future development and subsequent review of all detailed development site plans for the Project.
- d. "Developer" means the person undertaking the development of the Property, as defined in the preamble to this Agreement, or any successors or assigns thereof that (a) acquire an interest in any portion of the Property from the Developer pursuant to sale or ground lease for the purpose of the development and resale or sublease and (b) is specifically assigned rights as Developer hereunder by the Developer pursuant to an express written assignment. Upon execution and recording of such assignment, the assignee will be deemed the Developer hereunder to the extent set forth in such assignment.
- e. "Development" means the carrying out of any building activity, the making of any material change in the use or appearance of any structure or land, and/or the dividing of land into three or more parcels.
- f. "Development Permit" includes any building permit, zoning permit, subdivision approval, rezoning, certification, special exception, variance, or any other official action of local government having the effect of permitting the development of land.
- g. "Effective Date" is the date of recording of this Agreement in the Public Records of Miami-Dade County, Florida.
- h. "Entire Term" is the total term of this Agreement.
- i. "Governing Body" means the board of county commissioners of a county, the commission or council of an incorporated municipality, or any other chief governing body of a unit of local government.
- j. "Land" means the earth, water, and air, above, below, or on the surface and includes and improvements or structures customarily regarded as land.
- k. "Land Development Regulations" means ordinances, rules, and policies in effect on the Effective Date, which have been enacted and implemented by the City for the regulation of any aspect of development and includes any local government zoning, rezoning, subdivision, building construction, or sign

regulation or a n y other regulations controlling the development of, or construction upon, Land.

- 1. "Laws" means all ordinances, resolutions, regulations, comprehensive plans, land development regulations, and rules adopted by a local government affecting the development of Land.
- m. "Pattern Book" is the development manual that establishes the setbacks, heights, floor area ratio, building envelope, and other development parameters for the development of the individual building sites identified within the Conceptual Master Plan.
- n. "Project" means the development approved pursuant to the Project Approval.
- o. "Project Approval" is defined in Section 5 of this Agreement.
- p. "Property" is that certain +/- 7 acre parcel of real property owned by the Developer, as more particularly described in Exhibit "A" attached hereto.
- q. "Public Facilities" means major capital improvements, including, but not limited to, transportation, sanitary sewer, solid waste, drainage, potable water, educational, parks and recreational, and health system facilities.
- r. "Site Plan" is comprised of a scaled and dimensioned site plan (with landscaping), elevation, and typical floor plans submitted for review and approval and for consistency with the Project Approval, as may be contemplated by Chapter 68, Article V, Division 4, and other applicable provisions of the Land Development Regulations.
- s. "Utility" includes any person, firm, corporation, association, or political subdivision, whether private, municipal, county, or cooperative, which is engaged in the sale, generation, provision, or delivery of gas, electricity, heat, oil, water sewer service, telephone service, telegraph service, radio service, or telecommunication service.

3. <u>Intent</u>. It is the intent of the Developer and the City that this Agreement should be construed and implemented so as to effectuate the purposes and intent of the parties and the purpose and intent of Chapter 68, Article V, Division 4 of the Land Development Regulations. The Developer acknowledges and agrees that this Agreement is not to be construed as a "Development Agreement" pursuant to Section 163.3221, Florida Statutes.

4. <u>Effective Date and Duration</u>.

a. This Agreement shall become effective on the Effective Date. The Agreement shall be recorded in the public records of Miami-Dade County, Florida and shall run with the land and shall be binding on all parties and all persons claiming under it for an initial term of thirty (30) years from the Effective Date, after which time it may be extended for a period of ten (10) years after approval by the City Council at a public hearing, unless an instrument has been recorded agreeing to release, amend, or modify this Agreement in whole, or in part, as provided below.

b. The time frames set forth in this Agreement shall be considered stayed and tolled for the time lost resulting from the pendency of any moratorium, litigation or challenges that materially limit the ability of the Developer to continue the development of the Project.

5. <u>Permitted Development Uses and Building Intensities</u>.

a. **Permitted Development Uses**. Concurrently with the adoption and acceptance of this Agreement, the Developer has proffered and the City has accepted and adopted the Conceptual Master Plan and the Pattern Book as the binding development criteria for the Property (collectively, the "Project Approval"). In granting the Project Approval, the City has determined and hereby concurs that the Project is consistent with the City's Comprehensive Plan and that the Project Approval in accordance with the Land Development Regulations. Upon execution of this Agreement, the City confirms and agrees that the Property may be developed and used in the manner set forth in the Project Approval, the City's Comprehensive Plan, and the Land Development Regulations.

b. **Phasing, Density, Building Heights, Setbacks and Intensities**. The Project will be developed in two (2) phases. The maximum density, height, setbacks, and intensities for any development on the Property shall be regulated by the Project Approval, the Land Development Regulations, and the applicable provisions and designations in the Comprehensive Plan in effect at the time of site plan approval. While the Conceptual Master Plan contemplates that the Property will be developed in two (2) phases, residential density, and retail intensity may be shifted to future phases of Project development so long as said transfer does not result in an overall increase of residential density and retail intensity for the Project. The height of the buildings within the Project shall not exceed six (6) stories.

6. <u>Project Approval</u>.

a. The Project Approval authorizes the development of a Project that currently contemplates a development program as specifically described in the Pattern Book and the Conceptual Master Plan. This development program consists of base density of 31 units per acre or maximum of 226 dwelling units , and 26,099 square feet of retail use. The development of the Property in conformity with this development program, as provided in the Pattern Book and the Conceptual Master Plan, is referred to herein as the "Project."

b. **Further Development Review**. This Agreement and the Project Approval establish the criteria upon which the Project shall be developed and shall set forth the sole and exclusive limitation upon the development of the Project. Consistent with the foregoing, prior to the issuance of any building permit for any development within any portion of the Property, the Developer shall submit a Site Plan for the building site that includes the proposed buildings for administrative review and approval by the City's Planning and Zoning Director or as may otherwise be provided in the Land Development Regulations. SitePlans shall contain all elements and development details required by the City's Code.

c. Any Site Plan approved pursuant to the provisions of this Paragraph may be modified from time to time in accordance with Section 53-185(d) and Section 68-740 of the City's Land Development Code, as may be amended from time to time. Minor variations to the building placement, building style, and lot configuration may be approved administratively by the Director of the Planning and Zoning Department, or the executive officer of the successor of such Department, as provided in the Land Development Regulations. 7. <u>Maintenance of Common Areas</u>. The common areas of the Property shall be maintained by a homeowners' association, property owners' association, special taxing district, or community development district.

8. <u>Security During Construction</u>. During construction of the Project, Developer shall provide security to those phases under construction from 7:00pm to 7:00am, Monday through Friday, and 24 hours per day on weekends and holidays.

9. <u>Roadway Improvements</u>. In order to address the impacts of the proposed Project on the City and regional roadways, the Developer agrees to address and shall provide certain onsite and off-site roadway improvements to the area's roadway network. The Developer shall obtain approval from Miami-Dade County Public Works Traffic Division for all required roadway improvements and/or modifications on NW 41st Street. Each project listed below will be completed and open for full operation prior to the issuance of the 1st Certificate of Occupancy or completion. The Developer will entirely fund the construction or cause to be constructed of the following roadway improvements, as more particularly set forth below, subject to the approval of the Public Works Department:

- a. Construction of a Bus Bay and transit shelter on NW 41 Street to accommodate the Trolley and Miami-Dade Transit buses;
- b. Purchasing Trolley within one (1) year of obtaining building permit;
- c. Provide eastbound deceleration/right turn lane at the future intersection NW 41 Street and the center/main project driveway;
- d. Provide dedicated westbound left turn lane and median opening at the future intersection of NW 41 Street and the center/main project driveway;
- e. Purchase two (2) adaptive traffic signal controllers;
- f. Maintenance of traffic on NW 41st street will be completed after hours.
- g. Service and delivery vehicles can only access the Property during off-peak hours.

Shared Use Path and Pocket Park. The Developer shall provide a pedestrian-bike 10. shared use path inside the Property as part of the Project and shall set aside an area within the Property along the shared use path for a pocket park. The Developer will dedicate to the City, freeof-charge, a 20-foot wide easement along the entire west property line and will construct a 10-foot wide pedestrian/bike shared use path along said dedicated easement. The Developer will also provide a 10-foot-wide pedestrian/bike shared use path inside the Property along the south property line and will allow for the pedestrian/bike shared use path to connect with the pedestrian sidewalk on Doral Blvd., concurrent with the execution of this MDA. The Developer shall construct the Shared Use Path with signage, pavement, landscaping and fencing to City specifications prior to the issuance of the 1st Certificate of Occupancy or completion. The Developer will construct a 20' by 15' foot public Pocket Park accessible to Shared Use Path users along the south canal frontage consisting of two (2) shaded benches with landscaping per City specifications, prior to the issuance of the 1st Certificate of Occupancy or completion. The park shall be constructed outside the limits of the existing canal maintenance easement. Additionally, the park easement and pedestrian/bike shared use path will be dedicated to the City, free-of-charge, concurrent with the execution of this Agreement. The pedestrian/bike shared use path and pocket park shall be constructed and paid for solely by the Developer at no cost to the City.

11. <u>Transit Shelter.</u> The Developer will dedicate, free-of-charge, to the City a 20' by 12.5' foot non-exclusive public easement in front of the project for a transit shelter with an 8-feet wide connection to the right-of-way. The Developer will construct a transit shelter to City specifications and at no cost to the City, prior to the issuance of the 1st Certificate of Occupancy or completion. Transit shelter easement and right-of-way connection will be dedicated to the City, concurrent with this Agreement.

12. <u>Beautification Easement and Improvements.</u> The Developer will dedicate, at no cost to the City, a 24' foot wide non-exclusive public beautification easement across the entire Property frontage adjacent to the Doral Boulevard right-of-way, concurrent with execution of this Agreement. The Developer will also construct and install the landscape and hardscape improvements in the easement to City specifications and at no cost to the City, prior to the issuance of the 1st Certificate of Occupancy, or completion.

13. <u>Bonding Improvements.</u> The Developer will submit a bond to the City in the amount of 110% of the estimated cost of design, permitting and construction for all public improvements on the Property.

14. <u>Minimum Dimensional Requirements.</u> See Attached Exhibit "B"

15. Landscaping, Parking, and Signage Requirements. See Attached Exhibit "B"

16. <u>Homeowners' and/or Condominium Association Document.</u> The residential building and retail center will be professionally managed and will not be a part of a CDD or Homeowner's Association or Condominium Association.

17. <u>Environmental Preservation Code</u>. The conceptual site plan may need to be modified to comply with any applicable Environmental Preservation Code.

18. <u>Public Services and Facilities: Concurrency</u>. As of the date of the Project Approval, pursuant to the provisions of Chapter 59 of the City Code, the Project has been found to meet concurrency standards as set forth in the Comprehensive Plan. The City reserves the right to conduct concurrency reviews and determinations at the time of approval of a site plan for the Project and any modifications thereto, all as provided in Chapter 59 of the City Code.

19. <u>Necessity of Complying with Local Regulations Relative to Development</u> <u>Permits</u>. The Developer and the City agree that the failure of this Agreement to address a particular permit, condition, fee, term, or restriction in effect on the Effective Date of this Agreement shall not relieve Developer of the necessity of complying with the regulations governing said permitting requirements, conditions, fees, terms, or restrictions as long as compliance with said regulations and requirements do not require the Developer to develop the Property in a manner that is inconsistent with the Project Approval. Where construction has occurred on the Property, or any portion thereof, pursuant to a lawful permit issued by the City, and inspections made and approval of occupancy given by the City, then such construction, inspection, and approval shall create a rebuttable presumption that the buildings or structures thus constructed comply with the intent and spirit of this Agreement.

20. <u>Reservation of Development Rights</u>. For the Entire Term, the City hereby agrees that it shall permit the development of the Project in accordance with the Project Approval, the

Land Development Regulations, the Comprehensive Plan, and the existing laws and policies as of the Effective Date of this Agreement that are or may be applicable to the Property, subject to the conditions of this Agreement and in effect at the time of any site plan approvals and modifications thereto.

21. <u>Binding Effect</u>. The obligations imposed pursuant to this Agreement upon the Developer and upon the Property shall run with and bind the Property as covenants running with the Property, and this Agreement shall be binding upon and enforceable by and against the parties hereto, their personal representatives, heirs, successors, grantees, and assigns, and a copy of this Agreement shall be recorded in the Public Records of Miami-Dade County, Florida, at the sole cost and expense of the Developer, upon execution of this Agreement.

22. <u>Governing Laws</u>. This Agreement shall be governed and construed in accordance with the laws of the State of Florida. The Developer and the City agree that Miami-Dade County, Florida is the appropriate venue in connection with any litigation between the parties with respect to this Agreement.

23. <u>Notices</u>. Any notices required or permitted to be given under this Agreement shall be in writing and shall be deemed to have been given if delivered by hand, sent by recognized overnight courier, or mailed by certified or registered mail, return receipt requested, in a postage paid prepaid envelope, and addressed as follows:

If to City at:	City Manager City of Doral 8401 N.W. 53 rd Terrace Doral, Florida 33166
With a copy to:	City Attorney City of Doral 8401 N.W. 53 rd Terrace Doral, Florida 33166
If to Developer at:	Sanctuary at Doral, LLC c/o Felix M. Lasarte, Esq. 3250 NE 1 st Avenue, Suite 334 Miami, Florida 33137

Notices personally delivered or sent by overnight courier shall be deemed given on the date of delivery and notices mailed in accordance with the foregoing shall be deemed given three (3) days after deposit in the U.S. Mail. Any party may change its notice address by providing written notice to the other parties of the new address as provided in this paragraph. The terms of this section shall survive the termination of this Agreement.

24. <u>Severability</u>. In the event any term or provision of this Agreement be determined by appropriate judicial authority to be illegal or otherwise invalid, such provision shall be given its nearest legal meaning or construed as deleted as such authority determines, and the remainder of this Agreement shall be construed to be in full force and effect.

25. Entire Agreement. This Agreement, together with the documents referenced

herein, constitute the entire agreement and understanding among the parties with respect to the subject matter hereof, and there are no other agreements, representations, or warranties other than as set forth herein.

26. <u>Modification, Amendment, and Release</u>. This Agreement may not be modified, amended, or released, except by written instrument signed by the City and the Developer (and/or its assigns, which may include, but not be limited to a Community Development District and/or master property owners' association with appropriate authority over the Property), provided that such modification, amendment, release has been approved by the City after public hearing.

27. <u>Cancellation and Enforcement</u>. Enforcement of this Agreement shall be by action against any parties or person violating, or attempting to violate, any covenants set forth in this Agreement. The prevailing party in any action or suit pertaining to or arising out of this Agreement shall be entitled to recover, in addition to costs and disbursements allowed by law, such sum as the Court may adjudge to be reasonable for the services of his/her/its attorney. This enforcement provision shall be in addition to any other remedies available at law, in equity, or both. The terms of this section shall survive the termination of this Agreement.

28. <u>Cumulative Remedies</u>. Nothing contained herein shall prevent the Developer from exercising its rights and remedies it may have under law.

signed in its name on this	_day of_		, 201	7.				
WITNESSES:		Sanctuary at D a Florida limited	,		oany			
Witness	_	By: Signatur	e					
Printed Name	_	Printed 1	Name / Ti	itle				
Witness	_	Address:						
Printed Name	_							
STATE OF FLORIDA COUNTY OF MIAMI-DADE)) SS:)							
The foregoing instrumen	t was	acknowledged	before	me	this		day	of
, 2017, by			_, as _					
of Sanctuary at Doral, LLC, a Flori who is personally known to me or ha	da limit	ted liability comp	pany, on	behal	f of sa	aid pa	rtners	

My Commission Expires:

Notary Public – State of Florida

Printed Name

The City of Doral does hereby effectuate and acknowledge the above Master Development Agreement.

> **City of Doral** a Florida municipal corporation

By: _____

Print Name: _____

Title:

Approved as to form and legality by the office of the City Attorney for the City of Doral.

City Attorney

STATE OF FLORIDA COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me by______, as _________, of the City of Doral_______, who is personally known to me or has produced________, as identification.

))

Witness my signature and official seal this ____ day of_____, 2017, in the County and State aforesaid.

Notary Public State of Florida

Printed Name

My Commission Expires

JOINDER BY MORTGAGEE TO MASTER DEVELOPMENT AGREEMENT

The undersigned,	, the Mortgagee under that of the day of, by			
certain Mortgage executed as	of the day of, by			
	, LLC, alimited liability company, and recorded in at Page, of the Public Records of Miami-Dade County,			
Florida, covering all/or a portion hereby join in this Master Develo	at Page , of the Public Records of Miami-Dade County, of the property described in the foregoing instrument, does opment Agreement for the purpose of subjecting the lien and fortgage to the terms of this instrument.			
<i>IN WITNESS WHEREOF</i> , these 2014.	presents have been executed this day of,			
<u>WITNESSES:</u>				
	By:			
Print or Type Name	Print Name: Title: Address:			
Print or Type Name				
	(Corporate Seal)			
STATE OF FLORIDA)) SS			
COUNTY OF MIAMI-DADE)			
The foregoing instrument	was acknowledged before me this day of,			
2017. by	, as the,			
of	, MORTGAGEE, on behalf of the bank. He/She is			
personally known to me or has pr	oduced_, as identification and did/did not take an oath.			
r i j i i i i r	,			

 Notary Public -State of _____

 Print Name _____

My Commission Expires: