

RESOLUTION No. 23-40

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN MODIFICATION FOR EWE WAREHOUSE INVESTMENTS XXXII, LTD. FOR THE PROPERTY LOCATED AT 2525 NW 82 AVENUE, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Article III of Chapter 53 of the Land Development Code of the City of Doral ("City") establishes procedures for Mayor and City Council site plan review and approval; and

WHEREAS, EWE Warehouse Investments XXXII, Ltd. (the "Applicant") is seeking approval to modify a previously approved administrative site plan dated September 2, 2015, subsequently amended by several minor administrative site plan modifications on December 24, 2015, May 25, 2016, August 25, 2016, March 15, 2017, and October 17, 2017 ("Application"), for Legacy at Doral, located at 2525 NW 82 Avenue, further identified by folio number 35-3027-024-0010, as legally described in "Exhibit A" (the "Project"); and

WHEREAS, a zoning workshop was held on September 8, 2022, during which the public was afforded an opportunity to examine the Project and provide feedback; and

WHEREAS, City staff finds that the proposed site plan modification, attached hereto as "Exhibit B," complies with the requirements and standards of the City's Land Development Code and Comprehensive Plan; and

WHEREAS, after notice of public hearing duly published and notifications of all property owners of record within 500-foot radius, a public hearing was held before the Mayor and City Council on March 22, 2023, during which all interested persons were afforded the

opportunity to be heard, and due and proper consideration was given to the matter, including the recommendations contained in the City's Planning and Zoning Staff Report; and

WHEREAS, the City Council reviewed the application for site plan modification, the written and oral recommendations of the Planning and Zoning Department, including the recommended conditions, and hereby finds competent substantial evidence to support a showing by the Applicant that the request for an approval for a site plan modification is in compliance with the City's Land Development Regulations and the Comprehensive Plan, and maintains the basic intent and purpose of the zoning, subdivision or other land use regulations, which is to protect the general welfare of the public, and further finds that the site plan modification application should be granted, subject to the conditions described herein.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

Section 1. Recitals. The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

Section 2. Findings and Conclusions. Based upon an analysis of the site plan modification application and the standards for approval of a site plan modification under the City's Land Development Regulations, the City Council hereby finds and concludes that the Applicant's request for a site plan modification of the previously approved administrative site plan dated September 2, 2015, subsequently amended by several minor administrative site plan modifications on December 24, 2015, May 25, 2016, August 25, 2016, March 15, 2017, and October 17, 2017, as more particularly set forth in "Exhibit B," is in compliance with the Comprehensive Plan and the Land Development

Regulations of the City, and there is substantial competent evidence to support approval of the Application.

Section 3. Approval. The Mayor and City Council hereby approve the site plan modification for Legacy at Doral for the property located at 2525 NW 82 Avenue, further identified by folio number 35-3027-024-0010, as legally described in “Exhibit A,” and as more specifically detailed in “Exhibit B.” The site plan modification consists of a six (6) story residential building consisting of 185 dwelling units and parking structure. A copy of the site plan is provided in “Exhibit B.” The approval of the site plan modification is subject to the following conditions:

1. The Project shall be built in substantial compliance with the plans entitled “Legacy at Doral,” prepared by Corwil Architects, dated stamped received March 6, 2023.
2. The Project shall be landscaped in accordance with the landscape plan, prepared by Witkin Hults + Partners, dated stamped received March 6, 2023 as amended, and included with the site plan submittal.
3. All conditions and approvals enumerated under the original administrative site plan approval dated September 2, 2015, subsequently amended by the minor administrative site plan modifications dated December 24, 2015, May 25, 2016, August 25, 2016, March 15, 2017, October 17, 2017, shall remain in effect, unless modified or deleted as part of the Application and set forth herein.
4. That the Applicant shall provide a perpetual public access easement in recordable form acceptable to the Planning and Zoning Director and acceptable to the City Attorney within 90 days of the approval of the Application, which proffers a 1.5 foot non-exclusive public access easement located within the Property’s west property line, immediately east of the City’s right of way, along NW 82 Avenue, that shall be fully accessible to the public on a 24 hour basis (“Easement”). The maintenance of the Easement shall be the responsibility of the City. The Easement shall provide that subject to the limitations set forth in Chapter 768, Florida Statutes, the City shall indemnify and hold the Applicant harmless from any and all liability which may arise from the general public’s use of the Easement, except to the extent arising from negligence or willful misconduct by the Applicant.

Applicant shall ensure that the easement is open and accessible to the public at all times.

5. No later than one (1) year after the issuance of the certificate of occupancy for the residential building, the Applicant shall install/construct high-visibility crosswalk markings along the north, east-west leg, and on the west, north-south leg of the intersection of NW 82 Avenue and NW 25 Street, and install corresponding pedestrian signals (collectively the "Improvements"), pursuant to section 77-47, "Intersection Improvements" of the City's Land Development Code. The obligation to install/construct the Improvements shall be subject to review and approval by i) the City of Doral Public Works Department, ii) Miami-Dade County Department of Transportation & Public Works (DTPW), (iii) Florida Department of Transportation (FDOT) and iv) other applicable regulatory agency. The Applicant may request no more than two (2) six (6) month extensions to be approved by the City Manager or designee. The Applicant shall have no obligation to perform the improvements if (i) DTPW, FDOT or other applicable regulatory agency does not approve the Improvements, (ii) the Improvements exceed the amount of the Road Impact Fees assessed against the Project, or (iii) the City and/or Miami-Dade County fail to approve a contribution in lieu of credit in the amount of the cost of the Improvements
6. That the Applicant submits for review and approval to Miami-Dade County Department of Transportation and Public Works and City of Doral Public Works Department offsite improvement design plans incorporating a raised median with pavement markings along NW 82 Avenue on NW 27 Street, adjacent to the driveway of the proposed development to avoid vehicles from attempting to make a left turn in the southbound direction towards NW 25 Street. Also, install a right turn only or no left turn sign on the median. Truck turning radius must be maintained. Construction and final inspection must be completed prior to issuance of Temporary Certificate of Occupancy or Certificate of Occupancy.
7. The Public Works Department recommends conditional approval of the Shared Parking Study subject to satisfactorily addressing the comments below:
 - I. Ensure that a new crosswalk is provided that connects the proposed garage with the existing building to provide a safe area for pedestrians to cross (See Condition 10, herein).
 - II. Ensure that delivery trucks have adequate sight distance through the parking lot.
8. That the Applicant comply with the following condition set forth by Miami-Dade County Traffic Engineering Division.
 - I. This application is approved conditionally to the Applicant installing a 6' sidewalk on NW 82 Avenue within the property limits. For the

widening of the northbound receiving lanes on NW 82 Avenue between NW 25 Street and NW 27 Street from one to two lanes, an operational study must be submitted for review and approval.

9. That the Applicant provide details of signage and/or parking space markings to identify the visitor parking visitors (46 spaces) inside the parking structure at time of building permit.
10. That the Applicant provide pedestrian walkway connection from the parking spaces on the west side of "Existing Building (Phase 2)" to connect with the proposed pedestrian connection path of "Phase 3." Pedestrian walkway connections must be stamped asphalt or concrete, or pavers as they cross the drive aisle.
11. That the Applicant comply with Chapter 63, "Green Building Incentives," of the City's Land Development Code at the time of building permit.
12. That the Applicant comply with Chapter 75, "Public Arts Program," of the City's Land Development Code at the time of building permit.
13. That the Applicant comply with the City's Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City's Code.
14. That the Applicant provide the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
15. That the property owner shall maintain the landscaping in the adjacent public rights-of-way to the Property in accordance with Ordinance No. 2021-09, including the "Addapave" material within the 8'x8' tree planter. In the event that the Addapave is replaced with other landscape material, the Applicant shall be required to maintain such material.
16. A Stormwater Pollution Prevention Plan (SWPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, stormwater and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
17. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP), Construction Generic Permit (CGP). If the project is less than one

(1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required. Instruction to request and obtain a CGP can be found at: <http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>.

Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.

18. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 "Noise Ordinance."
19. That the Applicant comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.
20. That the Applicant comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.
21. All applicable local, state and federal permits must be obtained before commencement of the development.
22. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
23. That the Applicant obtains a Certificate of Occupancy and a Certificate of Use from the City upon compliance with all terms and conditions. The Certificate of Occupancy and Certificate of Use shall be subject to cancellation upon violation of any of the conditions.

FAILURE BY THE CITY TO TIMELY ENFORCE ANY OF THE ABOVE CONDITIONS DOES NOT CONSTITUTE A WAIVER OF THE SAME AND IF THE APPLICANT, ITS SUCCESSORS, OR, ASSIGNS, DOES NOT PERFORM SUCH CONDITIONS WITHIN FIVE (5) DAYS AFTER WRITTEN NOTICE, THE CITY RETAINS THE RIGHT TO STOP CONSTRUCTION, IF NECESSARY, UNTIL THAT CONDITION IS MET. THE CITY RESERVES THE RIGHT TO ENFORCE THESE CONDITIONS BY ISSUING A CODE COMPLIANCE CITATION, REVOKING THIS RESOLUTION, AND/OR AVAILING ITSELF OF ANY AND ALL REMEDIES AVAILABLE AT LAW OR IN EQUITY. BY ACTING UNDER THIS APPROVAL, APPLICANT HEREBY CONSENTS TO ALL THESE TERMS AND CONDITIONS.

Section 3. Effective Date. This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Councilmember Cabral who moved its adoption. The motion was seconded by Councilmember Porras and upon being put to a vote, the vote was as follows:

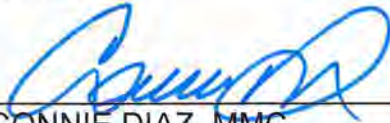
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|-----------------------------|------------------|
| Mayor Christi Fraga | Yes |
| Vice Mayor Rafael Pineyro | Yes |
| Councilwoman Digna Cabral | Yes |
| Councilwoman Maureen Porras | Yes |
| Councilman Oscar Puig-Corve | Absent / Excused |

PASSED AND ADOPTED this 22 day of March, 2023.



CHRISTI FRAGA, MAYOR

ATTEST:



CONNIE DIAZ, MMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



EDWARD DION, ESQ. for
NABORS, GIBLIN & NICKERSON, P.A.
INTERIM CITY ATTORNEY

EXHIBITS

Exhibit "A"
Legal Description

Tract "A" of "NORTON TIRE COMPANY", according to the Plat thereof recorded in Plat Book 127, at Page 90, of the Public Records of Dade County, Florida

LESS:

The Westerly 2.00 feet thereof;

AND LESS:

The external area of a circular curve lying within said Tract "A", being concave to the Northeast, having a radius of 25 feet and tangent to a line 2.00 feet East of and parallel to the West Line of said Tract "A", and tangent to the South Line of said Tract "A".



| ARCHITECTURE | |
|--------------|-----------------------------------|
| SHEET NO. | SHEET NAME |
| A-0.00 | COVER SHEET |
| A-0.01 | AERIAL CONTEXT PLAN |
| A-0.02 | ADJOINING AREA CONTEXT |
| A-0.03 | PHASING DIAGRAM |
| A-0.04 | OPEN SPACE DIAGRAM |
| A-0.05 | BUILDING COVERAGE DIAGRAM |
| A-0.06 | FAR DIAGRAMS |
| A-0.07 | PARKS AND RECREATION AREA DIAGRAM |
| A-0.08 | STREET SECTION |
| A-1.00 | SITE PLAN |
| A-1.01 | SITE DETAILS |
| A-2.01 | GROUND LEVEL FLOOR PLAN |
| A-2.02 | 2ND LEVEL FLOOR PLAN |
| A-2.03 | TYP. 3RD TO 4TH FLOOR PLAN |
| A-2.04 | 5TH LEVEL FLOOR PLAN |
| A-2.05 | 6TH LEVEL FLOOR PLAN |
| A-2.06 | ROOF LEVEL FLOOR PLAN |
| A-4.00 | BUILDING ELEVATIONS |
| A-4.01 | BUILDING ELEVATIONS |
| A-4.02 | COURTYARD ELEVATIONS |
| A-5.00 | RENDERING VIEWS |
| A-5.01 | RENDERING VIEWS |
| A-5.02 | RENDERING VIEWS |
| A-5.03 | RENDERING VIEWS |
| A-5.04 | RENDERING VIEWS |
| A-5.05 | RENDERING VIEWS |
| A-5.06 | RENDERING VIEWS |
| A-5.07 | RENDERING VIEWS |
| A-5.08 | RENDERING VIEWS |
| A-5.09 | RENDERING VIEWS |
| A-5.10 | RENDERING VIEWS |
| A-5.11 | RESIDENTIAL UNIT STOOP |

| CIVIL | |
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| SHEET NO. | SHEET NAME |
| C-1.01 | GENERAL NOTES |
| C-2.01 | STORM WATER POLLUTION PREVENTION NOTES & DETAILS |
| C-2.02 | STORM WATER POLLUTION PREVENTION |
| C-3.01 | EXISTING CONDITIONS AND DEMOLITION |
| C-4.01 | OVERALL SITE PLAN |
| C-4.02 | SITE PLAN |
| C-5.01 | PAVING, GRADING AND DRAINAGE PLAN |
| C-5.02 | PAVING, GRADING AND DRAINAGE DETAILS |

| LANDSCAPE | |
|-----------|---|
| SHEET NO. | SHEET NAME |
| LD-1 | TREE DISPOSITION PLAN |
| L-1 | INDEX |
| L-2 | GROUND FLOOR LANDSCAPE PLAN |
| L-3 | GROUND FLOOR LANDSCAPE PLAN |
| L-4 | INDUSTRIAL SITE LANDSCAPE PLAN BY CABRERA RAMOS ARCHITECTS... |
| L-5 | INDUSTRIAL SITE LANDSCAPE PLAN BY CABRERA RAMOS ARCHITECTS... |
| L-6 | POOL DECK LANDSCAPE PLAN |
| L-7 | LANDSCAPE DETAILS |

| PHOTOMETRICS | |
|--------------|--------------------------------------|
| SHEET NO. | SHEET NAME |
| L-1.01 | LIGHTING PHOTOMETRIC PLAN |
| L-1.02 | LIGHTING PHOTOMETRIC DETAIL (1 OF 4) |
| L-1.03 | LIGHTING PHOTOMETRIC DETAIL (2 OF 4) |
| L-1.04 | LIGHTING PHOTOMETRIC DETAIL (3 OF 4) |
| L-1.05 | LIGHTING PHOTOMETRIC DETAIL (4 OF 4) |

| SURVEY | |
|-----------|--------------|
| SHEET NO. | SHEET NAME |
| S-1 | SURVEY NOTES |
| S-2 | SURVEY |

DEVELOPER
EWE WAREHOUSE
INVESTMENT XXXII, LTD

SITE PLAN SUBMITTAL
FEBRUARY 22nd, 2023

LEGACY AT DORAL

2525 NW 82ND AVENUE, DORAL, FL. 33122

TRAFFIC
ENGINEERING



3 BENTWOOD ROAD
PALM BEACH GARDENS, FL. 33418

CIVIL
ENGINEERING



201 ALHAMBRA CIR. STE. 800
CORAL GABLES, FL. 33134

LANDSCAPE
ARCHITECTURE



307 S. 21ST. AVENUE
HOLLYWOOD, FL. 33020

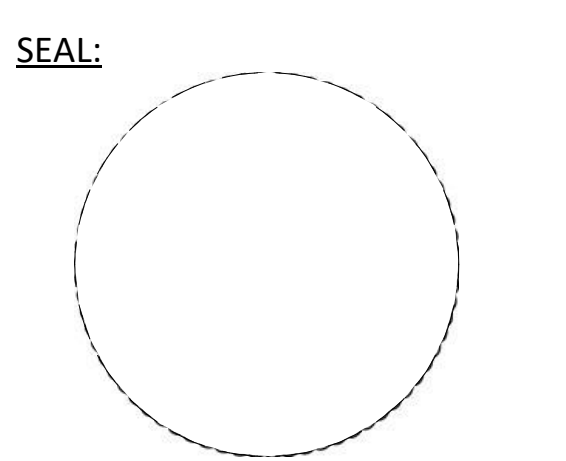


CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL, 33146
QUALIFIER LIC. NO. AR0016003 T:305.448.7383

AERIAL CONTEXT PLAN

PHASE:
**SITE PLAN
 SUBMITTAL**

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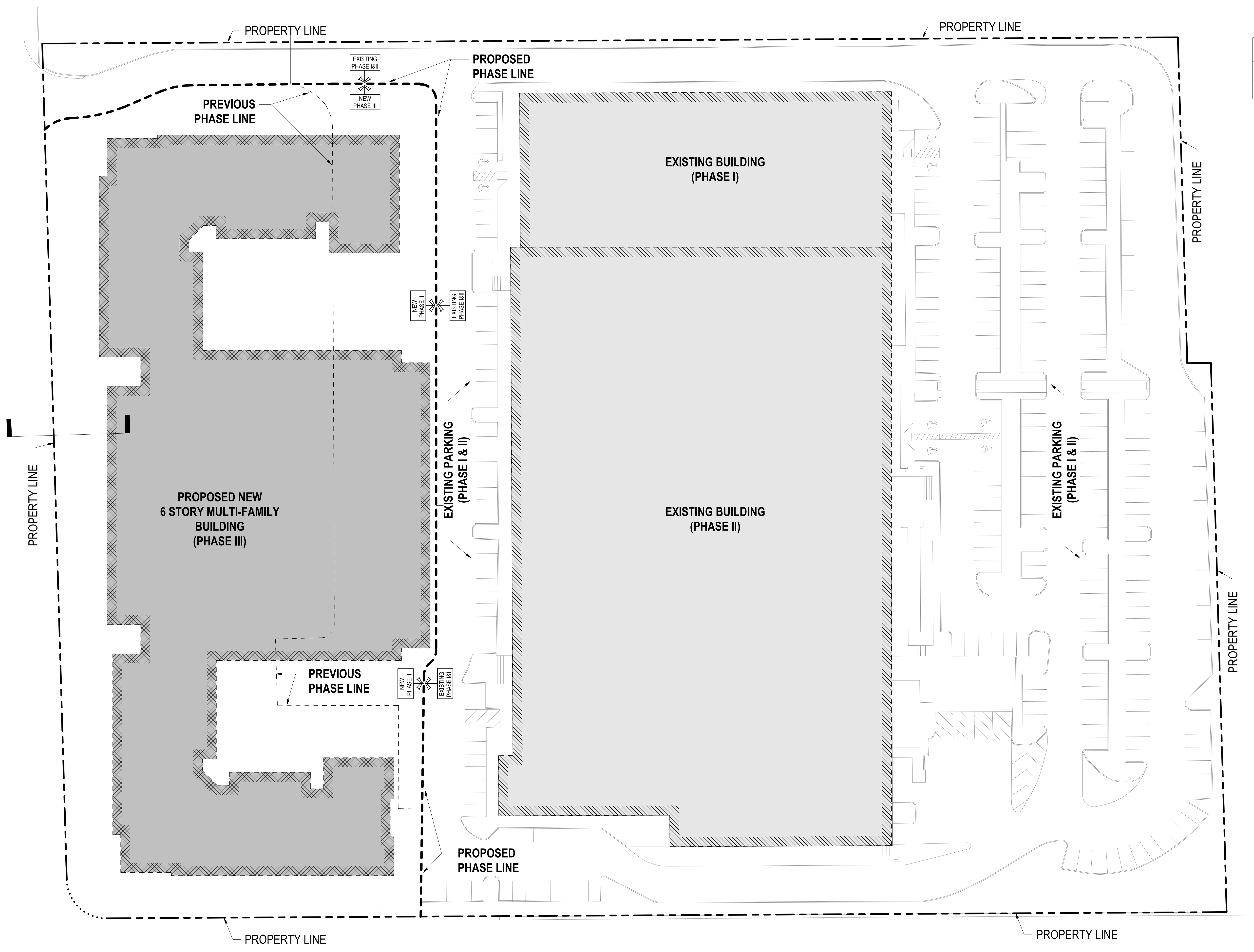
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AERIAL CONTEXT PLAN
 SCALE: N.T.S



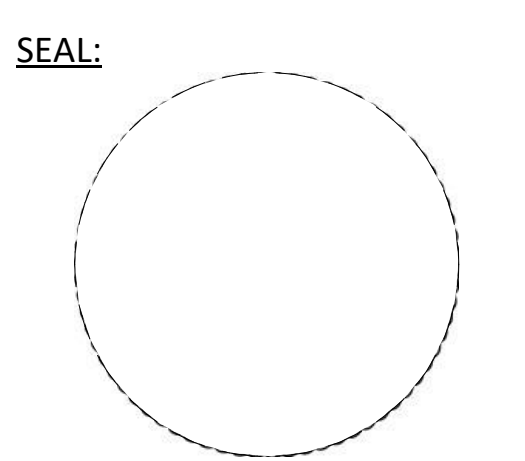
FOOTPRINT LEGEND

| | |
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| | DENOTES PROPOSED 6 STORY BUILDING |
| | DENOTES EXISTING BUILDING |

PHASING DIAGRAM

PHASE:
**SITE PLAN
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PHASING DIAGRAM
SCALE: 1" = 30'-0"

DATE: 05/27/2022
JOB No.: 2021-21
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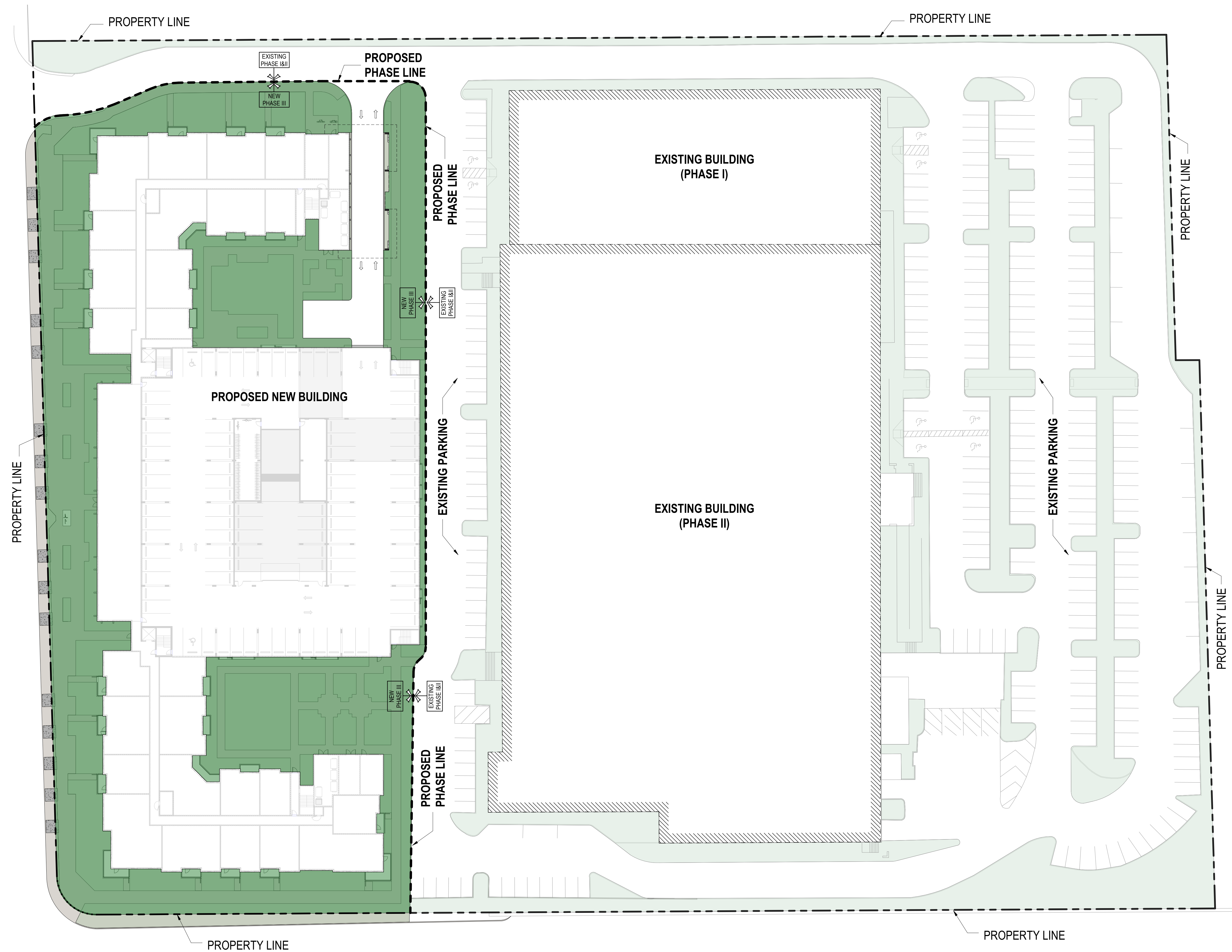
PROJECT:

LEGACY AT DORAL

2525 NW 82ND AVENUE,
 DORAL, FL. 33122

OWNER:

**EWE WAREHOUSE
 INVESTMENT XXXII, LTD**



OPEN SPACE CALCULATIONS

■ PROPOSED OPEN SPACE
 ▨ EXISTING BUILDING FOOTPRINT FOR REFERENCE
 — PROPOSED BUILDING FOOTPRINT FOR REFERENCE

| EXISTING PHASES | NEW PROPOSED PHASE |
|--------------------------------|-------------------------|
| 51,650 S.F. | 49,740 SF |
| OVERALL TOTAL PROPOSED: | 101,390 SF (25%) |
| MINIMUM REQUIRED: | 40,416 SF (10%) |

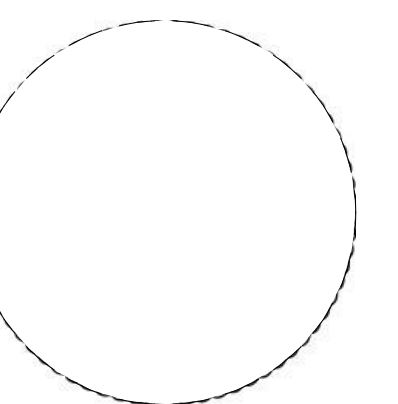
OPEN SPACE DIAGRAM

PHASE:

**SITE PLAN
 SUBMITTAL**

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SEAL:



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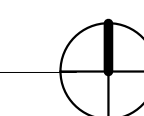
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OPEN SPACE AREA DIAGRAM

SCALE: 1" = 30'-0"





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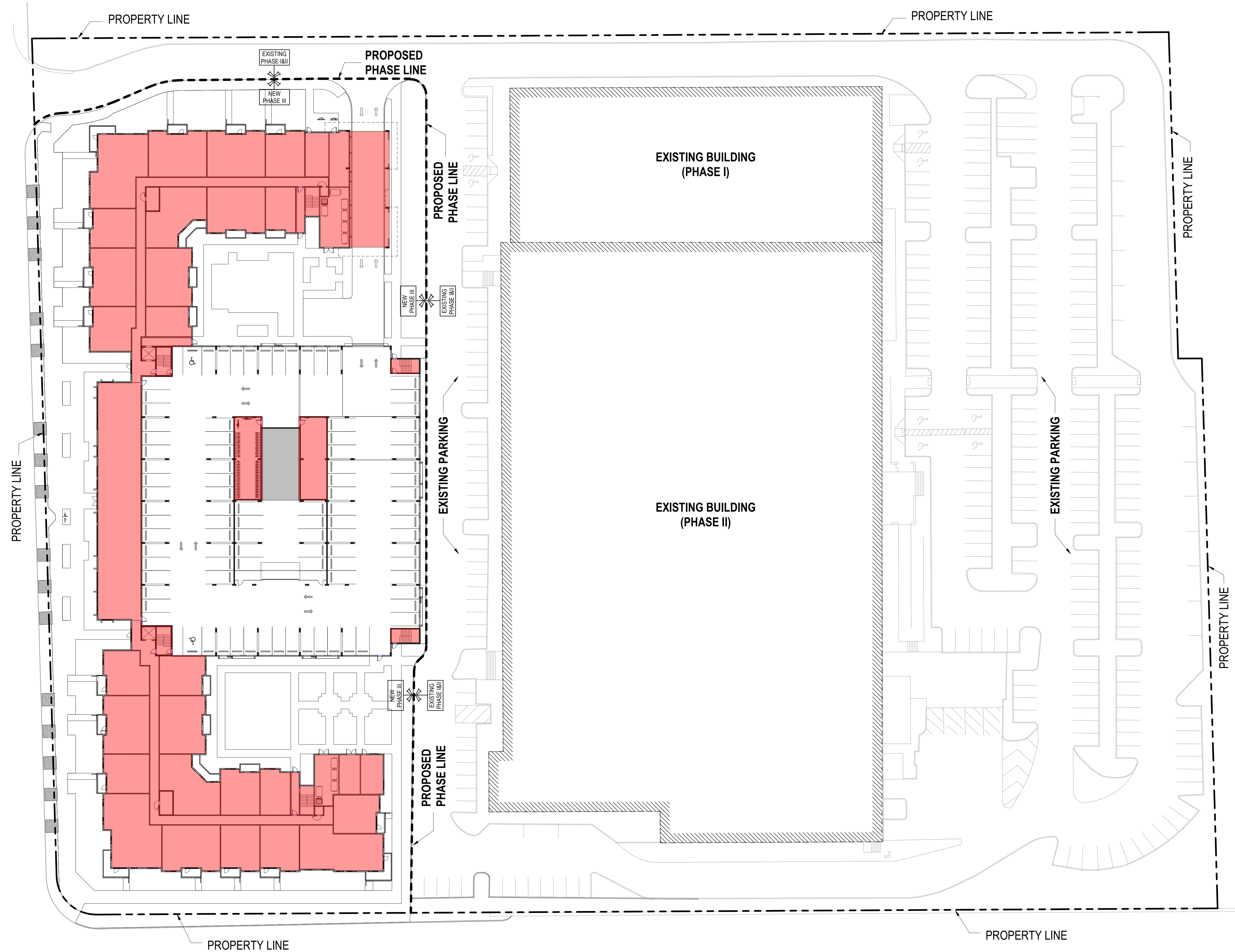
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LEGACY AT DORAL

2525 NW 82ND AVENUE,
 DORAL, FL. 33122

OWNER:

**EWE WAREHOUSE
 INVESTMENT XXXII, LTD**



BUILDING COVERAGE CALCULATIONS

EXISTING BUILDING COVERAGE FOR REFERENCE
 NEW PROPOSED BUILDING COVERAGE

| EXISTING BUILDING | NEW PROPOSED BUILDING |
|-------------------------|---------------------------|
| 112,085 S.F. | 39,551 SF |
| OVERALL TOTAL: | 151,636 SF (37.5%) |
| MAXIMUM ALLOWED: | 343,535 SF (85.0%) |

BUILDING COVERAGE DIAGRAM

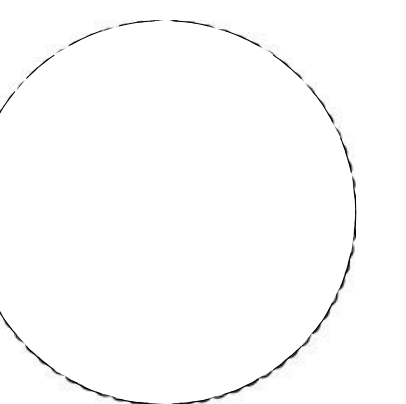
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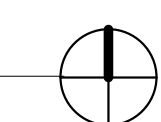
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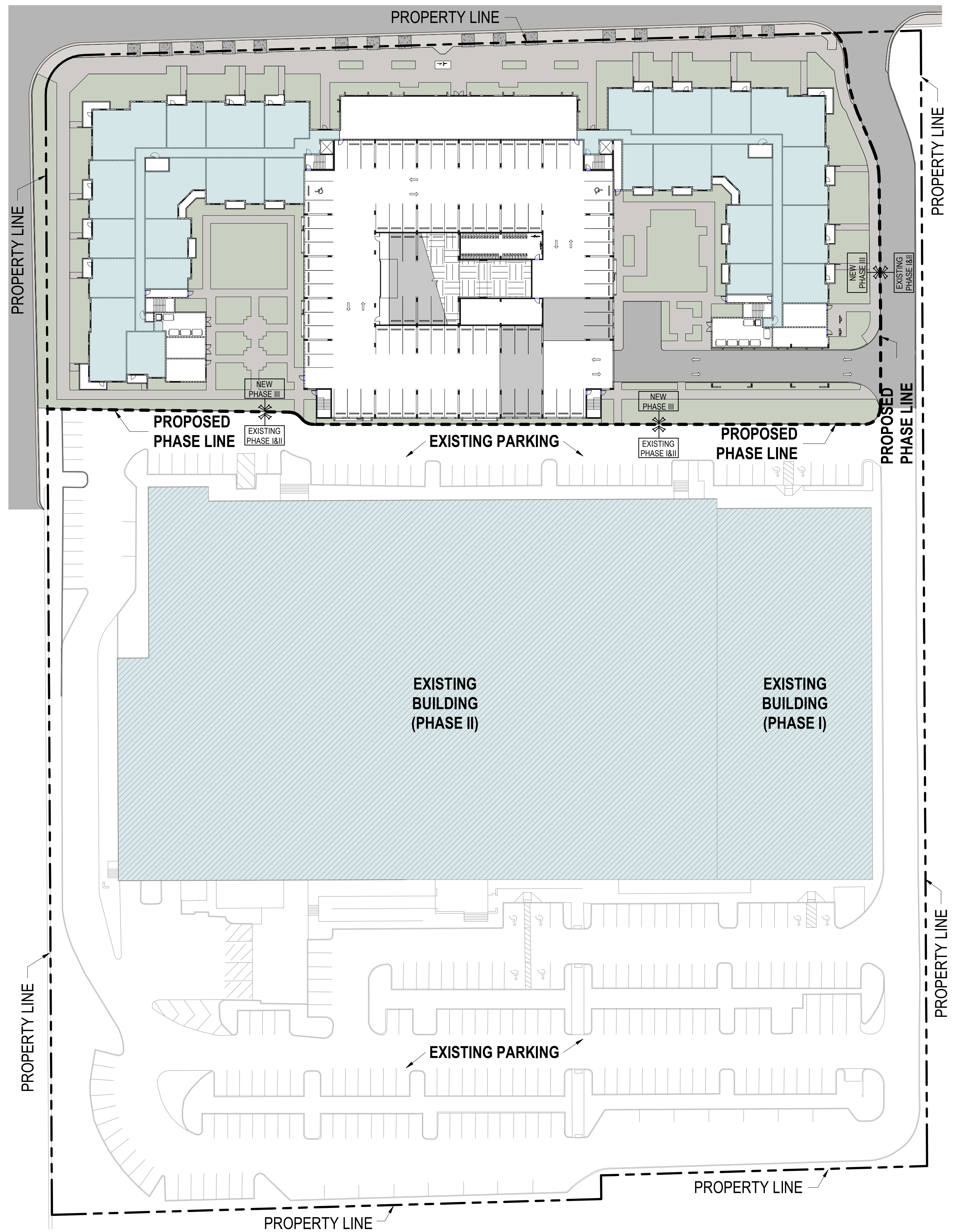
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BUILDING COVERAGE AREA DIAGRAM

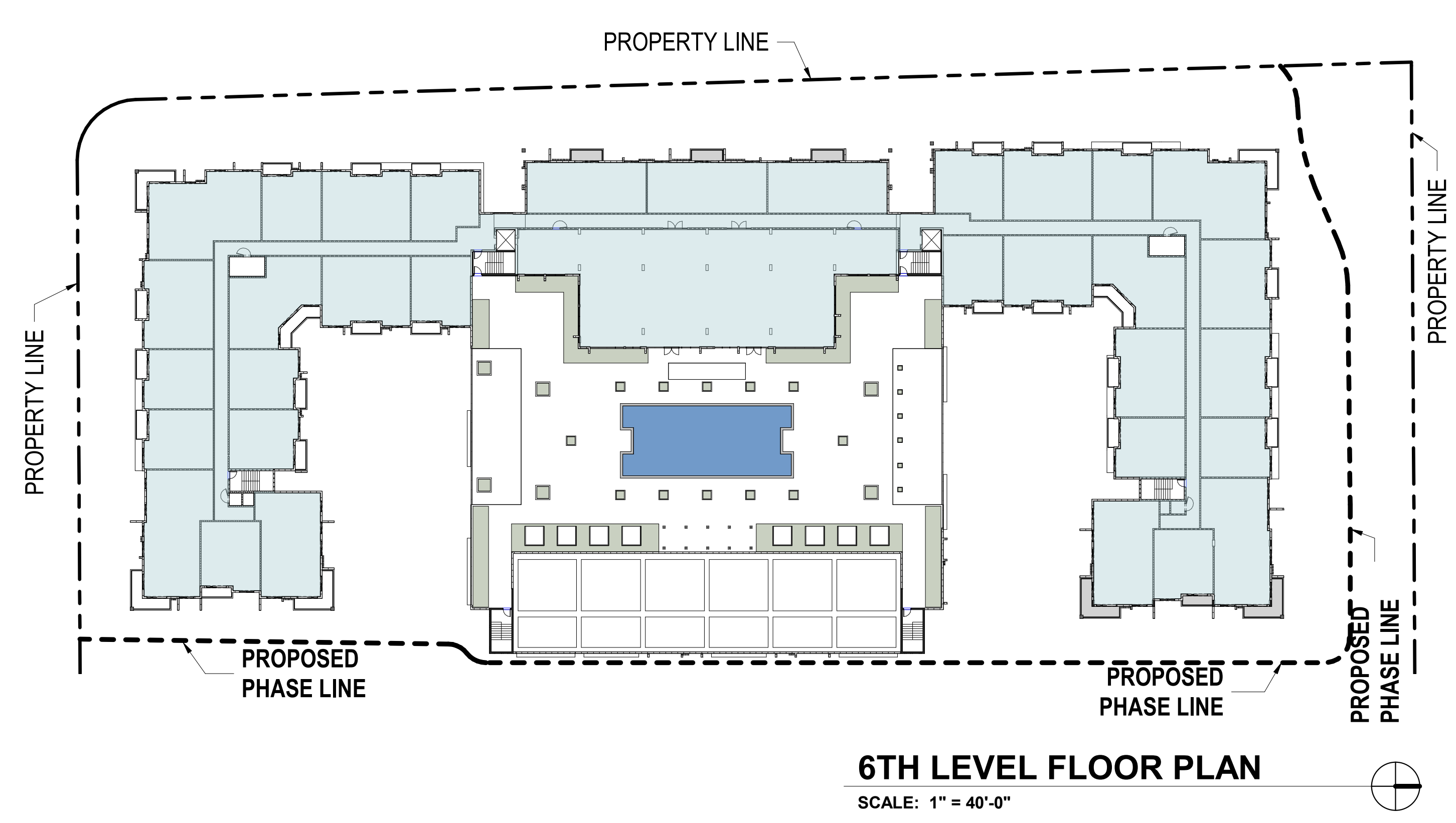
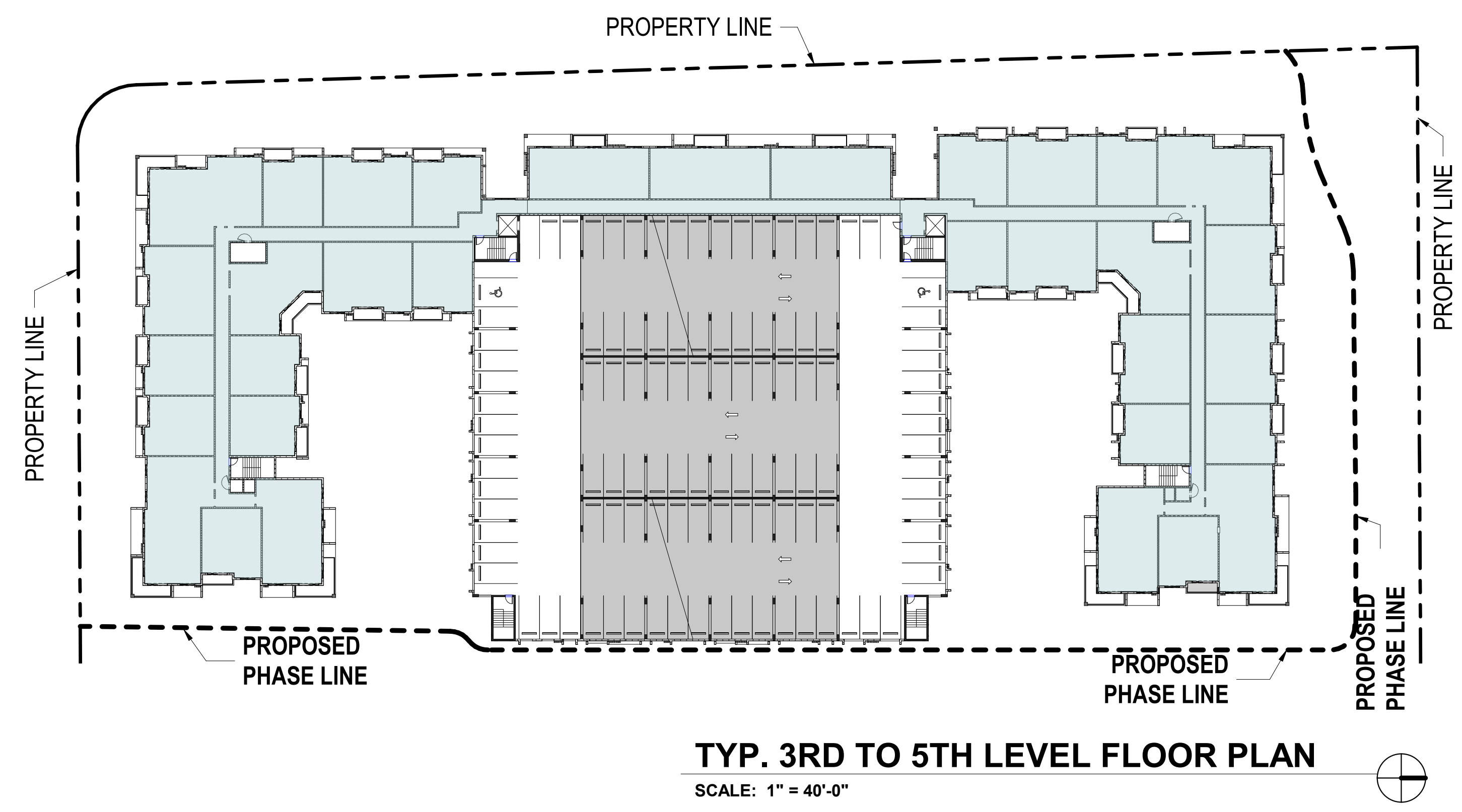
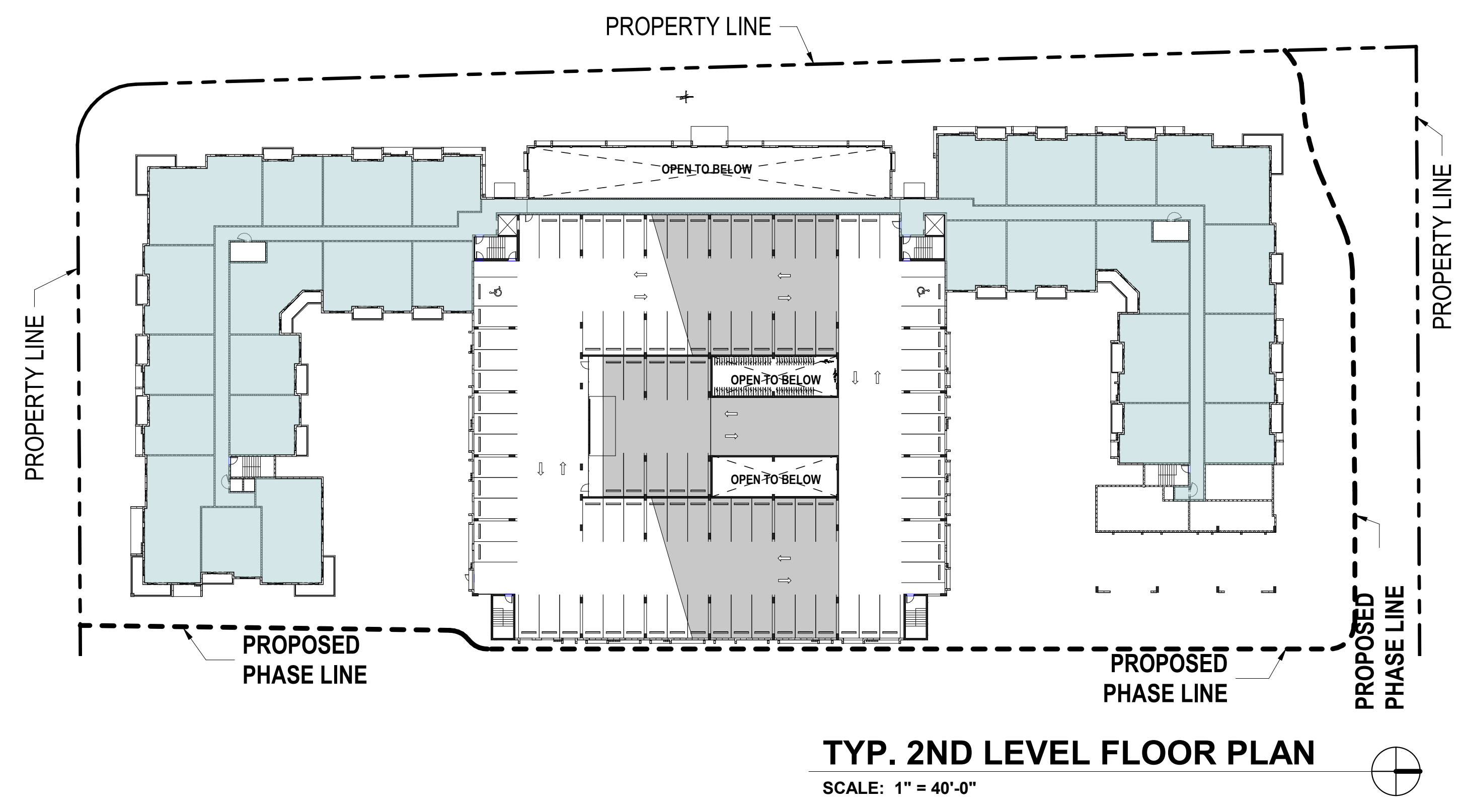
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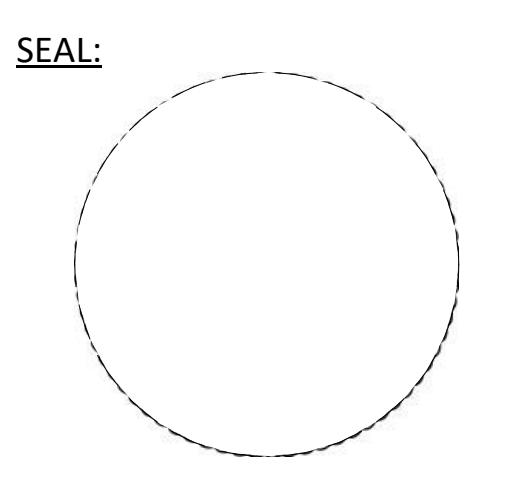
| FAR CALCULATIONS | | |
|--|-------------------|-----------|
| EXISTING PHASES | NEW PROPOSED | |
| 112,085 S.F. | GROUND FLOOR | 26,990 SF |
| | | |
| | | |
| OVERALL TOTAL: | 139,075 SF | |
| MAX FAR ALLOWED AT GROUND LEVEL (0.85) | 343,535 SF | |

| FAR CALCULATIONS | | |
|---|-------------------|-----------|
| EXISTING PHASES | NEW PROPOSED | |
| N/A | 2ND FLOOR | 29,545 SF |
| | 3RD FLOOR | 36,005 SF |
| | 4TH FLOOR | 36,005 SF |
| | 5TH FLOOR | 36,005 SF |
| | 6TH FLOOR | 42,142 SF |
| OVERALL TOTAL: | 179,702 SF | |
| MAX FAR ALLOWED ABOVE GROUND LEVEL (0.65) | 343,535 SF | |



PHASE:
**SITE PLAN
SUBMITTAL**

| REVISIONS | | |
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CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL, 33146
QUALIFIER LIC. NO. AR0016003 T:305.448.7383

PROJECT:

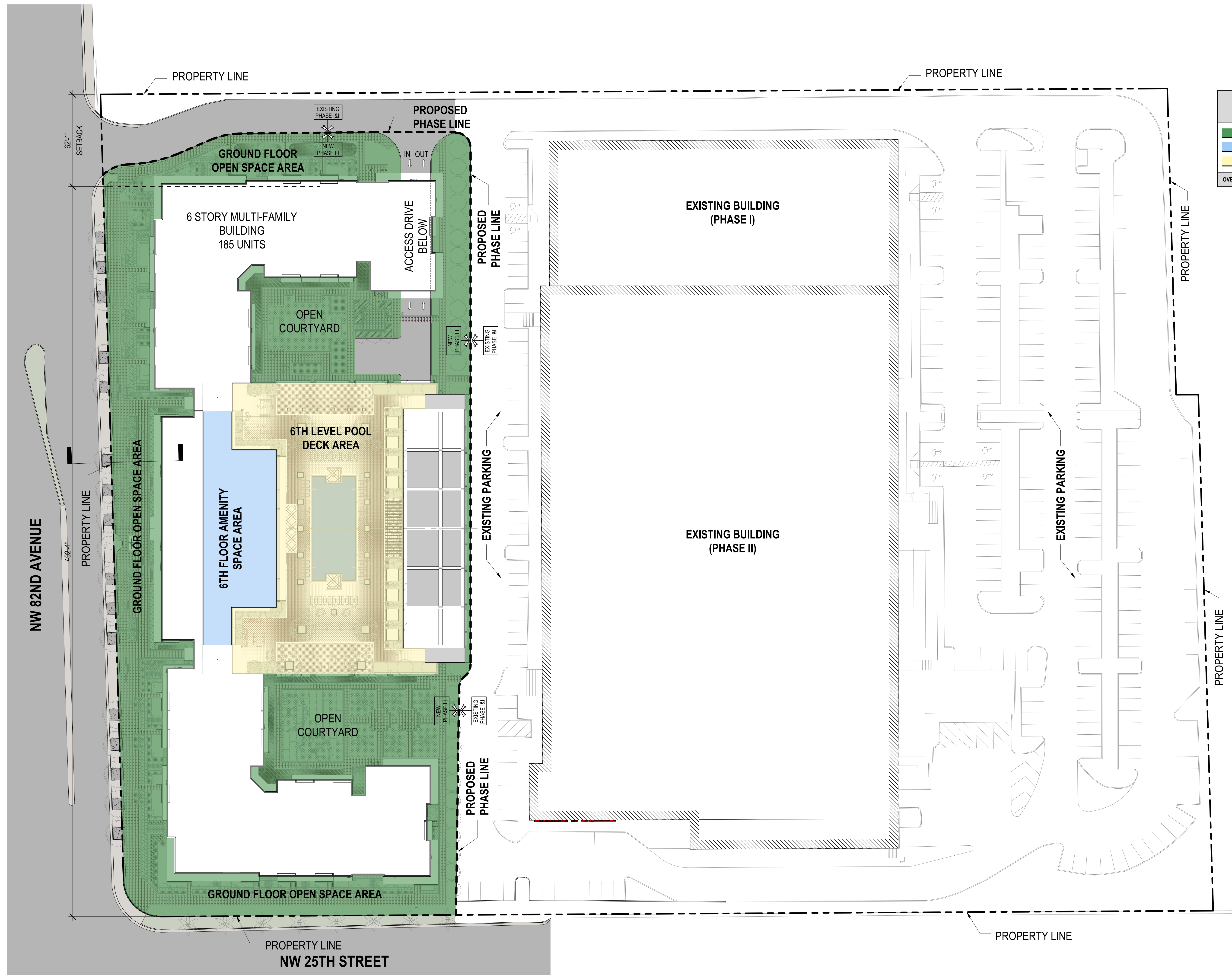
LEGACY AT DORAL

2525 NW 82ND AVENUE,
DORAL, FL. 33122

OWNER:

EWE WAREHOUSE
INVESTMENT XXXII, LTD

| PARKS & RECREATION AREA CALCULATION | |
|--|------------------|
| GROUND FLOOR OPEN SPACE AREA: | 48,410 SF |
| 6TH FLOOR AMENITY SPACE AREA: | 6,274 SF |
| 6TH FLOOR POOL DECK AREA: | 20,154 SF |
| OVERALL TOTAL: | 76,244 SF |



PARKS AND RECREATION AREA DIAGRAM

SCALE: 1" = 30'-0"

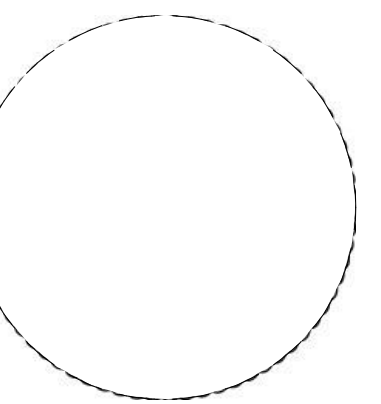
PARKS AND RECREATION AREA DIAGRAM

PHASE:

SITE PLAN
SUBMITTAL

| REVISIONS | | |
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| Revision # | Revision Description | Date |
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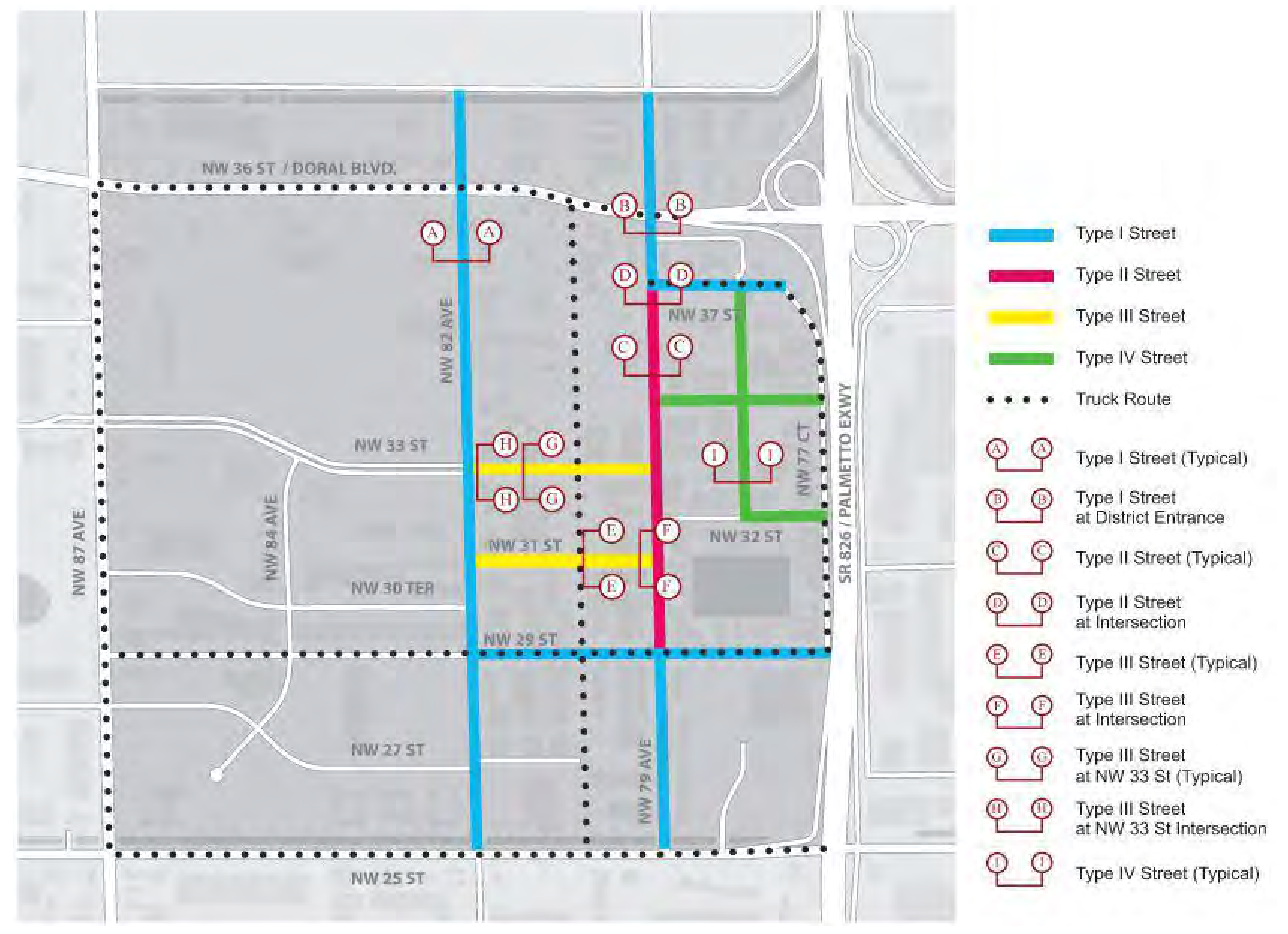


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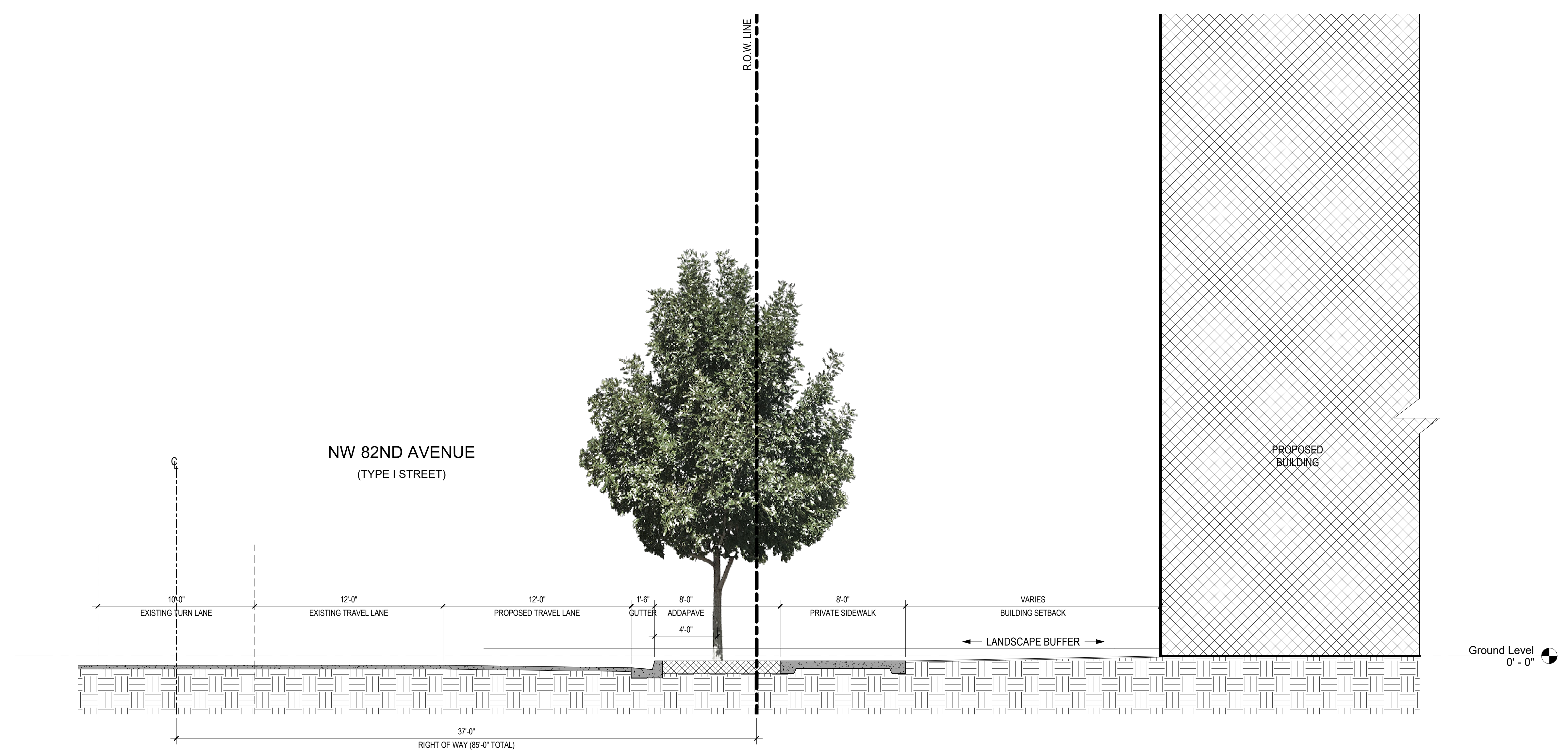
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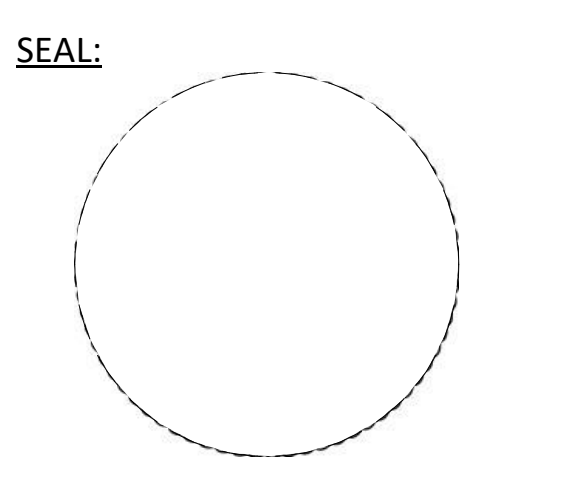
- █ Type I Street
- █ Type II Street
- █ Type III Street
- █ Type IV Street
- - - - Truck Route
- A A Type I Street (Typical)
- B B Type I Street at District Entrance
- C C Type II Street (Typical)
- D D Type II Street at Intersection
- E E Type III Street (Typical)
- F F Type III Street at Intersection
- G G Type III Street at NW 33 St (Typical)
- H H Type III Street at NW 33 St Intersection
- I I Type IV Street (Typical)

STREET SECTION



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| REVISIONS | | |
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| Revision # | Revision Description | Date |
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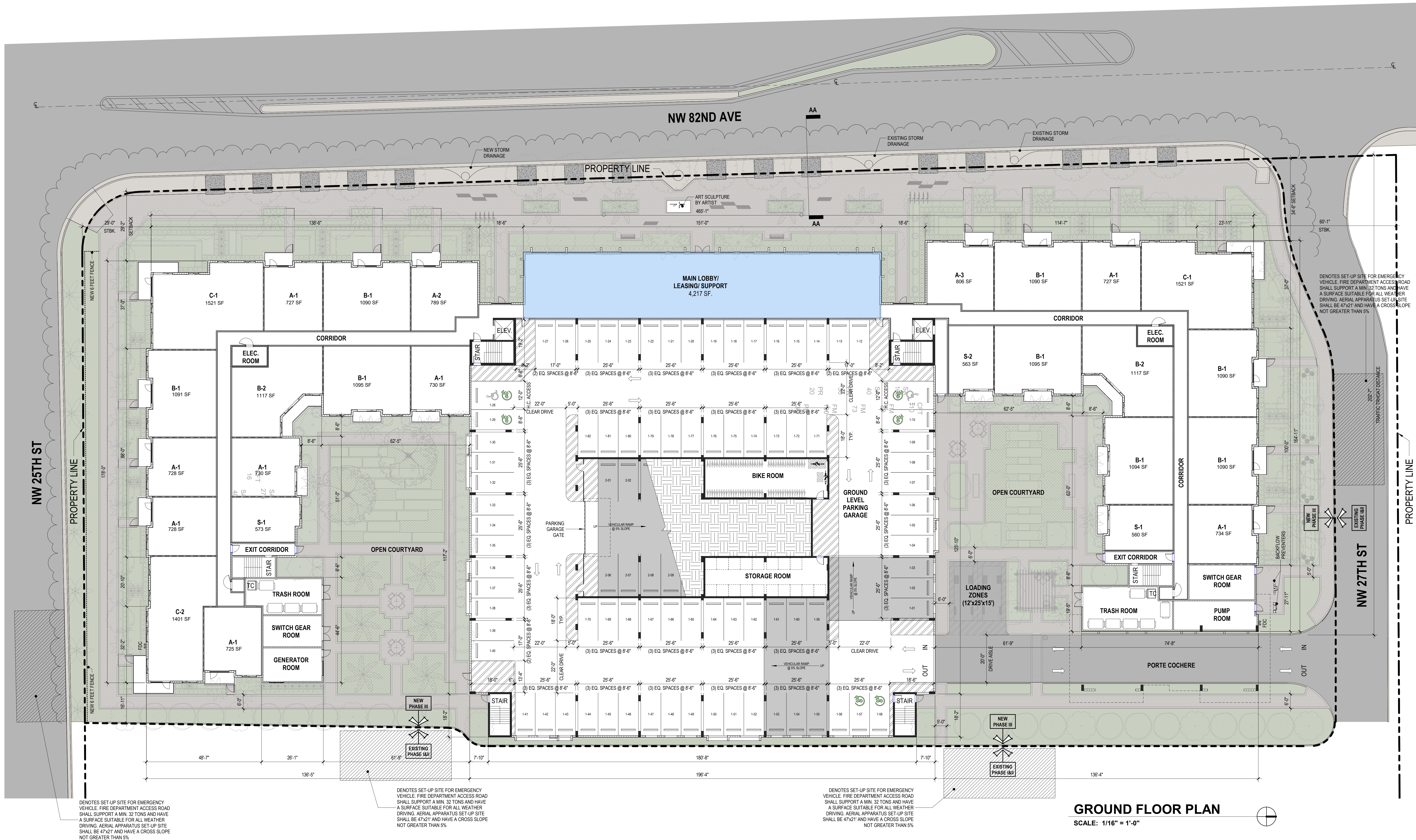


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AA DISTRICT TYPE-I STREET SECTION
 SCALE: 1/4" = 1'-0"

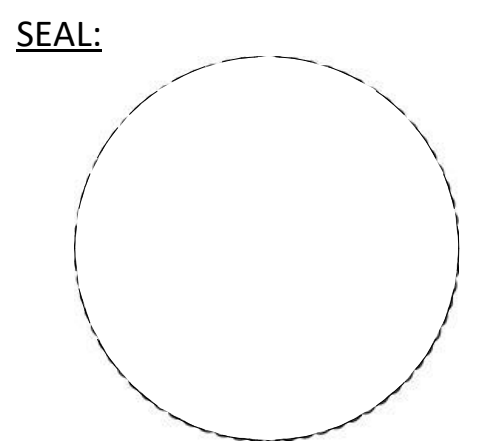
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A-0.08



GROUND LEVEL FLOOR PLAN

PHASE:
**SITE PLAN
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| REVISIONS | | |
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A-2.01

GROUND FLOOR PLAN
 SCALE: 1/16" = 1'-0"

| PROPOSED FLOOR AREA BREAKDOWN | |
|-------------------------------|----------------|
| LEVEL | AREA (SF) |
| GROUND LEVEL | 69,915 |
| 2ND LEVEL | 63,402 |
| 3RD LEVEL | 71,700 |
| 4TH LEVEL | 65,532 |
| 5TH LEVEL | 38,568 |
| 6TH LEVEL | 44,821 |
| TOTAL | 353,938 |

| EXISTING FLOOR AREA BREAKDOWN | |
|-------------------------------|----------------|
| PHASE I (SF) | PHASE II (SF) |
| 22,845 | 89,240 |
| TOTAL: | 112,085 |

| SITE LEGEND | |
|-------------|--------------------|
| | STREET PAVEMENT |
| | CONCRETE SIDEWALKS |
| | GREEN AREAS |

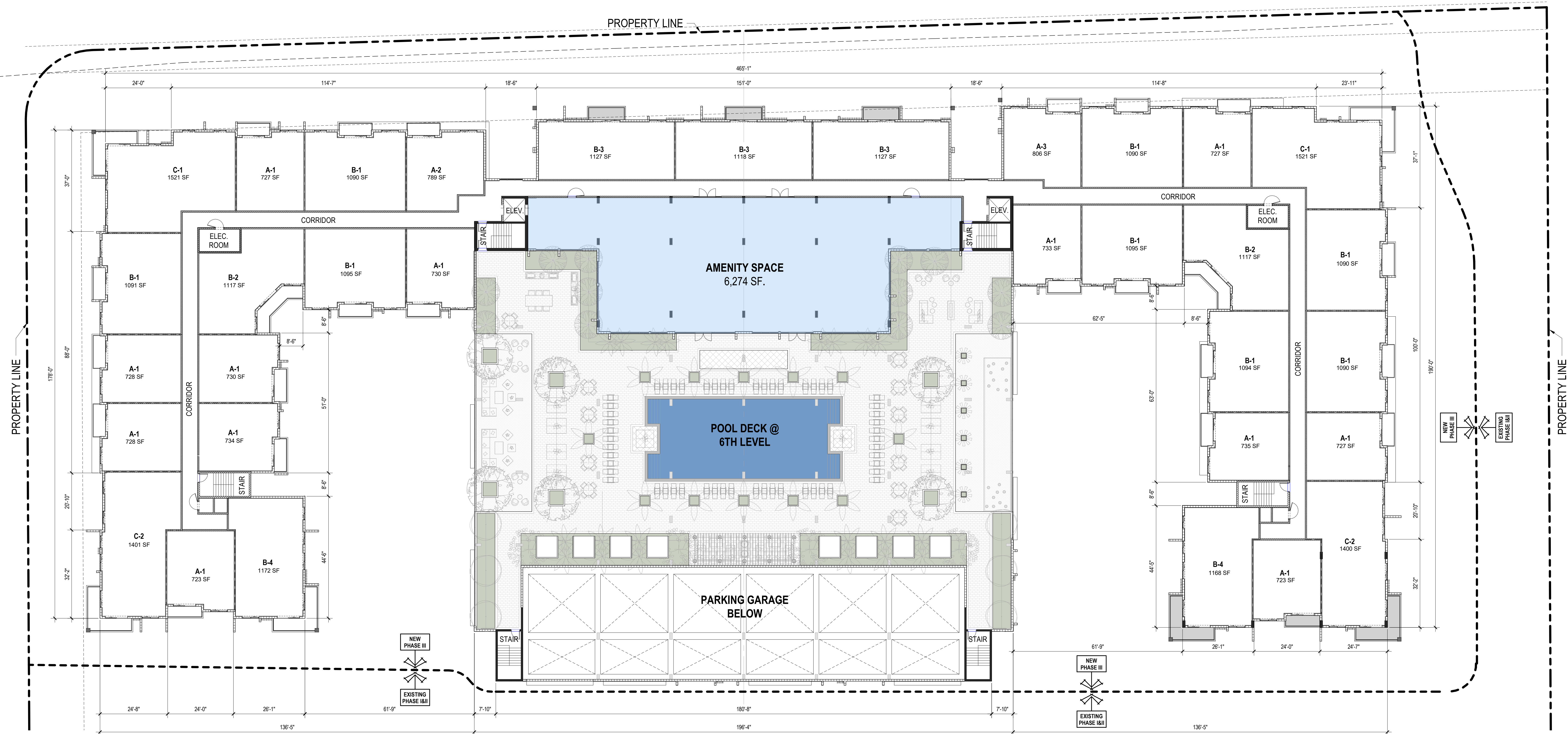
PROJECT:

LEGACY AT DORAL

2525 NW 82ND AVENUE,
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OWNER:

**EWE WAREHOUSE
 INVESTMENT XXXII, LTD**



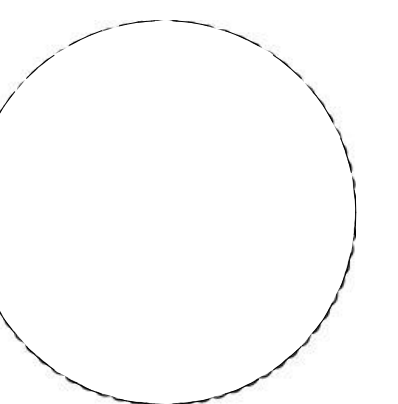
6TH LEVEL FLOOR PLAN

PHASE:

**SITE PLAN
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| REVISIONS | | |
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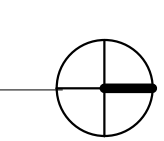
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SHEET NUMBER:

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6TH LEVEL FLOOR PLAN

SCALE: 1/16" = 1'-0"



| PROPOSED FLOOR AREA BREAKDOWN | |
|----------------------------------|----------------|
| LEVEL | AREA (SF) |
| GROUND LEVEL | 69,915 |
| 2ND LEVEL | 63,402 |
| 3RD LEVEL | 71,700 |
| 4TH LEVEL | 65,532 |
| 5TH LEVEL | 38,568 |
| 6TH LEVEL | 44,821 |
| TOTAL | 353,938 |



CORWIL ARCHITECTS
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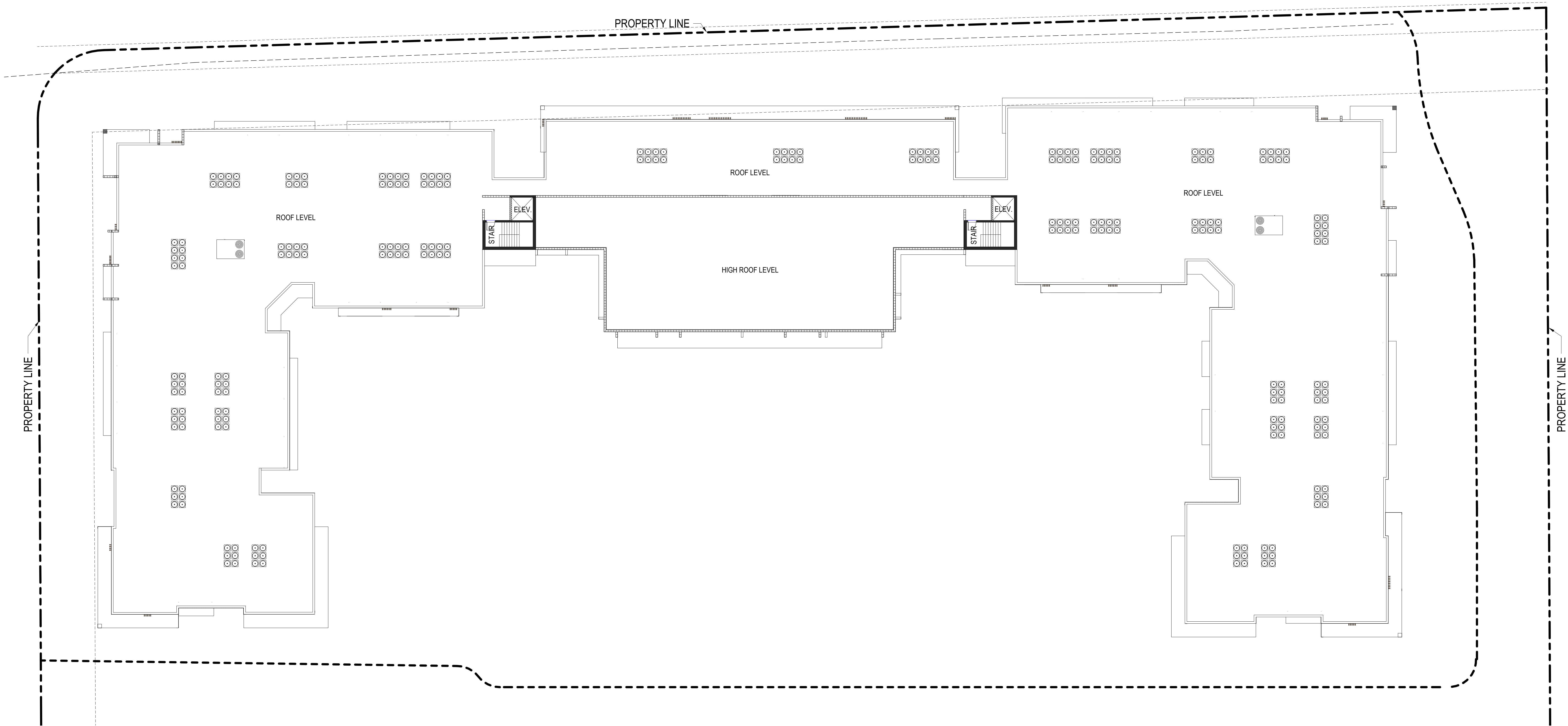
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ROOF LEVEL FLOOR PLAN

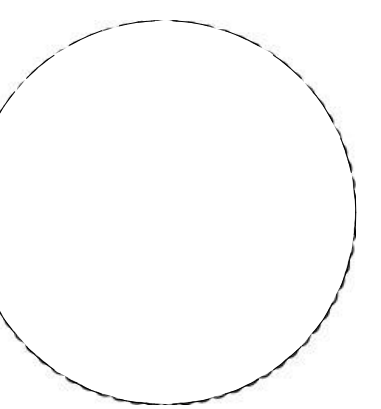
ROOF LEVEL FLOOR PLAN
 SCALE: 1/16" = 1'-0"

PHASE:

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LEGACY AT DORAL

2525 NW 82ND AVENUE,
DORAL, FL. 33122

OWNER:

**EWE WAREHOUSE
INVESTMENT XXXII, LTD**

BUILDING ELEVATIONS



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



NORTH ELEVATION

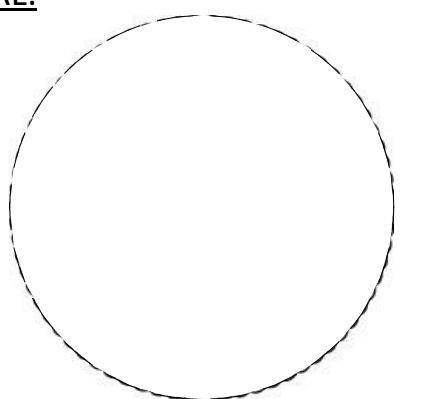
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BUILDING ARCHITECTURE REGULATIONS

SECTION 86-25.

AT LEAST TWO OF THE FOLLOWING METHODS SHALL BE USED ON ALL FACADES OF A BUILDING:

- (1) A MINIMUM STEP BACK (RECESS) OR PROJECTION OF THE FACADE THREE FEET OR MORE FOR AT LEAST 25 PERCENT OF THE FACADE AREA.
- (X) ARCHITECTURAL DESIGN ELEMENTS, SUCH AS PORCHES, CANOPIES, TOWERS, DORMERS, BAY WINDOWS, BALCONIES, AND DISTINCTIVE ENTRY FEATURES THAT PROVIDE DEPTH TO THE FACADE BY BREAKING UP A MINIMUM OF 25 PERCENT OF THE FACADE AREA.
- (X) VARIATION OF ROOF AND/OR ROOF WALL HEIGHT TO VISUALLY BREAK UP AT LEAST 25 PERCENT OF THE FACADE, SUCH AS BY USE OF MULTIPLE ROOF, ROOF PITCHES, DORMERS, AND/OR PARAPET HEIGHTS.
- (X) HORIZONTAL AND/OR VERTICAL VARIATION IN TEXTURE, OR MATERIALS AND ARCHITECTURAL DETAILING WITH ELEMENTS, SUCH AS CORNICES, FRIEZES, RELIEFS, DENTILS, ARCHITRAVES, PEDIMENTS, PILASTERS, FREST, QUOINS, CORBELS, TO DISTINGUISH FLOORS AND ADJOINING UNITS OR TO SIGNIFY VARIOUS ELEMENTS OF THE BUILDING.

SECTION 86-26.

- (X) BUILDING FACADES FACING MAJOR ROADWAYS AND PEDESTRIAN CORRIDORS SHALL INCORPORATE APPROPRIATE ARCHITECTURAL FEATURES TO ENHANCE THE AESTHETIC ENVIRONMENT.
- (X) THESE FEATURES MUST CONFORM TO THE CHOSEN STYLE OF THE BUILDING, AND MUST INCLUDE CORNICE DETAILING, ORNAMENTATION, MOLDINGS, CHANGES IN MATERIALS AND TEXTURES, COLOR VARIATIONS, AND OTHER ARCHITECTURAL SCULPTING THAT ENHANCES THE GROUND LEVEL AND ADDS INTEREST AND APPEAL TO THE BUILDING'S EXTERIOR.
- (X) ARCHITECTURAL DETAILING IS HIGHLY DESIRED AND RECOMMENDED.

SECTION 86-27.

- (X) BUILDING FACADES SHALL INCORPORATE ARCHITECTURAL FEATURES THAT ENHANCE THE AESTHETIC QUALITY OF THE BUILT ENVIRONMENT.
- (X) MATERIALS USED SHALL COMPLEMENT THE ARCHITECTURAL STYLE OF THE BUILDING.
- (X) CITY HIGHLY ENCOURAGES FACADE MATERIALS THAT VARY IN TEXTURE AND TYPE TO ACCENTUATE ENTRANCES, EXITS, WINDOWS, CORNERS, LEVEL CHANGES, AND OTHER ARCHITECTURAL FEATURES.

SECTION 86-28.

- (X) BUILDING ENTRANCES OR ENTRY FEATURES SHALL BE EASILY IDENTIFIED/VISIBLE FROM THE MAJOR STREET AND PROPORTIONATE TO THE SCALE OF THE BUILDING DESIGN THROUGH THE USE OF BUILDING ELEMENTS SUCH AS:
 - (X) RECESSED OR PROJECTED ENTRYWAYS, CANOPIES, PORCHES, OR PORTICOS.
 - (X) VARYING ROOFLINES.
 - (X) CHANGES IN MATERIAL AND/OR COLOR.
- (X) BUILDING ENTRANCES SHALL PROVIDE A PEDESTRIAN CONNECTION (SIDEWALK, PAVED CROSSWALKS) TO THE ADJOINING PUBLIC SIDEWALK OR STREET AND THE PRIVATE PARKING AREA.
- (X) ALL BUILDINGS SHALL BE ORIENTED AND/OR DESIGNED IN SUCH A WAY THAT REAR YARD OF THE BUILDING SHALL NOT FACE THE PUBLIC LOCAL AND QUARTER-SECTION LINE ROADWAYS.

SECTION 86-29.

- (X) WINDOWS AND DOORS SHALL BE DEFINED WITH DECORATIVE DETAILS SUCH AS FRAMES, SILLS, LINTELS, SHUTTERS, PLANTERS, RELIEF TRIMS, OR MOLDINGS. TRIM OR MOLDING SHALL BE AT LEAST FOUR INCHES OF NOMINAL WIDTH TO QUALIFY AS A SPECIAL ELEMENT.

ELEVATION LEGEND

- | | |
|---|---|
| <ul style="list-style-type: none"> 1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED) 2 LIGHT TEXTURE CEMENT PLASTER SIDING AT 8" O.C. 1" WIDE X1/4" DEEP CONTINUOUS LINE. 3 DECORATIVE ALUMINUM SLATS (WOOD LOOK) 4 BALCONY/ TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS. 5 CONCRETE PROJECTION SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS. 6 CMU/CONCRETE VERTICAL PROJECTION WALL WITH LIGHT TEXTURE CEMENT PLASTER FINISH TYP. 7 CMU/CONCRETE PARAPET WALL. 60" HIGH TYP. 8 42" HT. A.F.F. BALCONY MESH GUARDRAIL SYSTEM SHALL REJECT 4" DIA. SPHERE 9 42" HT. A.F.F. CAT II IMPACT GLASS GUARDRAIL SYSTEM SHALL REJECT 4" DIA. SPHERE | <ul style="list-style-type: none"> 10 HORIZONTAL SLIDING WINDOW W/ BOTTOM FIXED GLASS PANEL ALUMINUM FRAME & IMPACT RESISTANT GLASS GRAY-TINTED GLASS (TYP.) 11 SLIDING GLASS DOORS. ALUMINUM FRAME & IMPACT RESISTANT GLASS. GRAY-TINTED GLASS (TYP.) 12 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.) 13 IMPACT RESISTANT GLASS/ALUMINUM DOOR 14 IMPACT RESISTANT METAL DOOR 15 IMPACT RESISTANT MECHANICAL LOUVER 16 GARAGE WALL OPENINGS. MIN. 42" HT. A.F.F. 17 GARAGE ENTRANCE 18 STAIR/ELEVATORS BULKHEAD 19 POTENTIAL LOCATION FOR BACKFLOW PREVENTORS 20 CONCRETE COLUMN W/ LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED) |
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PROJECT:

LEGACY AT DORAL

2525 NW 82ND AVENUE,
 DORAL, FL. 33122

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SOUTHWEST CORNER

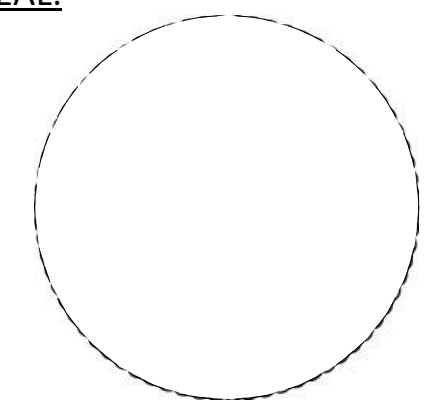
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PROJECT:

LEGACY AT DORAL

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SOUTH FACADE

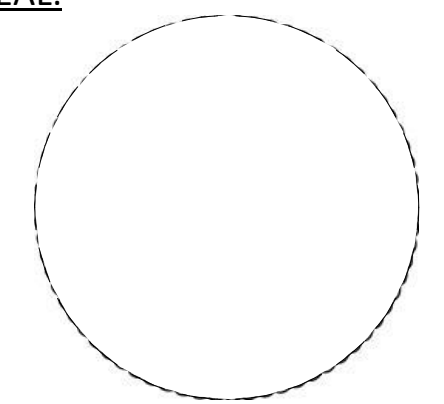
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CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL, 33146
QUALIFIER LIC. NO. AR0016003 T:305.448.7383

PROJECT:

LEGACY AT DORAL

2525 NW 82ND AVENUE,
DORAL, FL. 33122

OWNER:

**EWE WAREHOUSE
INVESTMENT XXXII, LTD**



WEST FACADE

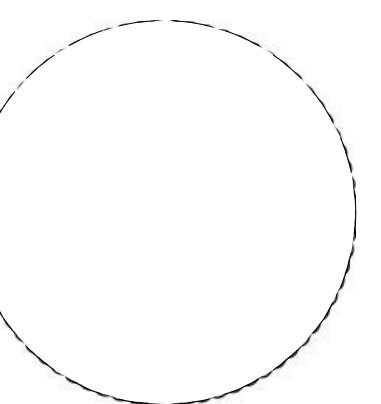
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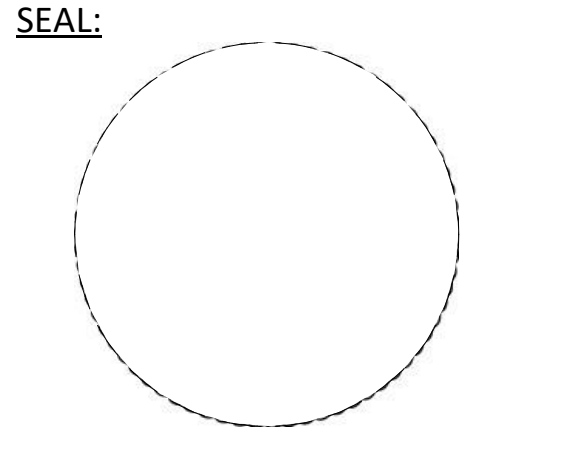


WEST FACADE

RENDERING VIEWS

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RENDERING VIEWS



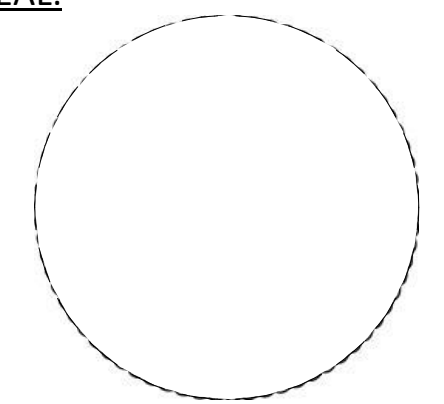
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PROJECT:
LEGACY AT DORAL
 2525 NW 82ND AVENUE,
 DORAL, FL. 33122

OWNER:
**EWE WAREHOUSE
 INVESTMENT XXXII, LTD**



NORTHWEST CORNER

RENDERING VIEWS

PHASE:
**SITE PLAN
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CORWIL ARCHITECTS
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PROJECT:

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**EWE WAREHOUSE
 INVESTMENT XXXII, LTD**



WEST FACADE

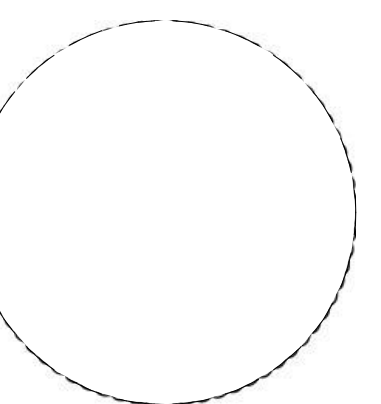
RENDERING VIEWS

PHASE:

**SITE PLAN
 SUBMITTAL**

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A-5.06



CORWIL ARCHITECTS
4210 LAGUNA ST. CORAL GABLES FL, 33146
QUALIFIER LIC. NO. AR0016003 T:305.448.7383

PROJECT:

LEGACY AT DORAL

2525 NW 82ND AVENUE,
DORAL, FL. 33122

OWNER:

**EWE WAREHOUSE
INVESTMENT XXXII, LTD**



WEST FACADE

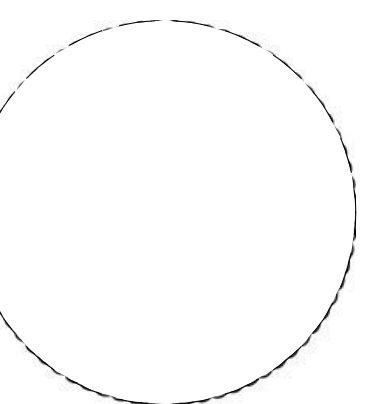
RENDERING VIEWS

PHASE:

**SITE PLAN
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WEST FACADE

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WEST FACADE

PROJECT:

LEGACY AT DORAL

2525 NW 82ND AVENUE,
 DORAL, FL. 33122

OWNER:

**EWE WAREHOUSE
 INVESTMENT XXXII, LTD**

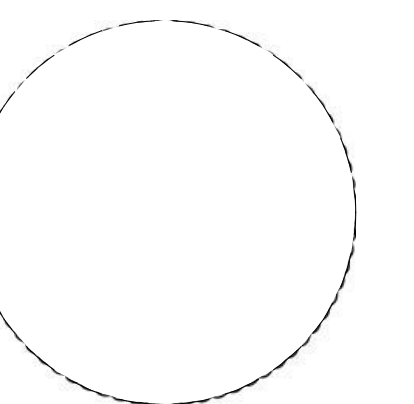
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PHASE:

**SITE PLAN
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RENDERING VIEWS

COURTYARD

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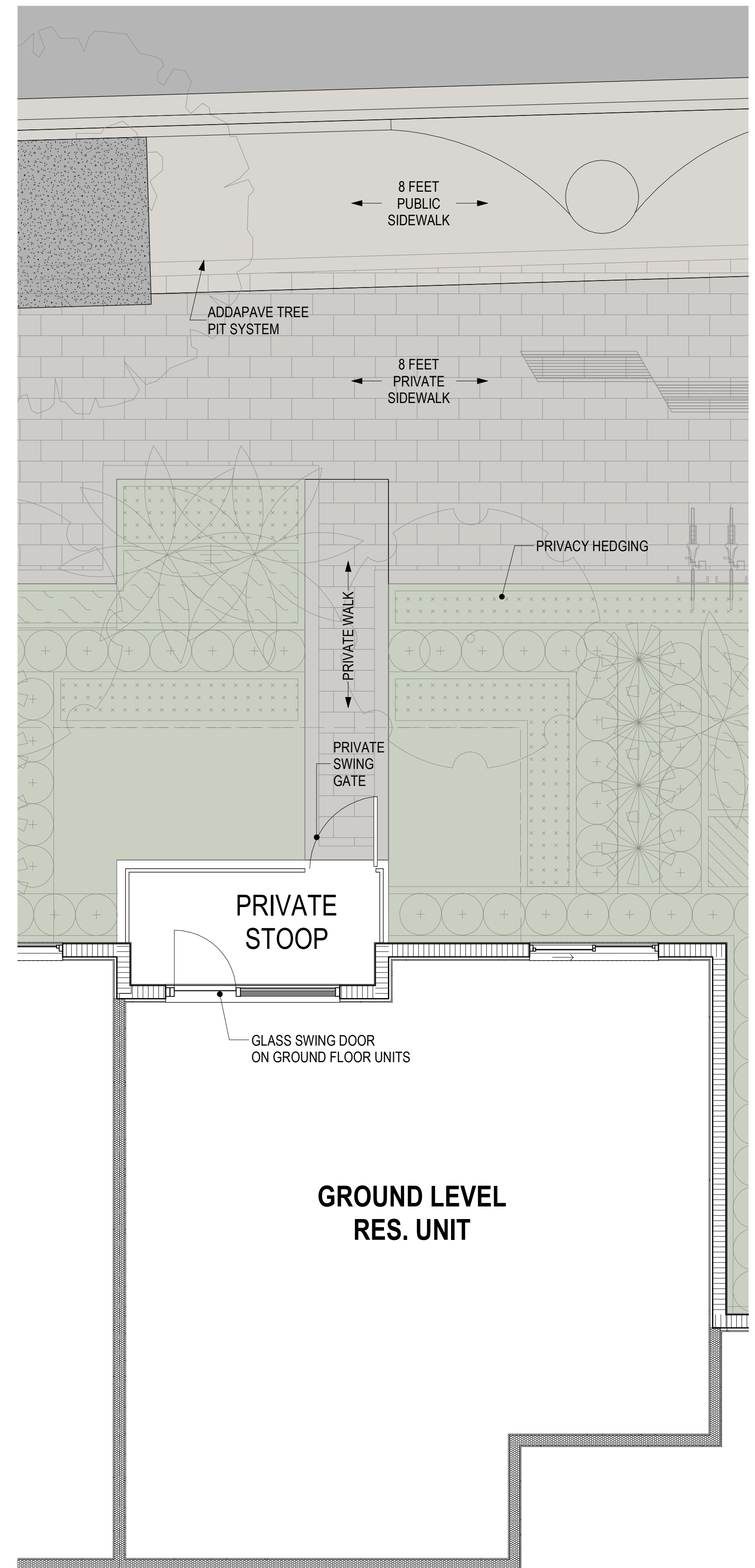
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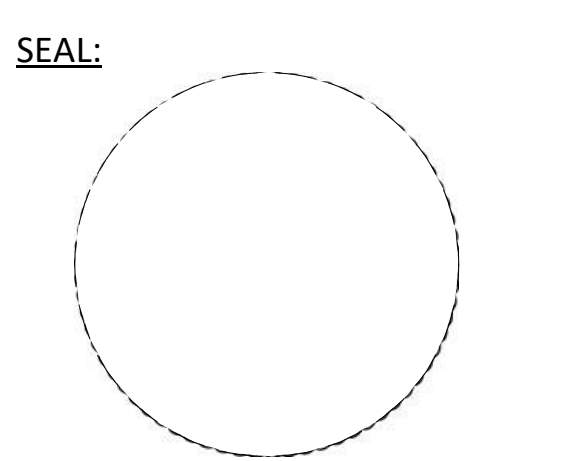
TYP. RESIDENTIAL PRIVATE STOOP VIEW



TYP. RESIDENTIAL PRIVATE STOOP PLAN

PHASE:
**SITE PLAN
 SUBMITTAL**

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A-5.11

CONSTRUCTION NOTES

- ALL CONSTRUCTION ASSOCIATED WITH THIS PROJECT SHALL BE IN ACCORDANCE WITH APPLICABLE CODES OF AUTHORITIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE FLORIDA ADMINISTRATIVE CODE 62-955 & 62-610 AND ALL LOCAL AGENCIES INCLUDING: CITY OF DORAL, MIAMI-DADE COUNTY, AND FLORIDA DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR GETTING FAMILIARIZED WITH THE PROJECT SITE TO DETERMINE TOPOGRAPHIC OR UNDERGROUND FEATURES THAT WILL BE IMPACTED FROM AND DUE TO CONSTRUCTION. THE CONTRACTOR'S BID PRICE SHALL INCLUDE THE COST OF RELOCATING, ADJUSTING AND OR REPLACING IN KIND ANY FEATURES IMPACTED INCLUDING BUT NOT LIMITED TO TREES, UTILITY BOXES, SIGNAGE, POSTS, FENCES, GATES, HYDRANTS, POLES, VALVES, ETC. FINAL DISPOSITION OF IMPACTED FEATURE SHALL BE SUBJECT TO ACCEPTANCE OF OWNER OR AGENCY OR AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING TREES, STRUCTURES AND UTILITIES, WHICH MAY OR MAY NOT BE SHOWN ON PLANS/DRAWINGS.
- CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL AT LEAST (72) HOURS PRIOR TO PERFORMING ANY EXCAVATION / DIGGING TO VERIFY THE EXACT LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH EXISTING UTILITY OWNERS AND COMPANIES FOR TEMPORARY AND/OR PERMANENT RELOCATION AND ADJUSTMENT TO FACILITATE CONSTRUCTION.
- THE LOCATION & SIZE OF EXISTING UTILITIES SHOWN ON THESE PLANS/DRAWINGS ARE APPROXIMATE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH UTILITIES AGENCIES PRIOR TO BEGINNING CONSTRUCTION. ALL CONFLICTS WITH EXISTING UTILITIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. THIS IS CONSIDERED INCIDENTAL TO OVERALL CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REPORTING ANY DISCREPANCIES RELATING TO SITE CONDITIONS.
- CONTRACTOR SHALL TAKE ADEQUATE MEASURES TO ENSURE SAFETY WHEN WORKING IN THE VICINITY OF OVERHEAD ELECTRICAL, TELEPHONE, COMMUNICATIONS AND OTHER UTILITIES.
- UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES OPEN, UNCOVERED, EXPOSED AND UNATTENDED TO.
- CONTRACTOR SHALL KEEP THE SITE FREE OF DEBRIS, TRASH AND CONSTRUCTION WASTES. DEBRIS STOCKPILED FOR HAULING SHALL BE STORED AND SHALL BE ADEQUATELY MARKED AT ALL TIMES FOR TRAFFIC AND PEDESTRIAN SAFETY.
- THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK. CLEAN ALL INSTALLED PIPELINES, STRUCTURES, SIDEWALKS, PAVED AREAS, ACCUMULATED SILT IN PONDS, PLUS ALL ADJACENT AREAS AFFECTED BY CONSTRUCTION, AS DIRECTED BY THE OWNER OR JURISDICTIONAL AGENCY. EQUIPMENT TO CLEAN THESE SURFACES SHALL BE SUBJECT TO APPROVAL BY THE OWNER.
- CONSTRUCTION HOURS AND NOISE CONTROL SHALL COMPLY WITH LOCAL JURISDICTIONAL ORDINANCES, CODES AND REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL PAVEMENT MARKINGS WITH NEW STRIPING IN THEIR PRE-CONSTRUCTION LOCATIONS. THE CONTRACTOR SHALL SURVEY THE LOCATIONS, DIMENSIONS, COLOR AND OTHER RELEVANT CHARACTERISTICS OF THE EXISTING PAVEMENT MARKINGS PRIOR TO CONSTRUCTION. FINAL PAVEMENT MARKING SHALL BE AS SPECIFIED BY THE RESPONSIBLE LOCAL JURISDICTION, OWNER AND EOR. ALL CONSTRUCTION EFFORTS AND EXPENSES TO RESTORE DAMAGED OR IMPACTED MARKINGS SHALL BE ASSUMED INCLUDED IN THE CONTRACTOR'S BID PRICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING DAMAGED ALL TRAFFIC & NON-TRAFFIC SIGNAGE WITH NEW SIGNS IN THEIR PRE-CONSTRUCTION LOCATIONS AND CONDITIONS. THE CONTRACTOR SHALL SURVEY THE LOCATIONS, DIMENSIONS, COLOR AND OTHER RELEVANT CHARACTERISTICS OF THE EXISTING SIGNS PRIOR TO CONSTRUCTION. ALL CONSTRUCTION EFFORTS AND EXPENSES TO REPLACE DAMAGED OR IMPACTED SIGNS SHALL BE ASSUMED INCLUDED IN THE CONTRACTOR'S BID PRICE.
- DEWATERING OPERATIONS REQUIRED FOR CONSTRUCTION SHALL BE APPROVED AND PERMITTED BY LOCAL JURISDICTIONAL AGENCY /AGENCIES AND AUTHORITY/AUTHORITIES. COST OF DEWATERING AND PERMITTING EXPENSES SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- ALL AREAS IMPACTED BEYOND THE CONSTRUCTION LIMITS, SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER AND SHALL BE ACCEPTED BY RESPONSIBLE OWNER, JURISDICTION OR AGENCY.
- IN THE EVENT CONTAMINATED MATERIALS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY EOR, OWNER AND APPLICABLE REGULATORY AND JURISDICTIONAL AGENCY OR AGENCIES.
- WHERE NEW PAVEMENT MEETS EXISTING, THE CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE & FLUSH WITH EXISTING PAVEMENT.
- ALL ELEVATIONS SHOWN ON THE PLANS/DRAWINGS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. BENCHMARKS USED ARE THOSE IDENTIFIED ON THE SURVEY PREPARED BY ABRAHAM HADAD, PSM (DATED 04/27/2022).
- SURVEY MONUMENTS WITHIN THE LIMITS OF THE PROJECT SHALL BE PROTECTED AND SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT CONSTRUCTION IS EXECUTED SAFELY AND IN STRICT COMPLIANCE WITH ALL REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATORY ORDINANCES.
- THE CONTRACTOR SHALL UTILIZE A STREET SWEEPER (USING WATER) OR OTHER LOCAL JURISDICTION APPROVED EQUIPMENT FOR CONTROLLING AND REMOVING DUST.
- THE CONTRACTOR SHALL MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES UNLESS OTHERWISE APPROVED BY REGULATORY AUTHORITIES.
- THE CONTRACTOR SHALL NOT ENCROACH INTO PRIVATE PROPERTY WITH PERSONNEL, MATERIAL AND EQUIPMENT.
- ALL EXISTING MANHOLE COVERS, TOPS, CATCH BASIN GRATES, VALVE BOX TOPS, AND OTHER UTILITY CASTINGS SHALL BE ADJUSTED TO MATCH FINISH GRADE.
- CONTRACTOR SHALL VERIFY THE PRESENCE OF HISTORICAL AND CULTURAL ARTIFACTS AND RESOURCES ON THE SITE PRIOR TO CONSTRUCTION. IF PRESENT, THE CONTRACTOR SHALL CONTACT THE LOCAL JURISDICTIONAL AGENCY, OWNER AND EOR.
- NO STAGING OR ACTIVITIES SHALL BE PERFORMED WITHIN THE DRIP LINE OF EXISTING TREES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION. PRIOR TO SUBMISSION, THE CONTRACTOR SHALL THOROUGHLY CHECK SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES FOR COMPLETENESS AND FOR COMPLIANCE WITH THE CONSTRUCTION PLANS/DRAWINGS AND SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL COORDINATE THE SHOP DRAWINGS WITH THE REQUIREMENTS FOR OTHER RELATED WORK. THE CONTRACTOR'S RESPONSIBILITY FOR ERRORS AND OMISSIONS IN SUBMITTALS IS NOT RELIEVED BY THE ENGINEER'S REVIEW OF SUBMITTALS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD, IN WRITING AT THE TIME OF SUBMISSION, OF DEVIATIONS IN SUBMITTALS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION TESTING. INCLUDING BUT NOT LIMITED TO:
 - PIPING AND STRUCTURAL EXCAVATION, BEDDING AND BACKFILL MATERIALS AND DENSITY TESTS.
 - DETERMINATION OF COMPACTIVE EFFORT NEEDED FOR COMPLIANCE WITH THE DENSITY REQUIREMENTS
 - CONCRETE AND ASPHALT PAVING INCLUDING DESIGN MIX REVIEW, MATERIALS, FIELD SLUMP AND AIR CONTENT, AND FIELD AND LAB CURED STRENGTH SAMPLES AND TESTING.
- IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TESTING OR APPROVALS FOR ANY WORK (OR ANY PART THEREOF) IF LAWS OR REGULATIONS OF ANY PUBLIC BODY HAVING JURISDICTION SPECIFICALLY REQUIRE TESTING, INSPECTIONS OR APPROVAL. THE CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION THEREWITH AND SHALL FURNISH THE OWNER AND ENGINEER THE REQUIRED CERTIFICATES OF INSPECTION, TESTING OR APPROVAL.
- ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER, APPROVED IN WRITING AND COMPLYING WITH THE LATEST EDITION OF THE "RECOMMENDED REQUIREMENTS FOR INDEPENDENT LABORATORY QUALIFICATION", AND PUBLISHED BY THE AMERICAN COUNCIL OF INDEPENDENT LABORATORIES.
- TESTING RESULTS SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS.
- CONTRACTOR SHALL BE AWARE THAT DRAWING SCALE SHOWN ON THE PLANS/DRAWINGS CORRESPOND TO A PLOT SIZE ESTABLISHED FOR THE PROJECT. IF DRAWING IS PLOTTED ON OTHER SHEET SIZE, THE EOR, DOES NOT WARRANT ACCURACY OF DRAWING SCALE.

35. AS-BUILT DRAWING REQUIREMENTS

- AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER THREE WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A FLORIDA LICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PARTY.
- AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL DELIVER THE DRAWINGS DOCUMENTING AS-BUILT INFORMATION, MEASURED BY A LICENSED SURVEYOR. TO THE ENGINEER, IN GOOD CONDITION AND FREE FROM ANY EXTRANEOUS NOTATION. THE AS-BUILT INFORMATION IS TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS FOR ALL UTILITY AND STORM STRUCTURES INCLUDING BUT NOT LIMITED TO MANHOLES, INLETS AND CLEANOUTS, INCLUDING STRUCTURE TOP AND INVERT ELEVATIONS.
 - DISTANCE ALONG PIPELINES BETWEEN STRUCTURES.
 - RETENTION / DETENTION/ SWALE AREA TOP OF BERM AND POND BOTTOM ELEVATIONS AND HORIZONTAL DIMENSIONS MEASURED AT A MINIMUM OF FIVE LOCATIONS OR AT LOCATIONS DESIGNATED BY THE ENGINEER. TOP OF AREA HORIZONTAL DIMENSIONS ARE ALSO TO BE TIED TO PROPERTY CORNERS, EASEMENTS, AND RIGHTS-OF-WAY.
 - STORMWATER CONTROL STRUCTURE DIMENSIONS AND ELEVATIONS, INCLUDING ALL WEIRS, SLOTS, DRIFICES, GRATES, AND SKIMMERS.
 - STORMWATER CONVEYANCE SYSTEMS INCLUDING DIMENSIONS, ELEVATIONS, CONTOURS, AND CROSS SECTIONS.
 - HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL UTILITY VALVES, FITTINGS, CONNECTION POINTS, ETC.
 - VERTICAL ELEVATIONS OF ALL PIPELINES AT CROSSINGS OF POTABLE WATER MAINS (WHETHER THE WATER MAIN IS EXISTING OR NEW) IN ORDER TO DOCUMENT THAT THE MINIMUM REQUIRED VERTICAL SEPARATION HAS BEEN MET.
 - UTILITY PIPELINE TIED HORIZONTALLY TO EDGE OF PAVEMENT AND RIGHT-OF-WAY LINES, LOCATED EVERY 100-FT PLUS ALL CHANGES IN HORIZONTAL OFFSET.
 - PAVEMENT WIDTH AND ELEVATIONS AT THE CENTERLINE AND EDGE OF PAVEMENT EVERY 200 FEET PLUS AT ALL CHANGES IN LONGITUDINAL SLOPE, CROSS SLOPE, INLET LOCATIONS, AND AT ALL DRIVEWAY AND STREET INTERSECTIONS. FOR PARKING LOTS, RECORD CENTERLINE AND EDGE OF PAVEMENT ELEVATIONS ALONG ALL DRIVE AISLES AND ISLANDS.
 - ALL PARKING AREAS AND SIDEWALK RAMP DESIGNATED FOR HANDICAP ACCESS SHALL CONTAIN HORIZONTAL AND VERTICAL MEASUREMENTS IN ORDER TO VERIFY REQUIRED WIDTHS AND SLOPES HAVE BEEN MET.
 - HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED ENGINEERING DRAWINGS.
 - WHERE THE PLANS/DRAWINGS CONTAIN SPECIFIC HORIZONTAL LOCATION DATA, SUCH AS STATION AND OFFSET, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL HORIZONTAL LOCATION.
 - WHERE THE PLANS/DRAWINGS CONTAIN SPECIFIC VERTICAL ELEVATION DATA, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL MEASURED VERTICAL ELEVATION.

ABBREVIATIONS

| | | | |
|-----------|---|-----------|------------------------------------|
| AC | PROPERTY LINE | GV | GATE VALVE |
| A/E | ARCHITECT/ENGINEER | HDPE | HIGH DENSITY POLYETHYLENE PIPE |
| APPROX | APPROXIMATE | HORIZ | HORIZONTAL |
| ARCH | ARCHITECTURAL/ARCHITECT | IE | INVERT ELEVATION |
| ARV | AIR RELEASE VALVE | IRR | IRRIGATION WATER LINE |
| ASPH | ASPHALT | L | LENGTH |
| ASPH DWY | ASPHALT DRIVEWAY | LAT | LATERALS |
| ASTM | AMERICAN SOCIETY FOR TESTING AND MATERIAL | LF | LINEAR FEET |
| | | LS | LUMP SUM |
| | | LT | LEFT |
| AVE | AVENUE | MAX | MAXIMUM |
| AVG | AVERAGE | MAS | MAINTENANCE ACCESS STRUCTURE |
| B DWY | BRICK DRIVEWAY | ME | MATCH EXISTING |
| BE | BURIED ELECTRIC LINE | MEP | MECHANICAL / ELECTRICAL / PLUMBING |
| ¢ / BL | BASELINE | MH | MANHOLE |
| BLDG | BUILDING | MJ | MECHANICAL JOINT |
| BLVD | BULEVARD | MIN | MINIMUM |
| BT | BURIED TELEPHONE LINE | ¢ / ML | MONUMENT LINE |
| C&G | CURB & GUTTER | N | NORTHING NORTH |
| CATV | CABLE TELEVISION | NGVD | NATIONAL GEODETIC VERTICAL DATUM |
| CB | CATCH BASIN | NAVD | NORTH AMERICAN VERTICAL DATUM |
| CBS | CONCRETE BLOCK STRUCTURE | NTP | NOTICE TO PROCEED |
| CD | CHANNEL DRAIN | NTS | NOT TO SCALE |
| C.I. | CAST IRON | OC | ON CENTER |
| ¢ / CL | CENTERLINE | PC | POINT OF CURVATURE |
| CLF | CHAIN LINK FENCE | PG | PAVING AND GRADING |
| CMF | CORRUGATED METAL PIPE | PI | POINT OF INTERSECTION |
| CO | CLEANOUT | PIV | POST INDICATOR VALVE |
| CONC | CONCRETE | ¢ / PL | PROPERTY LINE |
| CONC DWY | CONCRETE DRIVEWAY | PROP | PROPOSED |
| CONC SDWK | CONCRETE SIDEWALK | PSI | POUNDS PER SQUARE INCH |
| CONC WALL | CONCRETE WALL | PT | POINT OF TANGENCY |
| CP | COLLECTOR PIPE | PVC | POLYVINYL CHLORIDE PIPE |
| CPP | CORRUGATED PLASTIC PIPE | PVI | POINT OF VERTICAL INTERSECTION |
| CW | CHILLED WATER | PVMT | PAVEMENT |
| CY | CUBIC YARD | RAD / R | RADIUS |
| DDCV | DOUBLE DETECTOR CHECK VALVE | RCP | REINFORCED CONCRETE PIPE |
| DET | DETAIL | RPM | REFLECTIVE PAVEMENT MARKER |
| DIA | DIAMETER | RE | RIM ELEVATION |
| DIP | DUCTILE IRON PIPE | RT | RIGHT |
| DISP | DISPLACED | R/W / ROW | RIGHT-OF-WAY |
| DWG | DRAWING | SAN / SS | SANITARY SEWER LINE |
| E | EASTING | SD | STORM DRAINAGE LINE |
| EA | EACH | SDWK | SIDEWALK |
| ESMT | EASMENT | SPEC | SPECIFIC |
| EL/ELEV | ELEVATION | SPECS | SPECIFICATIONS |
| ELEC | ELECTRICAL | STA | STATION |
| EOP | EDGE OF PAVEMENT | STD | STANDARD |
| EOR | ENGINEER OF RECORD | STRM | STORM DRAINAGE |
| EQ | EQUATION | SWPPP | STORM WATER POLLUTION PREVENTION |
| EXIST | EXISTING | SY | SQUARE YARDS |
| FD | FRENCH DRAIN | TP | TRANSPORT PIPE |
| FDC | FIRE DEPARTMENT CONNECTION | TOC | TOP OF CURB |
| FEE | FINISHED FLOOR ELEVATION | TOS | TOP OF STEP |
| FH | FIRE HYDRANT | TYP | TYPICAL |
| FM | FORCE MAIN | VCP | VITRIFIED CLAY PIPE |
| FT | FEET | VERT | VERTICAL |
| G | GAS LINE | WM | WATER MAIN |
| GB | GRADE BREAK | | |
| GI | GALVANIZED IRON | | |
| GP | GUARD POST | | |

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- BUILDINGS • EARTH & ENVIRONMENT •
- ENERGY • INDUSTRIAL • INFRASTRUCTURE •
- SUSTAINABILITY •

PROJECT:

LEGACY AT DORAL

2525 NW 82ND AVENUE,
 DORAL, FL. 33122

OWNER:

TheEastonGroup
 101 N.W. 19 ST.
 MIAMI, FL 33172
 TEL - (305) 593-2222
 FAX - (305) 591-3863
 www.theeastongroup.com

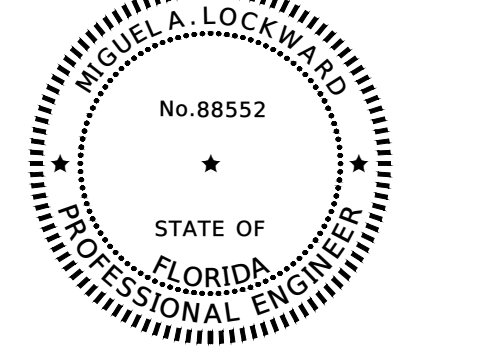
GENERAL NOTES

PHASE:

SCHEMATIC DESIGN

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SEAL:



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 APPR BY: DS

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SWPPP - NARRATIVE

1. PROJECT/SITE DESCRIPTION

- A. CONSTRUCTION ACTIVITY:
CONSTRUCTION OF A PROPOSED X STORY RESIDENTIAL BUILDING, PARKING, UTILITIES AND DRAINAGE SYSTEM.

PROJECT LIMITS:
N.W. 82ND AVENUE AND 25TH STREET

- B. MAJOR SOIL DISTURBING ACTIVITIES
- INSTALLATION OF DRAINAGE SYSTEM
- CLEARING & GRUBBING
- INSTALLATION FOR UTILITIES (WATER AND SEWER)
- CONSTRUCTION OF BUILDING FOUNDATIONS

C. TOTAL PROJECT AREA: 2.662 ACRES
TOTAL SITE AREA : 9.270 ACRES
TOTAL AREA TO BE DISTURBED: 2.662 ACRES

D. (1) RUNOFF COEFFICIENTS BEFORE, DURING AND AFTER CONSTRUCTION
BEFORE: 83
DURING: 83
AFTER: 92

(2) DESCRIPTION OF SOIL OR QUALITY OF DISCHARGE:
THE FOLLOWING GRAPH WAS DEVELOPED AS A GENERAL CONDITION FOR THE SUBJECT SITE FROM EXISTING GROUND LEVEL (SUBSOIL CONDITIONS ARE NON-HOMOGENOUS REFER TO FIELD BORING LOGS FOR EXACT SOIL CONDITIONS AT VARIOUS LOCATIONS). AVERAGE DEPTHS ARE APPROXIMATE AND WILL VARY:

| AVERAGE DEPTHS | SOIL DESCRIPTION |
|------------------|---|
| 0'-0" TO 4'-0" | LIMEROCK with Fine to Medium Grained Sand |
| 4'-0" TO 17'-6" | Weathered OOLITIC LIMESTONE with pockets of Sand with Limestone and Cemented Sand Fragments |
| 17'-6" TO 27'-6" | Fine to Medium Grained SAND/SAND with Silt |
| 27'-6" TO 50'-0" | Weathered LIMESTONE with Cemented Sand Fragments |

(SOURCE: SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION BY JOSE N. GOMEZ, P.E. FROM PROFESSIONAL SERVICE INDUSTRIES, INC. IN MAY, 18 2022).

(3) ESTIMATES OF SIZE OF DRAINAGE AREA FOR EACH OUTFALL: N/A

E. FOR LOCATIONS OF DRAINAGE AREAS AND OUTFALLS: DRAINAGE IMPROVEMENTS PROVIDED ON DRAINAGE PLANS & DETAILS.

F. (1) NAME OF RECEIVING WATERS: N/A

(2) WETLAND AREA: N/A

2. CONTROLS

A. SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION CONTROLS:

- CLEARING AND GRUBBING
- INSTALLATION DRAINAGE STRUCTURES
- STABILIZATION
- BASE PREPARATION
- ASPHALT APPLICATION
- PLACEMENT OF ROCK BAGS AROUND INLETS
- PLACEMENT OF ROCK BAGS AROUND MANHOLES
- APPLICATION OF FRICTION COURSE A.C.
- PAVEMENT MARKINGS
- REMOVE ROCK BAGS
- CLEAN ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE

B. EROSION AND SEDIMENT CONTROLS:

(1) STABILIZATION PRACTICES:
THE CONTRACTOR WILL MAINTAIN THE INLET PROTECTION, SILT FENCE AND WILL PROVIDE DUST CONTROL.

(2) STRUCTURAL PRACTICES:

- SILT FENCE
- WIND SCREEN
- FILTER FABRIC

C. DESCRIPTION OF STORM WATER MANAGEMENT:

CONTRACTOR SHALL INSTALL AND MAINTAIN THE EROSION AND SEDIMENT CONTROL DESCRIBED HEREIN. AFTER ANY RAIN EVENT, THE CONTRACTOR WILL REPAIR OR REPLACE ANY AFFECTED CONTROLS.

D. OTHER CONTROLS:

(1) WASTE DISPOSAL:
ANY CONSTRUCTION DEBRIS GENERATED AS A RESULT OF THIS PROJECT WILL BE DISPOSED OF OFF-SITE AT AN APPROPRIATE WASTE DISPOSAL FACILITY.

- CONCRETE WASH OUT LOCATIONS WILL BE PROVIDED IN AREAS WHERE THE DISPOSAL MATERIALS WILL BE CONTAINED SO AS TO PREVENT DISCHARGE OUTSIDE OF THE PROJECT LIMITS AND INTO THE WATERWAYS.
- NEW AND EXISTING DRAINAGE STRUCTURES WILL BE PROTECTED WITH FILTER FABRIC
- STAGING AREAS WILL BE LOCATED WITHIN THE PROJECT WORK ZONE UNLESS REQUESTED OTHERWISE FOR APPROVAL
- LITTER WILL BE DEPOSITED IN APPROPRIATE LOCATIONS. A DUMPSTER MAY BE PROVIDED AT THE SITE DEPENDING ON THE AMOUNT OF LITTER GENERATED
- LOADED TRUCKS WILL BE COVERED WITHIN TARPAULIN
- SWEEPERS AND/OR WATER TRUCKS WILL BE PROVIDED TO REDUCE DUST DAILY
- SOIL PREVENTION TRACKING WILL BE INSTALLED AS PER THE SWPPP AND/OR AS DIRECTED BY CITY INSPECTOR

(1) OFFSITE VEHICLE TRACKING:

- HAUL ROADS DAMPED FOR DUST CONTROL
- LOADED HAUL TRUCKS TO BE COVERED WITH TARPAULIN
- EXCESS DIRT ON ROAD REMOVED DAILY
- STABILIZED CONSTRUCTION ENTRANCE
- WATER TRUCKS SCHEDULING
- STREET SWEEPING (DAILY)
- OTHER:

(2) SANITARY WASTE

REGULARLY AND ADEQUATE MAINTENANCE SHALL BE PROVIDED TO THE TEMPORARY SANITARY FACILITIES

(3) FERTILIZERS, PESTICIDES AND TREES:

NUTRIENT FILTERS WILL BE PROVIDED TO THE PLANTERS. PROTECT ALL TREES WITHIN PROJECT LIMITS THAT ARE TO REMAIN AS PER FDOT INDEX NO. 544

(4) TOXIC SUBSTANCES:

TOXIC SUBSTANCES WILL NOT BE STORED ON SITE

(5) NON-STORM WATER DISCHARGE (INCLUDING SPILL REPORTING):

NO NON-STORM WATER DISCHARGES ARE ANTICIPATED AT THIS TIME. CONTAMINATED SOIL OR GROUNDWATER ENCOUNTERED SHALL BE REPORTED IMMEDIATELY TO THE CITY PERSONNEL IN ACCORDANCE WITH CITY OF DORAL PUBLIC WORKS.

(6) EROSION CONTROL DEVICES:

LOCATIONS AND TYPES OF ALL EROSION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY DRAWINGS/PLAN AND/OR BY THE CITY OF DORAL. CONTRACTOR SHALL IMPLEMENT THE SWPPP AS PER DRAWINGS/PLAN & JURISDICTIONAL REQUIREMENTS. HOWEVER, IT MAY BE REVISED BASED ON ACTUAL FIELD CONDITIONS AT THE TIME WORK IS BEING PERFORMED. FIELD MODIFICATIONS WILL BE APPROVED BY THE CITY OF DORAL.

MONITORING SHALL BE PERFORMED ON A WEEKLY BASIS AND AFTER 1/2" STORM EVENT WITH ROUTINE MAINTENANCE AND REPLACEMENT OF ANY DEVICES AS REQUIRED.

CONTAINMENT OR REMOVAL OF POLLUTANTS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND CITY OF DORAL REGULATIONS AND/OR FDOT STANDARD SPECIFICATIONS.

THE RESPONSIBLE PERSONS FOR MONITORING AND MAINTAINING THE EROSION CONTROL DEVICES SHALL BE SITE CONTRACTOR/CONTRACTOR'S DESIGNATED SUPERINTENDENT.

REMARKS:

IF CONTAMINATED SOIL OR GROUNDWATER IS ENCOUNTERED, CONTACT: CITY OF DORAL PUBLIC WORKS DEPARTMENT (305) 593-6740

E. APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS: (CHECK ALL THAT APPLY)

- NPDES PERMIT (0.5 ACRE OR MORE)
- NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) FOR PROJECTS DISTURBING MORE THAN 1 ACRE.
- ENVIRONMENTAL RESOURCES PERMIT (ERP) FROM THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD)
- U.S. ARMY CORPS OF ENGINEERS DREDGE AND FILL PERMIT
- SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD) RIGHT-OF-WAY USE PERMIT
- PUBLIC WORKS EXCAVATION PERMIT
- POLICE
- TREE PERMIT
- CITY DEWATERING PERMIT
- FDEP UIC PERMIT

3. MAINTENANCE:

- ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
- BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD OF THE HEIGHT OF THE FENCE.
- PROTECT ALL INLETS SURROUNDING CONSTRUCTION SITE. STREET SWEEPING AND DUST PREVENTION MUST BE IMPLEMENTED DAILY.

4. INSPECTIONS:

- QUALIFIED PERSONNEL FROM THE CITY AND CONTRACTOR SHALL INSPECT THE ITEMS DAILY THROUGHOUT THE CONSTRUCTION PERIOD.
- PREPARATION OF THE CONTRACTOR'S WEEKLY REPORT IF INSPECTION, MAINTENANCE AND REPAIRS FOR THE CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE PAY ITEMS. WHERE SITES HAVE BEEN FINALLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED WEEKLY AND SHALL INCLUDE THE FOLLOWING:
 - DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
 - AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION
 - STRUCTURAL CONTROLS
 - STORMWATER MANAGEMENT SYSTEMS
 - LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE
 - STREET SWEEPING AND DUST CONTROL

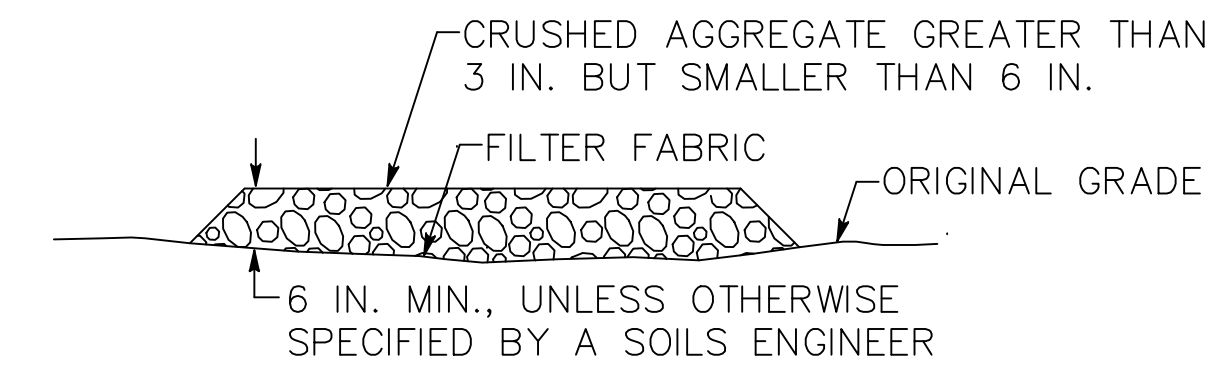
C. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. IF REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF THE REPORT.

D. REMOVE EXCESS DIRT FROM ALL ROADS ADJACENT TO PROJECT AREA ON A DAILY BASIS.

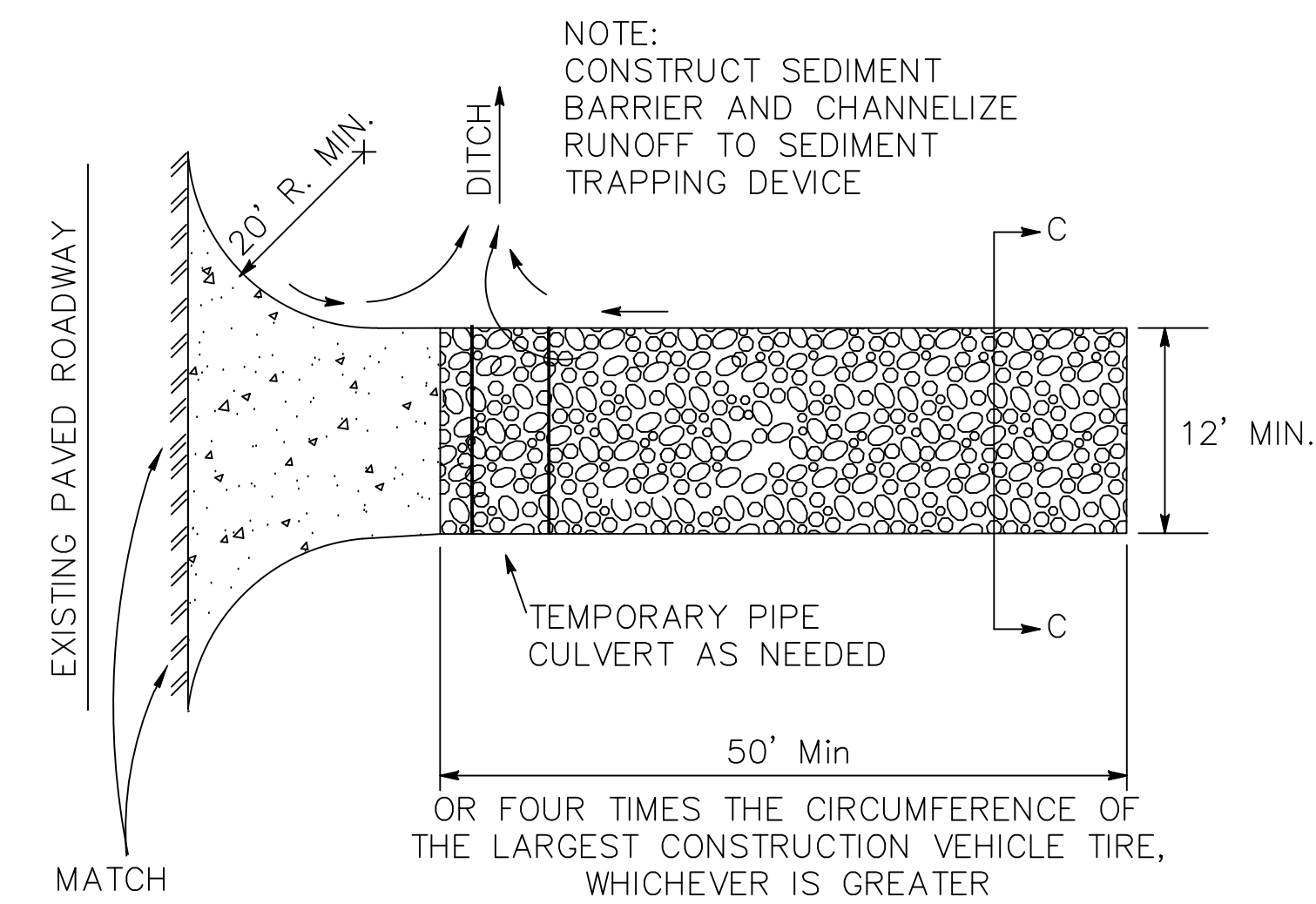
E. SEDIMENT FOUND IN DRAINAGE INSPECTION WILL REQUIRE DRAINAGE SYSTEM CLEANING BY CONTRACTOR.

5. GENERAL:

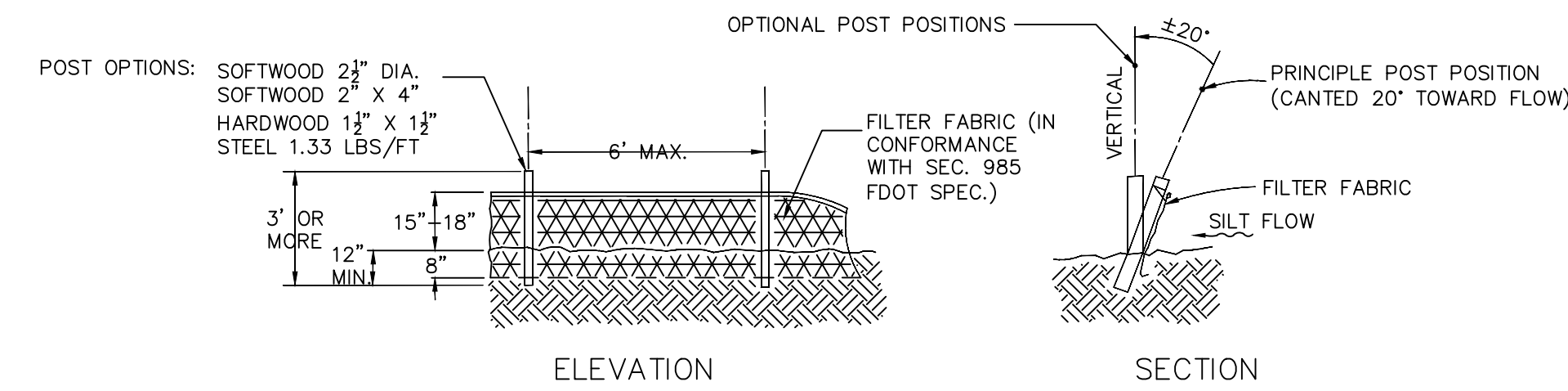
- APPROVED STATE, LOCAL PLANS OR STORM WATER PERMITS.
- ALL OF THE CONTROLS SHALL BE MAINTAINED AT ALL TIMES.
- ALL CONTROLS SHALL BE INSPECTED DAILY.
- APPLY FERTILIZERS AND PESTICIDES ACCORDING TO STANDADRD SPECIFICATIONS, DESIGN AND SPECIAL PROVISIONS.
- REPORT NON-STORM WATER DISCHARGE (INCLUDING SPILL) (305) 593-6740.
- VISIT www.dep.state.fl.us/water/stormwater/npdes/



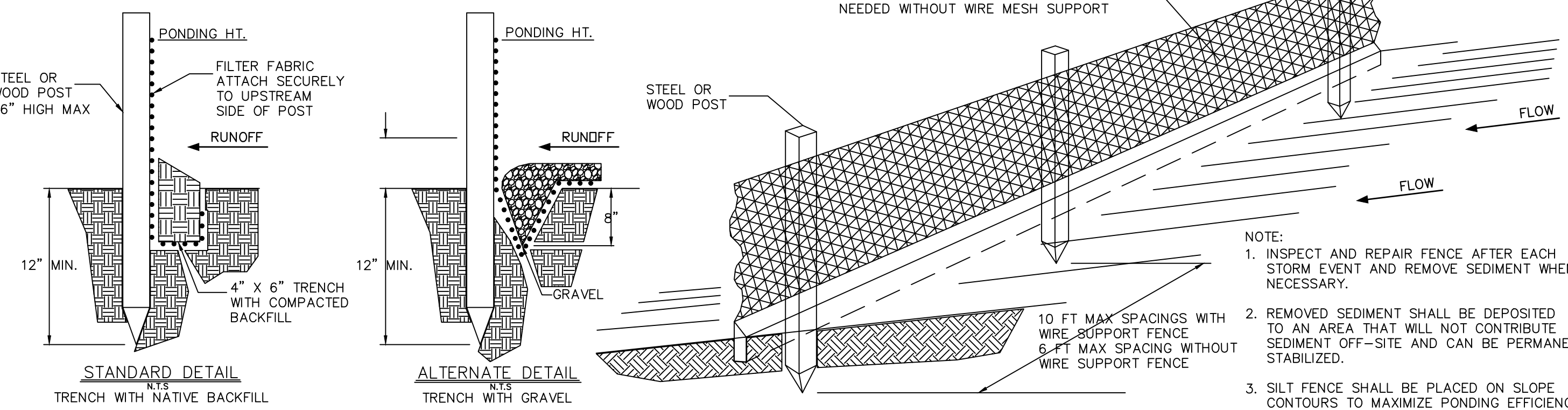
SECTION C-C
N.T.S.



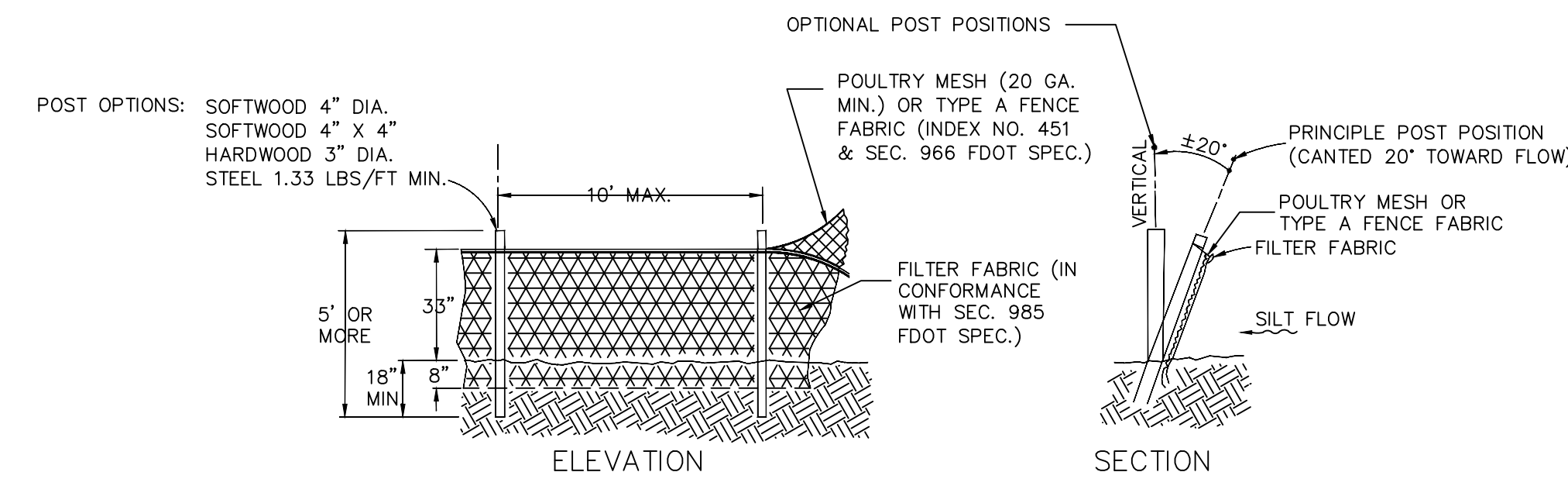
PLAN
N.T.S.
TYPICAL ENTRANCE & EXIT DETAIL
NTS



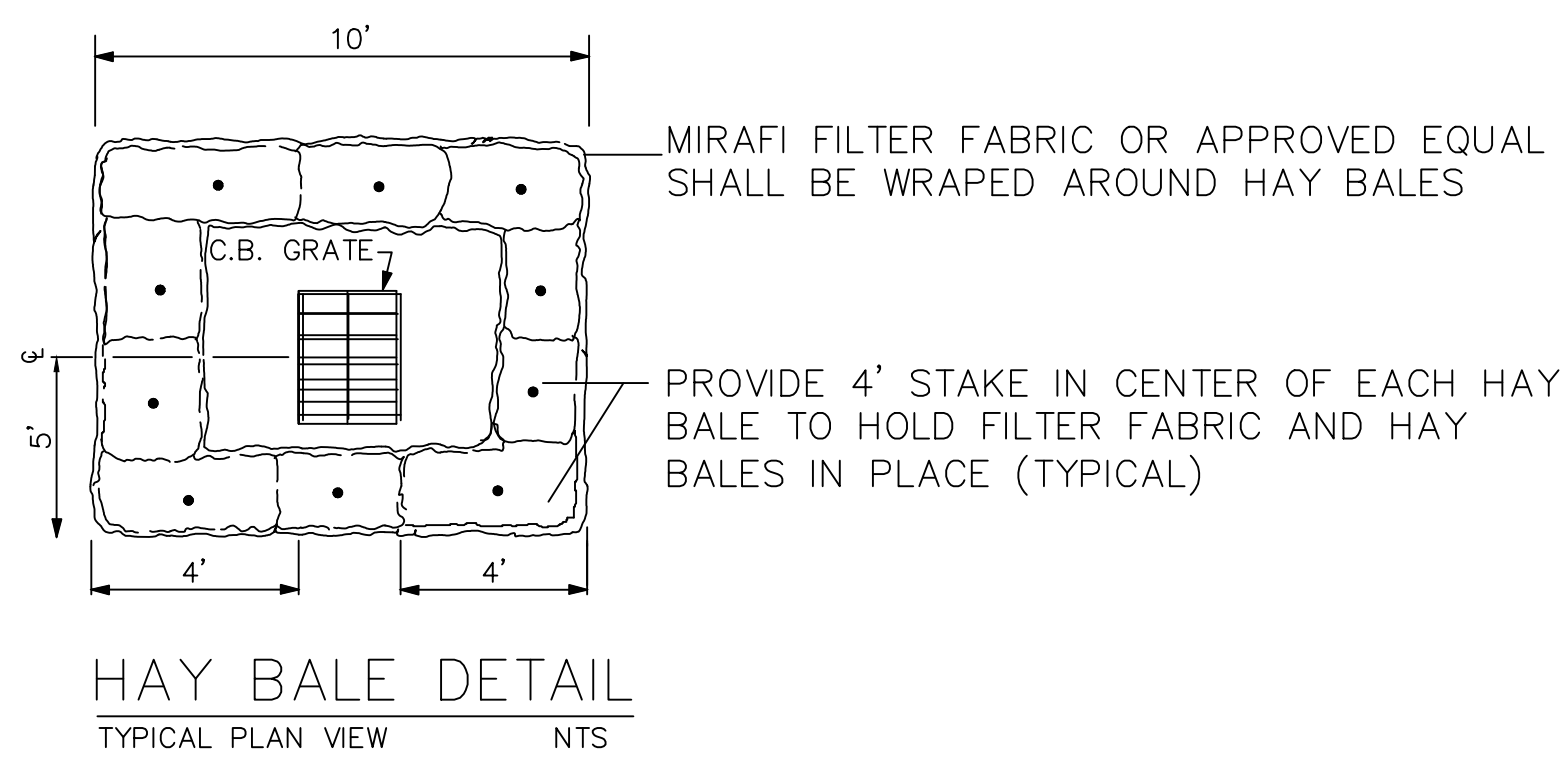
ELEVATION SECTION
TYPE III SILT FENCE



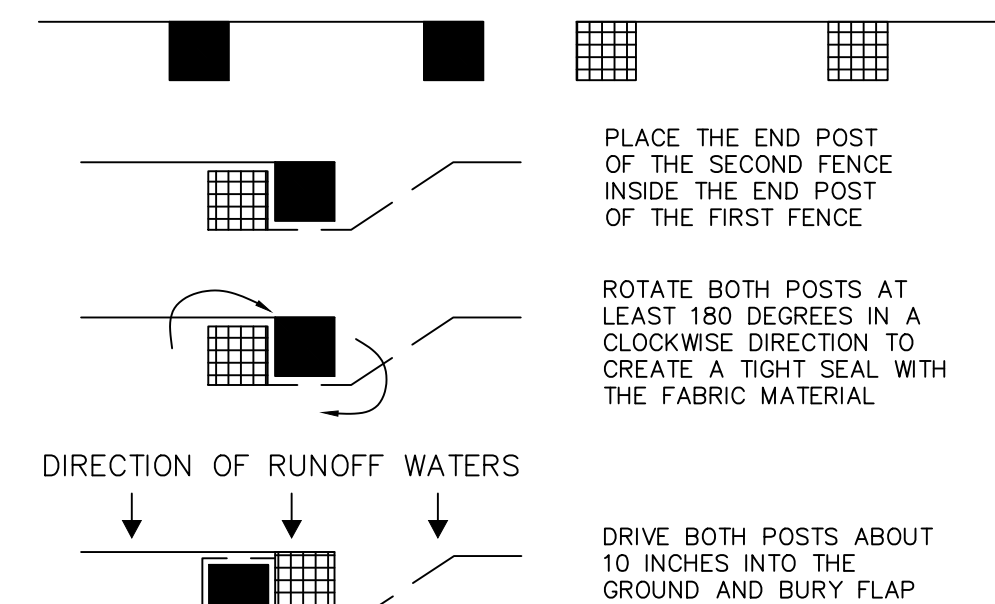
SILT FENCE INSTALLATION DETAIL
NTS



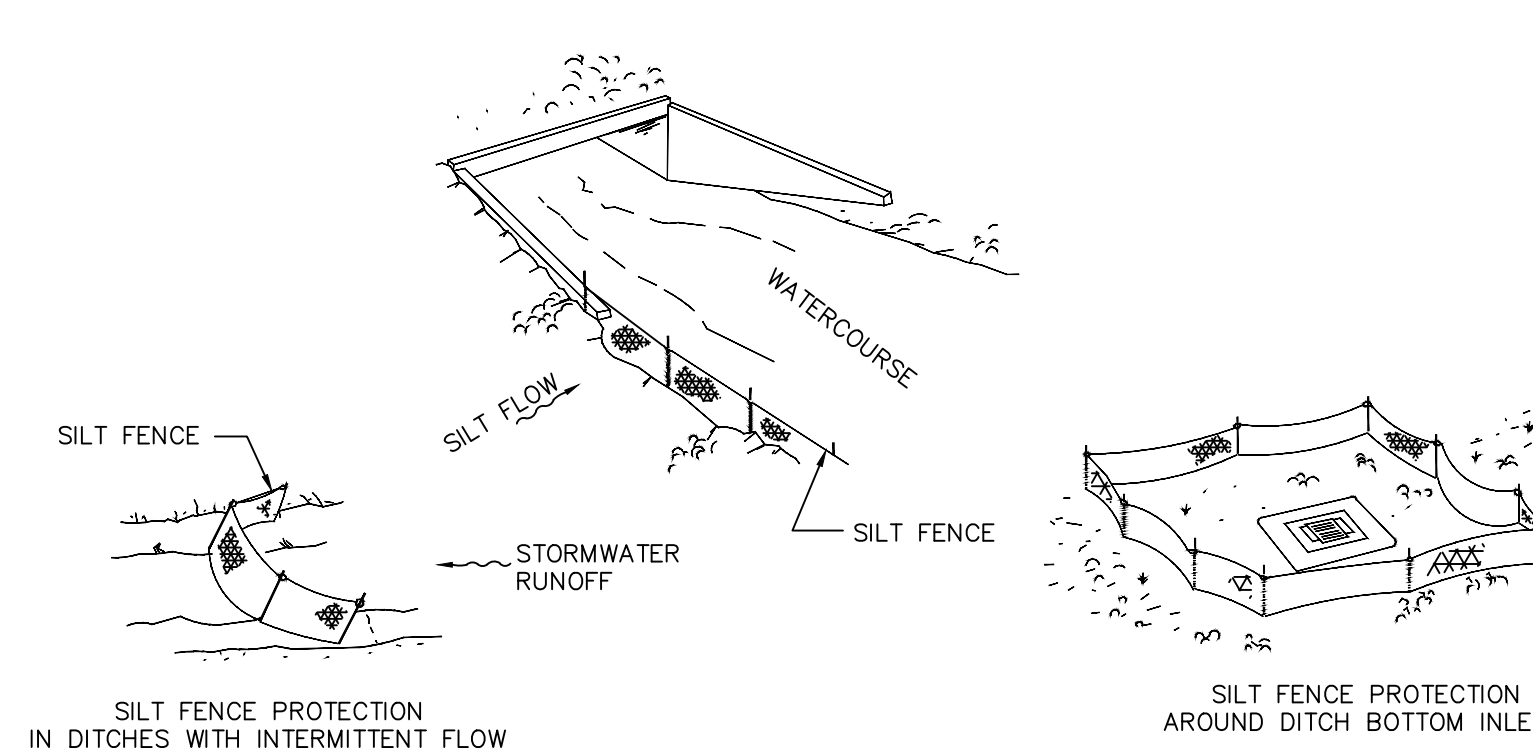
ELEVATION SECTION
TYPE IV SILT FENCE



HAY BALE DETAIL
TYPICAL PLAN VIEW
NTS



SILT FENCE ATTACHMENT DETAIL
NTS



SILT FENCE APPLICATIONS

exp U.S. Services Inc.

T: +1 305 631 2208 F: +1 407 660 1655
201 Alhambra Circle, Suite 800
Coral Gables, FL 33134
U.S.A.

www.exp.com

Cert of Auth: 29701



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- SUSTAINABILITY •

PROJECT:

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2525 NW 82ND AVENUE,
DORAL, FL. 33122

OWNER:

TheEastonGroup

101 N.W. 19 ST.
MIAMI, FL 33172
TEL - (305) 593-2222
FAX - (305) 591-3863
www.theeastongroup.com

STORM WATER POLLUTION
PREVENTION NOTES & DETAILS

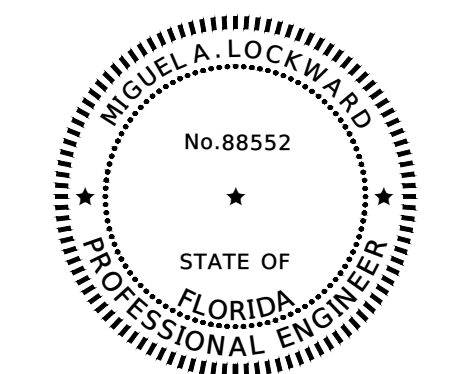
PHASE:

**SCHEMATIC
DESIGN**

REVISIONS

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PROJ No.: **21010276-A0**
DRAWN BY: **MB**
APPR BY: **DS**

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C-2.01

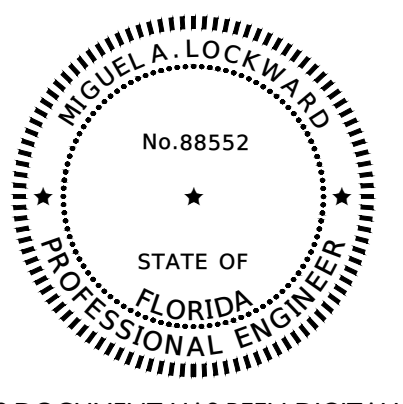
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STORM WATER POLLUTION PREVENTION PLAN

PHASE:
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| Revision # | Revision Description | Date |
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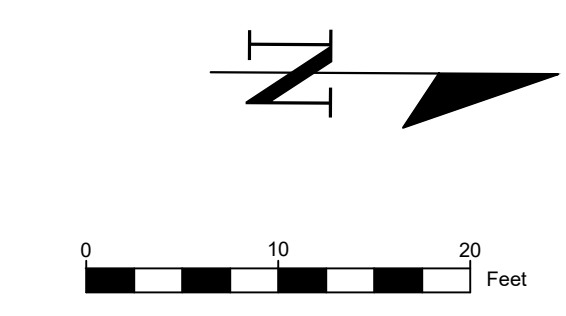
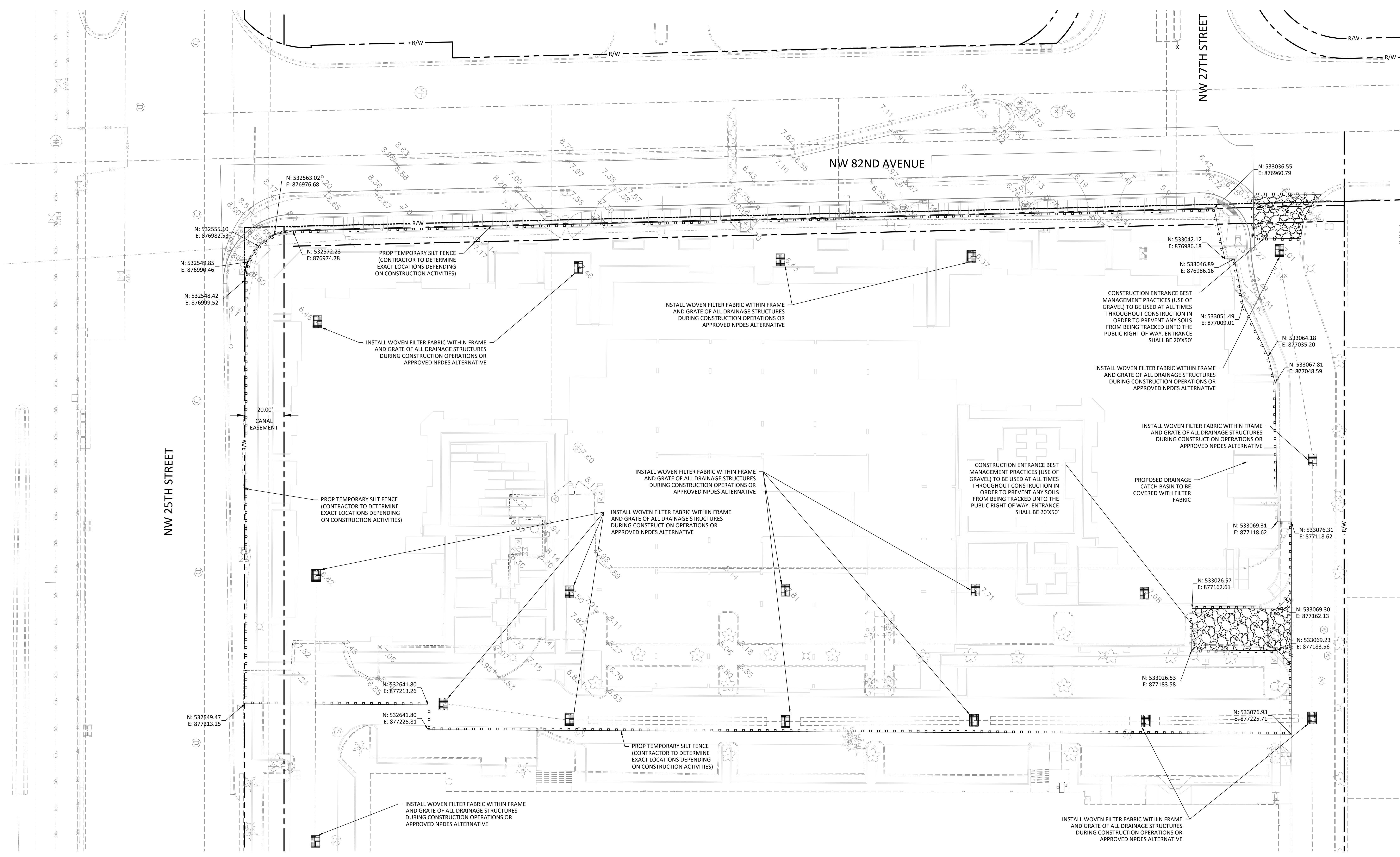
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DATE: **2/22/2023**
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 APPR BY: **DS**

SHEET NUMBER:
C-2.02



LEGEND

| | |
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| | PROPERTY LINE / R/W |
| | CENTERLINE |
| | PROPOSED SITE |
| | PROPOSED SILT FENCE |
| | PROPOSED FILTER FABRIC |

DESIGN TICKET NO: 077201638

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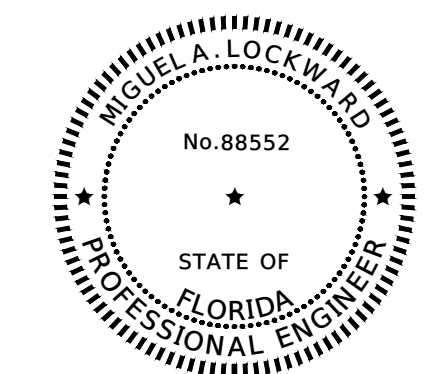
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EXISTING CONDITIONS AND DEMOLITION PLAN

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| Revision # | Revision Description | Date |
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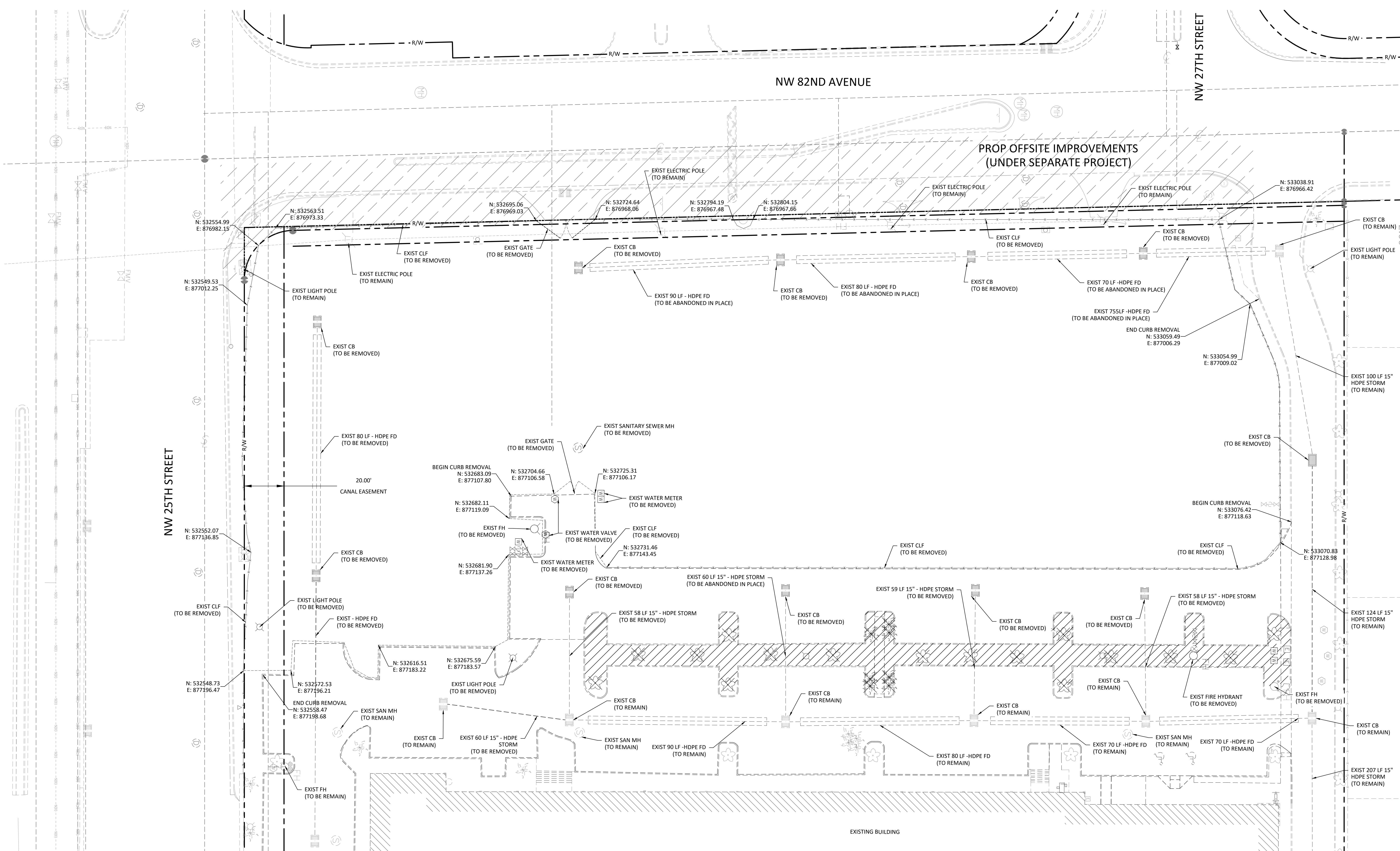
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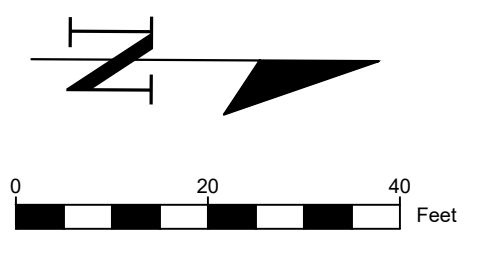
SHEET NUMBER:
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- EXISTING CONDITIONS AND DEMOLITION NOTES**
- CONTRACTOR SHALL CONDUCT DEMOLITION AND SITE CLEARING WITHIN THE LIMITS DESIGNATED ON THE PLANS/DRAWINGS.
 - CONTRACTOR SHALL NOT DEMOLISH ANY ITEM OUTSIDE OF THE LIMITS DESIGNATED UNLESS OTHERWISE AUTHORIZED BY EOR, APPLICABLE JURISDICTIONS OR OWNER.
 - ALL ITEMS DESIGNATED TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE OR LOSS. ANY DAMAGES INCURRED SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE.
 - ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH PREVAILING JURISDICTIONAL REQUIREMENTS AND PROCEDURES.
 - CONTRACTOR SHALL SCHEDULE AND MAINTAIN DEMOLITION OPERATIONS TO MINIMIZE INCONVENIENCE TO ADJACENT PROPERTIES AND ROADWAY USE.
 - NO UTILITIES SHALL BE DEMOLISHED, REMOVED OR ALTERED WITHOUT WRITTEN APPROVAL OF UTILITY OWNER, AGENCY/AGENCIES OR JURISDICTIONS.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY JURISDICTIONAL PERMITS AND APPROVALS PRIOR TO CONSTRUCTION BEGINNING.
 - BOUNDARIES OF ASPHALT, CONCRETE AND CURBING DEMOLITION SHALL BE SAW CUT IN A STRAIGHT LINE.
 - CONTRACTOR SHALL COORDINATE & SEQUENCE THE DEMOLITION OF SUBSURFACE UTILITIES AND INFRASTRUCTURE WITH ABOVE GROUND DEMOLITION TO ENSURE NO ADVERSE IMPACTS TO CONSTRUCTION.
 - CONTRACTOR SHALL RESTORE AREAS AFFECTED BY DEMOLITION TO PRE-DEMOLITION CONDITIONS.
 - CONTRACTOR SHALL SEQUENCE AND PHASE DEMOLITION TO AVOID SERVICE INTERRUPTIONS.
 - EXISTING UTILITY INFORMATION AS SHOWN ON PLANS IS BASED ON INFORMATION PROVIDED BY THE CLIENT AND SURVEYED INFORMATION. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS, MATERIALS, SIZE AND DEPTHS OF ALL AFFECTED UTILITIES WITHIN THE PROPOSED PROJECT.

LEGEND

| | |
|--|--------------------------------|
| | PROPERTY LINE / R/W |
| | CENTERLINE |
| | SECTION LINE |
| | CHAIN LINK FENCE TO BE REMOVED |
| | TREES TO BE REMOVED |
| | EXISTING ISLAND DEMOLITION |



DESIGN TICKET NO: 077201638

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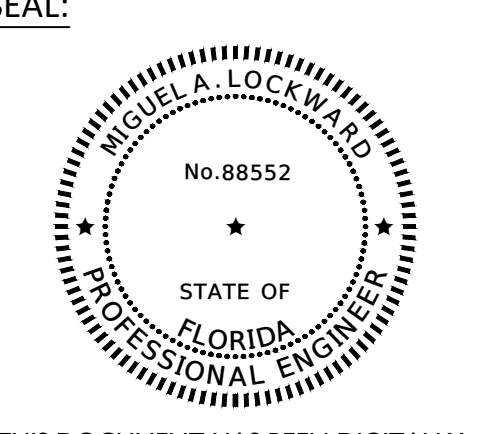
PROJECT:
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 DORAL, FL. 33122

OWNER:
TheEastonGroup
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 MIAMI, FL 33172
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OVERALL SITE PLAN

PHASE:
SCHEMATIC DESIGN

| REVISIONS | | |
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| Revision # | Revision Description | Date |
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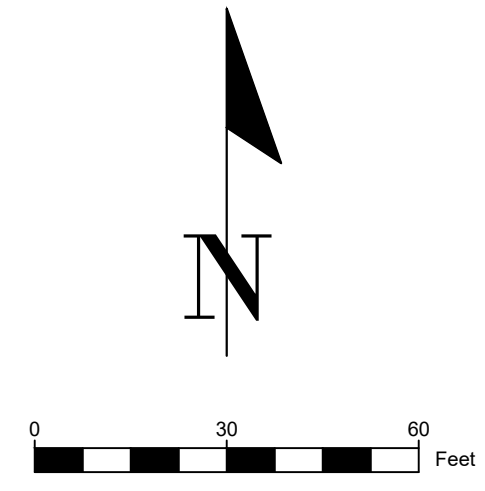
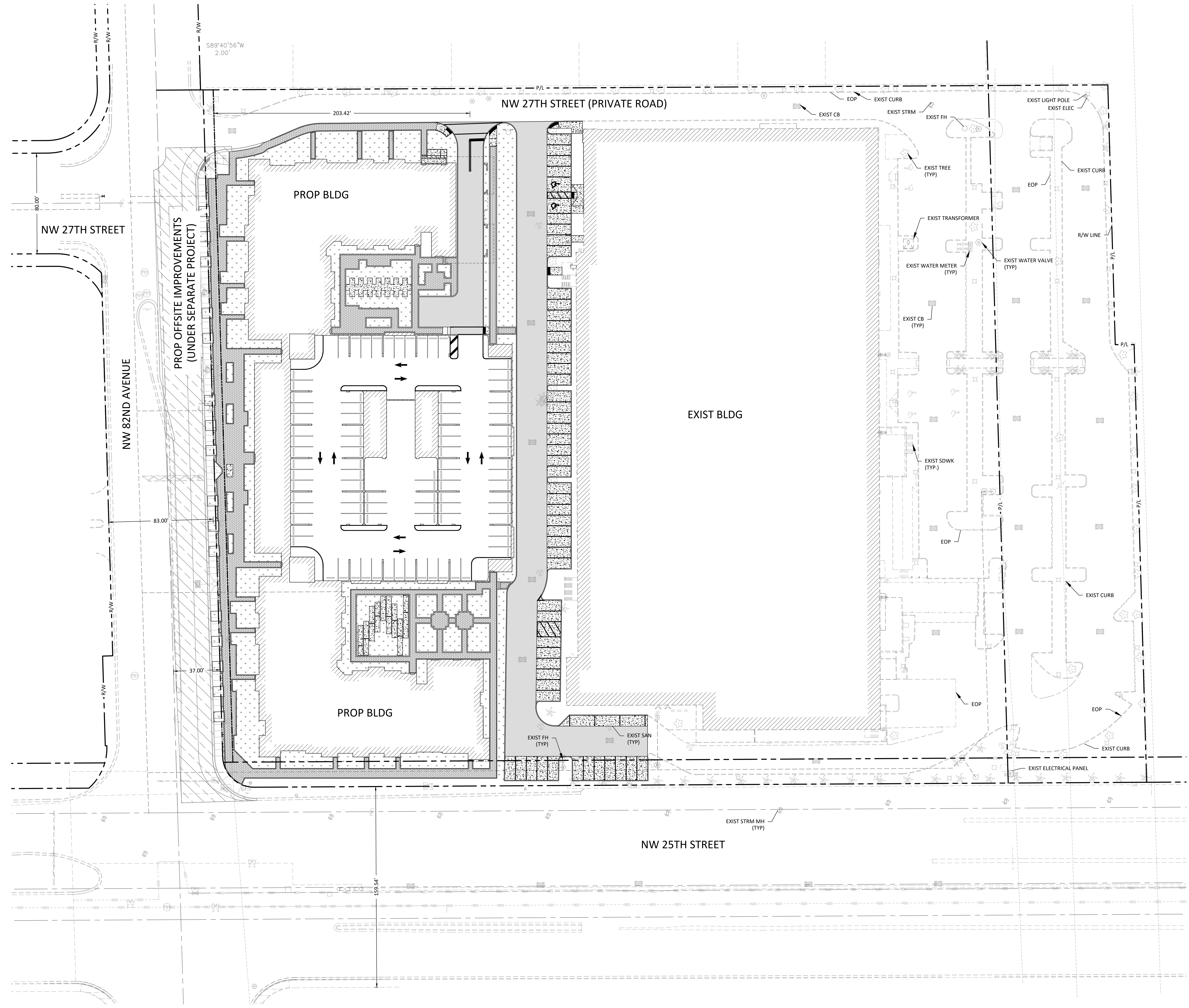
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DATE: **2/22/2023**
 PROJ No.: **21010276-A0**
 DRAWN BY: **MB**
 APPR BY: **DS**

SHEET NUMBER:
C-4.01



LEGEND

| | |
|--|-------------------------|
| | PROPERTY LINE / R/W |
| | CENTERLINE |
| | PROPOSED SITE |
| | EXISTING OVERHEAD WIRE |
| | EXISTING SANITARY SEWER |
| | PROP ASPHALT |
| | PROP CONCRETE |
| | PROP SOD/GRASS |

DESIGN TICKET NO: 077201638



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SITE PLAN

PHASE:
SCHEMATIC DESIGN

| REVISIONS | | |
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| Revision # | Revision Description | Date |
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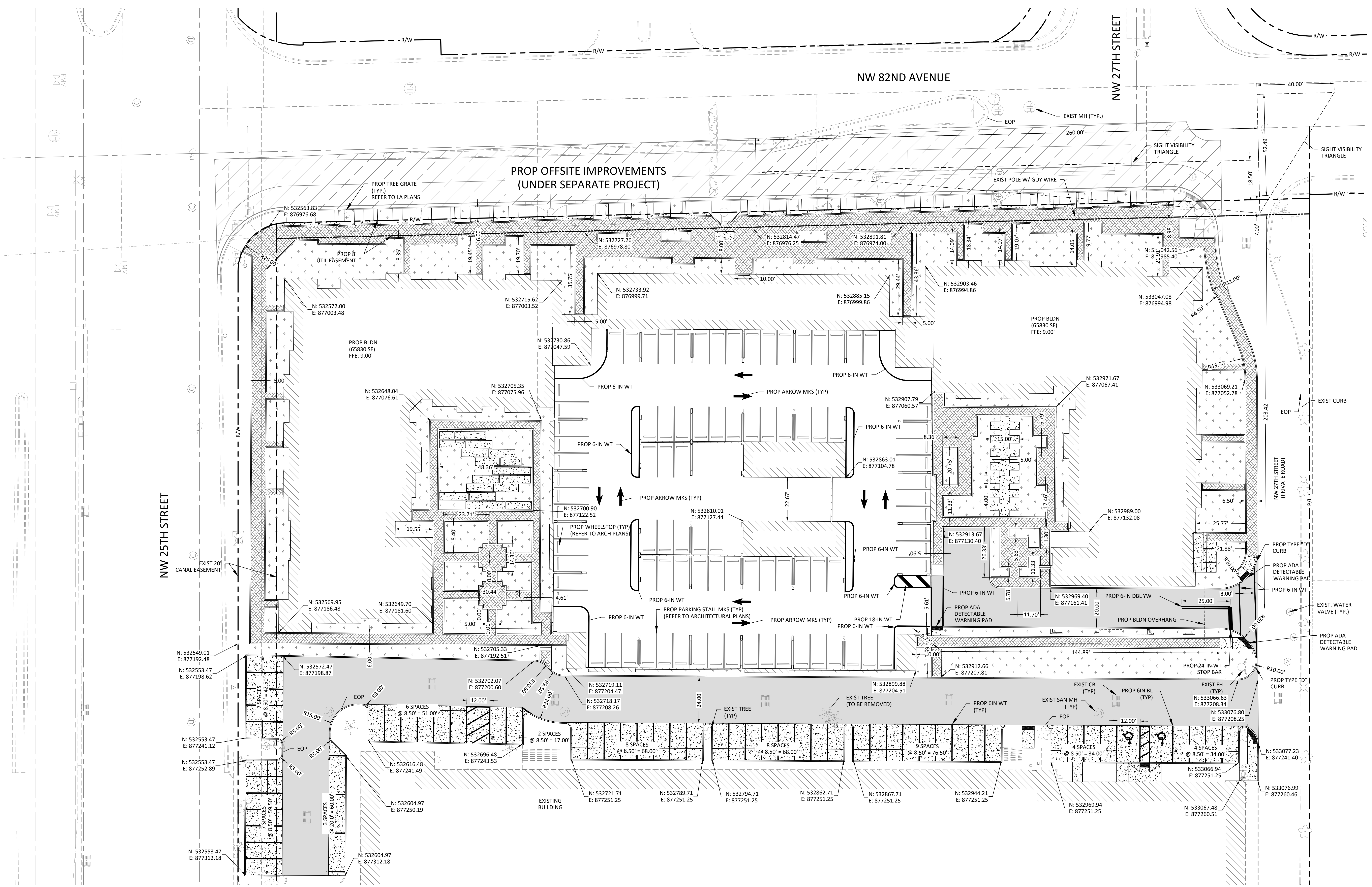
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C-4.02

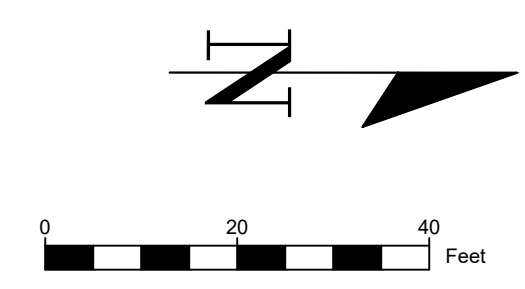


LEGEND

- PROPERTY LINE (P/L) / R/W
- - - EASEMENT LINE
- CENTERLINE
- ▨ PROPOSED SITE
- EXISTING OVERHEAD WIRE
- EXISTING SANITARY SEWER
- ▨ PROP ASPHALT
- ▨ PROP CONCRETE
- ▨ PROP SOD/GRASS
- ▨ PROP 2-3/8" THICK CONCRETE PAVERS (REFER TO LA PLANS)

- SITE AND GEOMETRY NOTES**
- CONTRACTOR SHALL COORDINATE CIVIL SITE PLAN(S)/DRAWING(S) WITH OTHER TECHNICAL DISCIPLINE RELATED PLANS/DRAWINGS TO ENSURE SEAMLESS CONSTRUCTION FOR THE PROJECT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SITE LAYOUT UTILIZING A LICENSED SURVEYOR AND ENSURING THAT TIES ARE TAKEN TO ESTABLISHED SURVEY MONUMENTS, BENCHMARKS, BEARINGS AND HORIZONTAL & VERTICAL DATUMS.
 - SITE WORK AND IMPROVEMENTS SHALL BE FULLY COMPLIANT WITH A.D.A. & U.F.A.S. STANDARDS.
 - CONTRACTOR SHALL BE PUT IN PLACE MEASURES TO PROPERLY AND SAFELY MAINTAIN AREA ADJACENT AND ADJOINING CONSTRUCTION LIMITS/BOUNDARIES. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND CONSTRUCTION BOUNDARIES.
 - CONTRACTOR SHALL EMPLOY AND MAINTAIN ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION AT ALL TIMES.
 - FOR PROJECTS INVOLVING SITE BUILDING & ARCHITECTURE, THE CONTRACTOR SHALL REFER TO THE ARCHITECTURE PLANS/DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF ITEMS NOT FULLY DETAILED ON THE CIVIL SITE PLANS/DRAWINGS.

- FOR PROJECTS INVOLVING SITE & BUILDING ARCHITECTURE, THE CONTRACTOR SHALL OBTAIN BUILDING DIMENSIONS AND GEOMETRY, INCLUDING ENTRANCES, CORNERS AND OTHER BUILDING RELATED FEATURES FROM THE ARCHITECTURE PLANS/DRAWINGS.
- FOR PROJECTS INVOLVING OFFSITE CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE LAYOUT OF OFFSITE IMPROVEMENTS WITH RESPECTIVE JURISDICTIONAL AGENCIES.



DESIGN TICKET NO: 077201638

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
 Check positive response codes before you dig!

PROJECT:
LEGACY AT DORAL

2525 NW 82ND AVENUE,
 DORAL, FL. 33122

OWNER:

TheEastonGroup
 101 N.W. 19 ST.
 MIAMI, FL 33172
 TEL - (305) 593-2222
 FAX - (305) 591-3863
 www.theeastongroup.com

PAVING, GRADING AND DRAINAGE PLAN

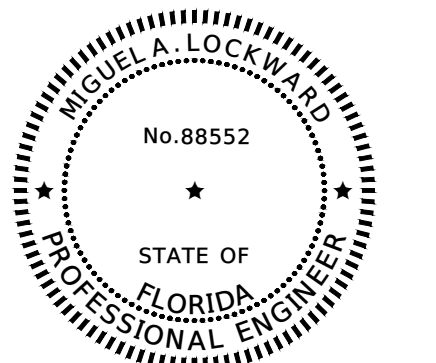
PHASE:

SCHEMATIC DESIGN

REVISIONS

| Revision # | Revision Description | Date |
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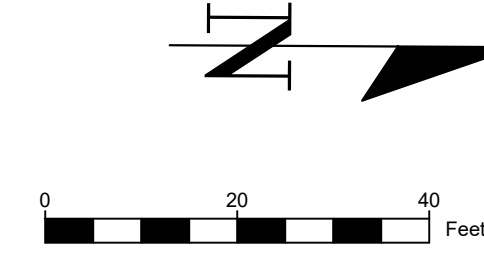
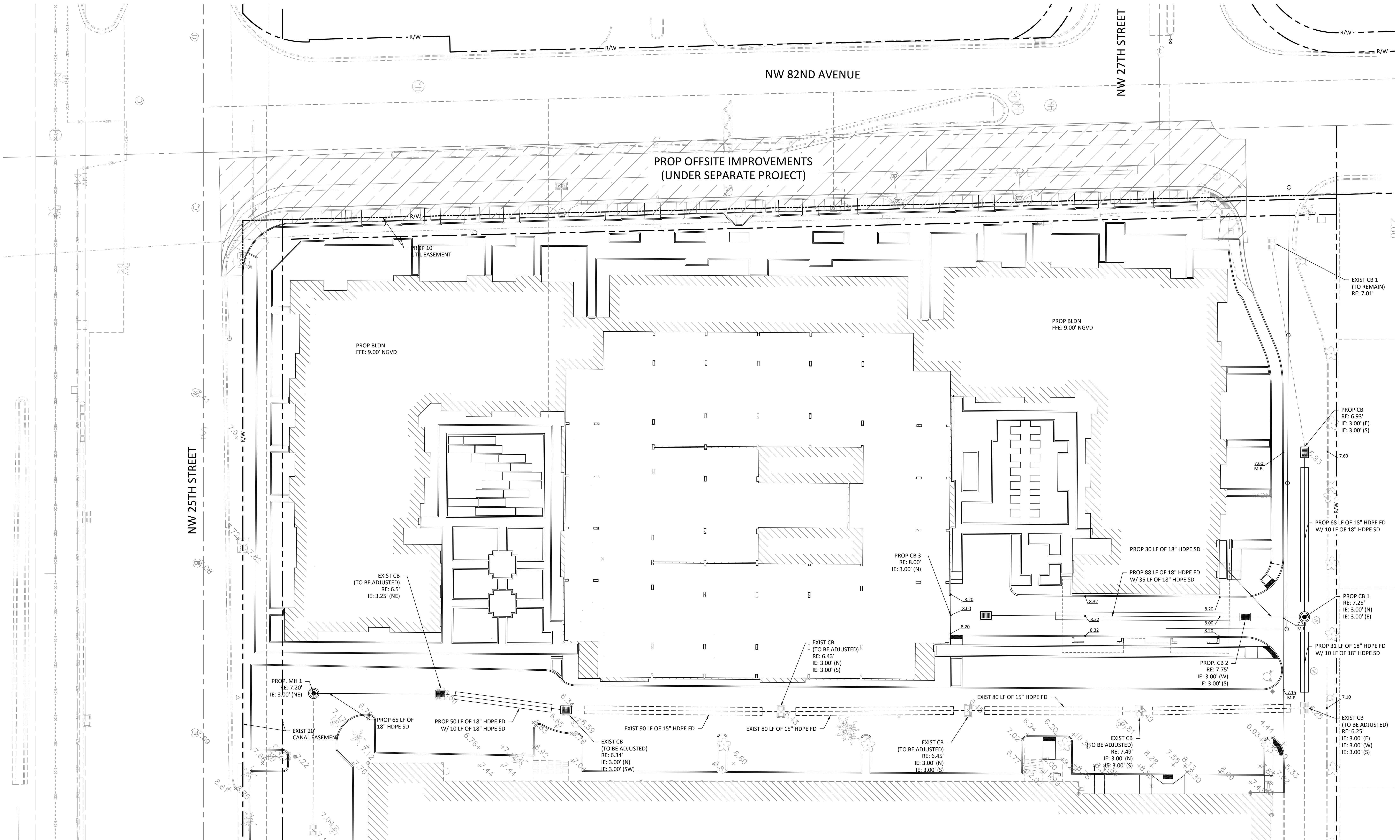
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DATE: **2/22/2023**
 PROJ No.: 21010276-A0
 DRAWN BY: MB
 APPR BY: DS

SHEET NUMBER:

C-5.01



LEGEND

| | |
|--|--------------------------------------|
| | PROPERTY LINE / R/W |
| | CENTERLINE |
| | PROPOSED SITE |
| | EXISTING OVERHEAD WIRE |
| | EXISTING SANITARY SEWER |
| | PROP DRAINAGE |
| | PROP DRAINAGE W/ EXFILTRATION TRENCH |
| | PROP CATCH BASIN (CB) |
| | PROP DRAINAGE MANHOLE (MH) |

DESIGN TICKET NO: 077201638

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PAVING, GRADING AND DRAINAGE DETAILS

PHASE:
SCHEMATIC DESIGN

| REVISIONS | | |
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| Revision # | Revision Description | Date |
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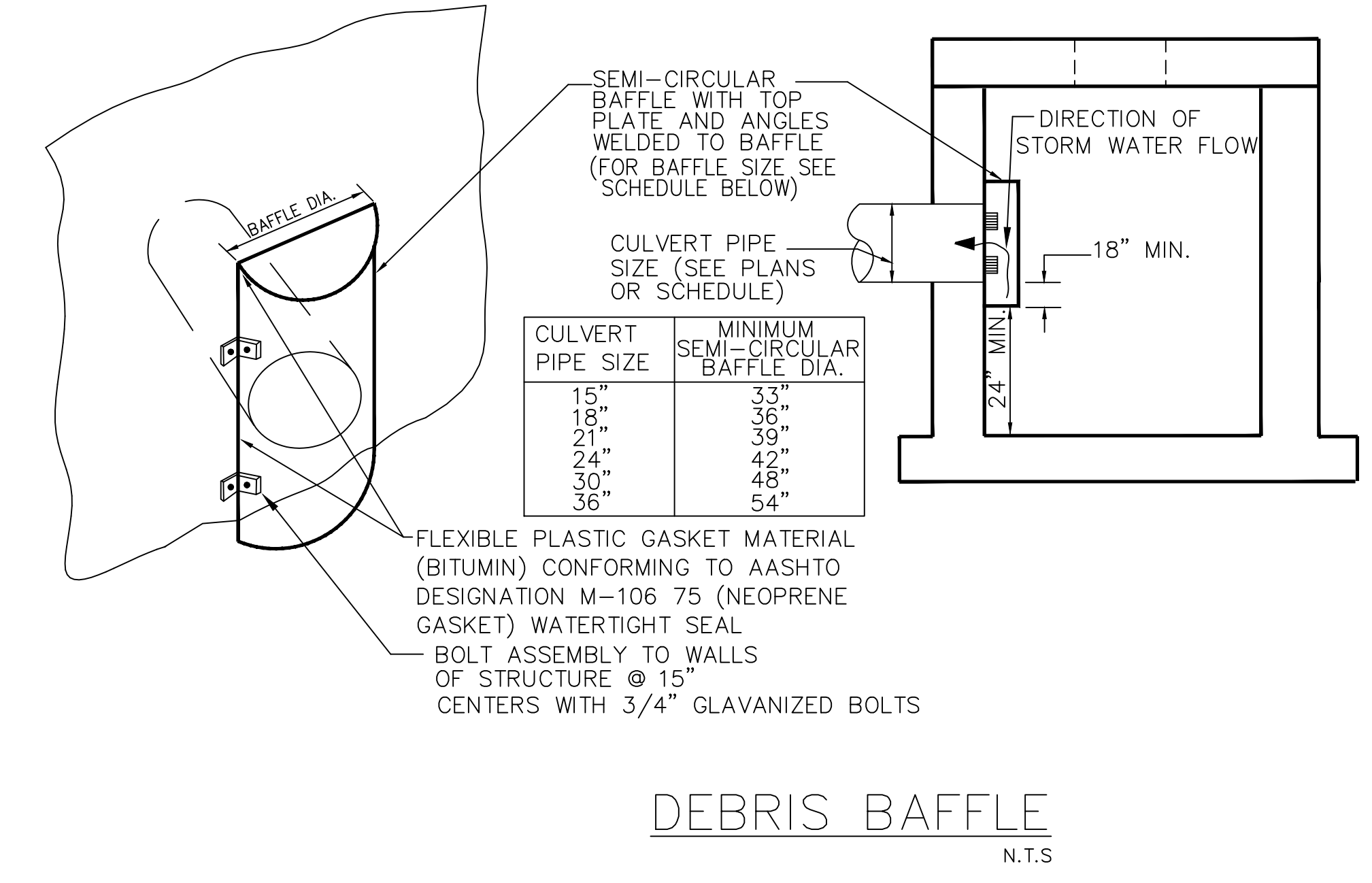
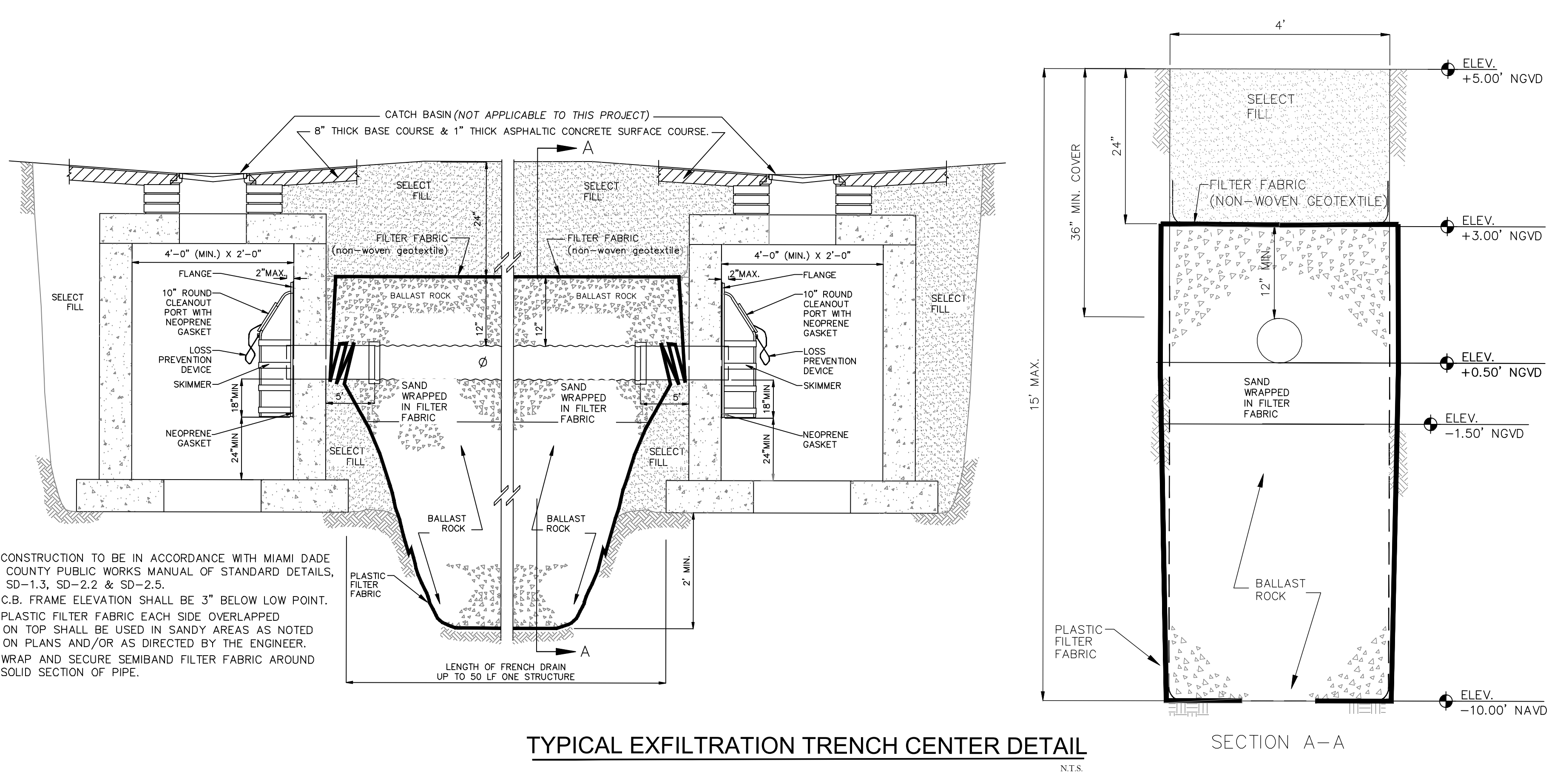
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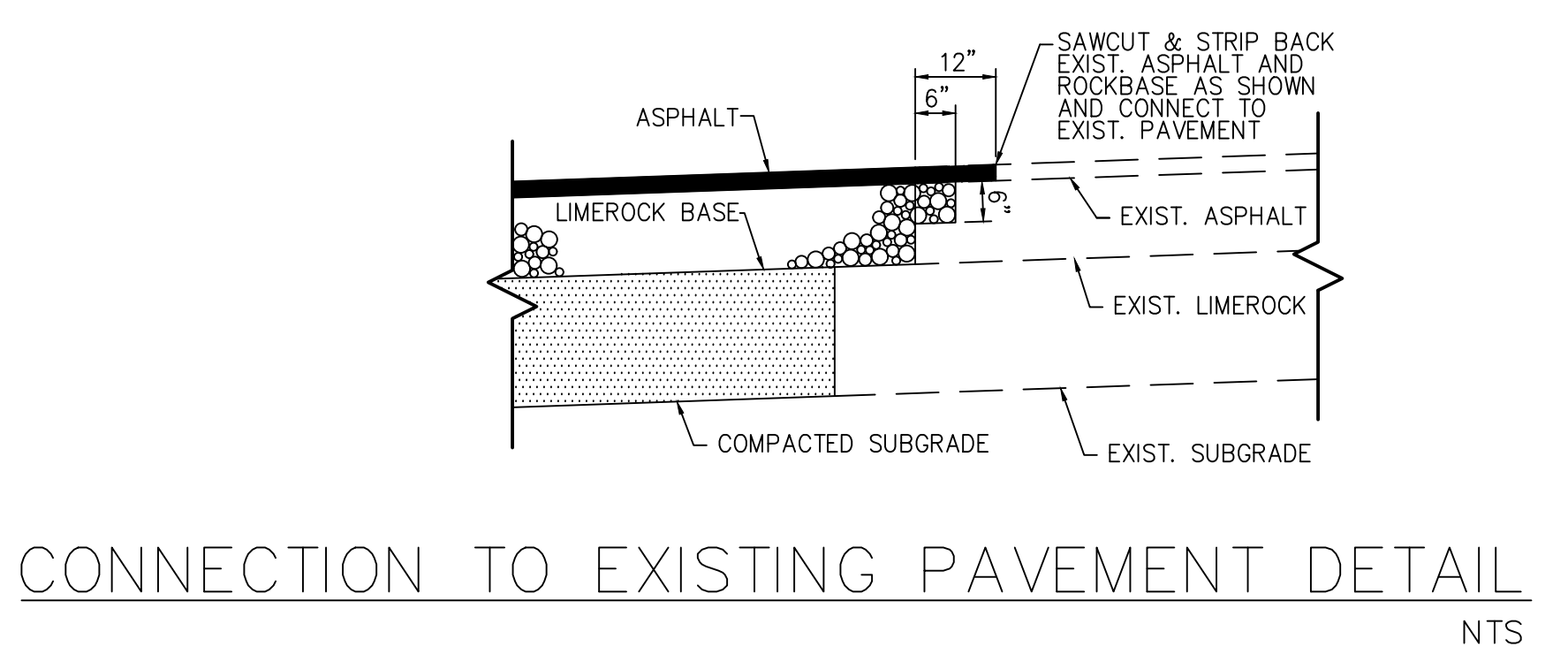
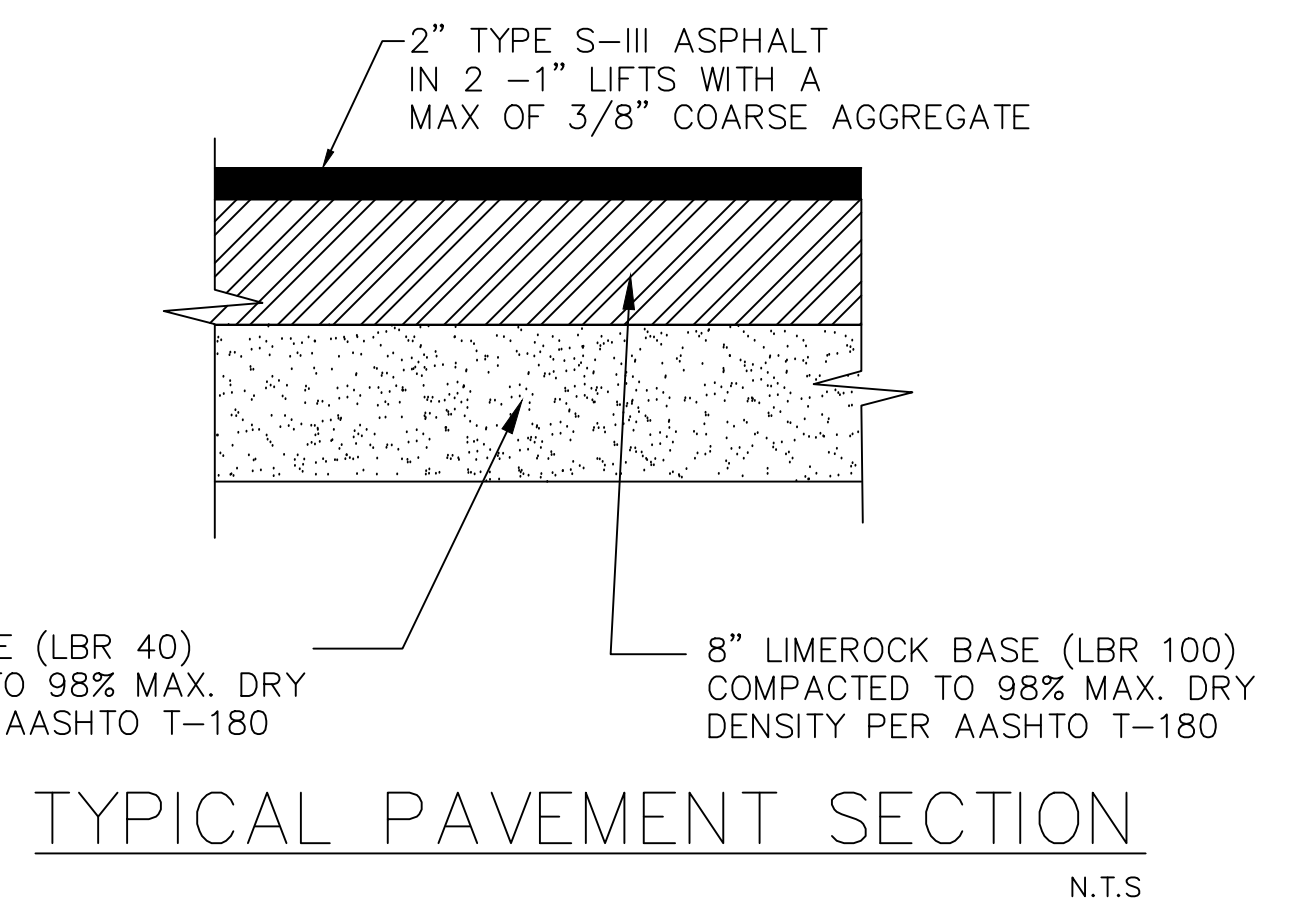
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DATE: **2/22/2023**
 PROJ No.: 21010276-A0
 DRAWN BY: **MB**
 APPR BY: **DS**

SHEET NUMBER:
C-5.02

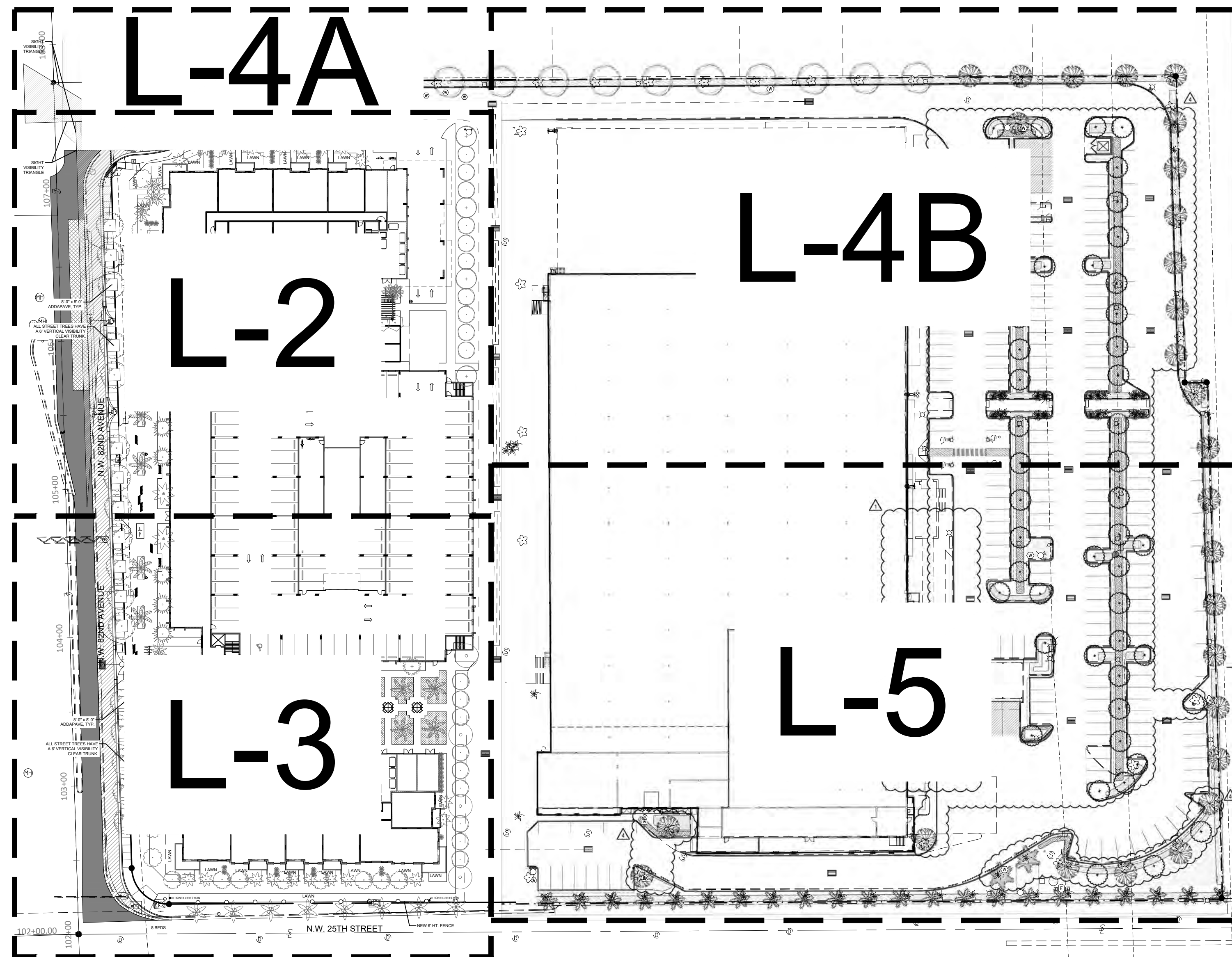


- CONSTRUCTION TO BE IN ACCORDANCE WITH MIAMI DADE COUNTY PUBLIC WORKS MANUAL OF STANDARD DETAILS, SD-1.3, SD-2.2 & SD-2.5.
- C.B. FRAME ELEVATION SHALL BE 3" BELOW LOW POINT.
- PLASTIC FILTER FABRIC EACH SIDE OVERLAPPED ON TOP SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER.
- WRAP AND SECURE SEMIBAND FILTER FABRIC AROUND SOLID SECTION OF PIPE.



DESIGN TICKET NO: 077201638

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 Check positive response codes before you dig!



KEY PLAN NORTH

Scale: NTS

SHEET INDEX:

- TD-1 TREE DISPOSITION PLAN
- L-1 INDEX
- L-2 GROUND FLOOR LANDSCAPE PLAN
- L-3 GROUND FLOOR LANDSCAPE PLAN
- L-4 INDUSTRIAL SITE LANDSCAPE PLAN BY CABRERA RAMOS ARCHITECTS, INC.
- L-5 INDUSTRIAL SITE LANDSCAPE PLAN BY CABRERA RAMOS ARCHITECTS, INC.
- L-6 POOL DECK LANDSCAPE PLAN
- L-7 LANDSCAPE DETAILS

LANDSCAPE LEGEND Information Required to be Permanently Affixed to Plan

Zoning District: **I- INDUSTRIAL** Net Lot Area: **9.28** acres **404,159** s.f.

| OPEN SPACE | REQUIRED | PROVIDED | REMARKS |
|--|----------|----------|-----------------------------|
| A. Square Feet of open space required by Chapter 71, as indicated on site plan: Net lot area = 404,159 s.f. x 10% = 40,416 s.f. | 40,416 | 49,740 | MULTI-FAMILY RESIDENCE ONLY |
| B. Square Feet of parking lot open space required by Chapter 71, as indicated on site plan: No. outside/ground-level parking spaces: N/A x 10 s.f. per parking spaces = | N/A | N/A | |
| C. Total s.f. of landscaped open space required by Chapter 71: A + B = | 40,416 | 49,740 | |

LAWN AREA CALCULATION

A. 40,416 total s.f. of landscaped open space required by Chapter 71

B. Maximum lawn area (sod) permitted = 60% x 40,416 s.f. = 24,250 18,428

LANDSCAPE LEGEND Information Required to be Permanently Affixed to Plan

Zoning District: **MULTI-FAMILY RESIDENTIAL** Net Lot Area: **2.88** acres **125,602** s.f.

MULTI-FAMILY RESIDENCE ONLY

TREES

A. No. trees required per net lot acre
Less existing number of trees meeting minimum requirements = 28 trees x net lot acres =

B. % Palms Allowed: No. trees required x 30% =

C. % Natives Required: No. trees provided x 50% =

D. Street trees (maximum average spacing of 35' o.c.): Palms as Street Trees (max. average spacing 25' o.c.) (Along N.W. 25TH ST.) =

E. Street trees (maximum average spacing of 20' o.c.): (Along N.W. 82ND AVE) 327 linear feet along street =

F. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.): linear feet along street / 25 =

G. Total Trees Required
A + D + E + F = 106 Total Trees

SHRUBS

A. No. trees required x 10 = No. of shrubs allowed

B. No. shrubs allowed x 50% = No. of native shrubs required

LANDSCAPE LEGEND Information Required to be Permanently Affixed to Plan

Zoning District: **I- INDUSTRIAL** Net Lot Area: **6.40** acres **278,557** s.f.

INDUSTRIAL SITE ONLY

SEE LANDSCAPE PLAN BY CABRERA RAMOS ARCHITECTS, INC.

*See Previously approved Landscape plan, Landscape Legend and Landscape List by CABRERA RAMOS ARCHITECTS, INC. on Sheets L-1, L-4 and

LANDSCAPE LEGEND (This information is required to be permanently affixed to the plan.)

Zoning District: **I- INDUSTRIAL** Net Lot Area: **9.3** acres **404,812** square feet

| OPEN SPACE | REQUIRED | PROVIDED |
|---|----------|----------|
| A. Square feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 404,812 square feet x 10% = 40,481 square feet | 40,481 | 79,104 |
| B. Square feet of parking lot open space required by Chapter 18A, as indicated on site plan: The number of parking spaces = 237 x 10 square feet per parking space = | 4,370 | 4,370 |
| C. Total square feet of landscaped open space required by Chapter 33 = A + B = | 44,851 | 83,474 |

LAWN AREA CALCULATION

A. Total square feet of landscaped open space required by Chapter 33 = 44,851

B. Maximum lawn area (St. Augustine sod) permitted = 20% x 44,851 square feet = 9,064

TREES

A. The number of trees required per net lot acre less the existing number of trees that meet minimum requirements = 15 (minus) 146 = 131

B. 30% palm trees allowed (two palms = one tree) Palms provided = 42 (102 as part of phase 1)

C. Percentage of native trees required = the number of trees provided x 30% = 152 (102 as part of phase 1)

D. Street trees (max. average spacing of 35' o.c.): 152 linear feet along street = 35 = 53 (23 as part of phase 1)

E. Street trees (max. average spacing 25' o.c.): 1,292 linear feet along street = 25 = 52 (23 as part of phase 1)

F. Total number of trees provided = 182 (106 as part of phase 1)

SHRUBS

A. The total number of trees required x 10 = the number of shrubs required = 1,310

B. The number of shrubs required x 30% = the number of native shrubs required = 393 (268 as part of phase 1)

IRRIGATION PLAN: Required by Chapter 33. Auto irrigation or hose bib provided.

| SYMBOL USED ON PLAN | PLANT NAME | NATIVE SPECIES | SIZE* | QUANTITY | |
|-------------------------|-------------------------------------|----------------|-------------------------------------|-----------|-----------|
| | | | | PHASE 1 | PENDING |
| TREES | | | | | |
| | MONTGOMERY PALM STREET PALM | | AVERAGE SPACING OF 25' O.C. OR LESS | 22 | 27 |
| | CANARY ISLAND DATE PALM STREET PALM | | AVERAGE SPACING OF 25' O.C. OR LESS | 1 | 3 |
| | FLORIDA TATCH PALM | | 15'-0" TO 20'-0" | 16 / 2-1 | 34 / 2-7 |
| | ORANGE LIME | | 25'-0" TO 30'-0" MATURE | 16 | 16 |
| | LIVE OAK | | 40'-0" TO 60'-0" MATURE | 0 | 16 |
| | GREEN BUTTONWOOD | | 35'-0" TO 30'-0" MATURE | 28 | 0 |
| | ORANGE ORANGE | | 15'-0" TO 20'-0" MATURE | 50 | 0 |
| SHRUBS AND GROUND COVER | | | | | |
| | COCOPLUM | | 24" H. / 2' O.C. | 256 | 864 |
| | OXALIS | | 18" H. / 2' O.C. | 492 | 465 |
| | VARIEGATED ABUTILON | | 18" H. / 2' O.C. | 245 | 146 |
| | GREEN M. L. L. | | 5' H. / 3' O.C. | 0 | 108 |
| | EVERGREEN SHRUB | | 18" H. / 12' O.C. | 0 | 140 |
| | INDIGATIF NATIVE SPECIES | | | 1760 S.P. | 7362 S.P. |

* ALL TREES EXCEPT STREET TREES AND TREES LOCATED BENEATH POWER LINES SHALL BE A MINIMUM OF TEN (10) FEET HIGH AND HAVE A MINIMUM CALIPER OF 2 1/2 INCHES AT TIME OF PLANTING.

TOTAL SQUARE FOOTAGE OF PROPOSED PAVEMENT = 94,020 SF

EXISTING BUILDING IS A VACANT WAREHOUSE. FUTURE USE OF BUILDING AND SITE DEVELOPMENT WILL BE RETAIL AS PER CITY OF DORAL ZONING ORDINANCE CHAPTER 251A-01.

LANDSCAPE LEGEND AND LANDSCAPE LIST BY CABRERA RAMOS ARCHITECTS, INC.

NOTES:

- ALL TREES ON INDUSTRIAL SITE ARE EXISTING.

GROUND FLOOR NEW LANDSCAPE LIST

| SYMBOL | QUAN. | PROPOSED MATERIAL | DESCRIPTION |
|--------|-------|-----------------------------------|---------------------------------------|
| | 17 | Quercus virginiana (STREET TREES) | 16' HT. X 6' SPR. 2.5" Cal. / 6' C.T. |
| | 4 | Polyalthia longifolia 'Pendula' | 10' HT. 2.5" Cal. |
| | 20 | Lagerstroemia indica 'White' | 12' HT. X 5' SPR. 2.5" Cal. |
| | 4 | Bursaria sinaruba | 12' HT. X 5' SPR. 2.5" Cal. |
| | 23 | Coccoloba diversiflora | 10' HT. 2.5" Cal. |
| | 3 | Cassia coccinea | 10' HT. 2.5" Cal. |
| | 6 | Myrcianthes fragrans | 15' HT. X 15' SPR. / 15" O.C. |
| | 4 | Conocarpus erectus | 12' HT. X 5' SPR. 2.5" Cal. |
| | 2 | Bursaria sinaruba 'Specimen' | 20' HT. MIN. X 12' SPR. |
| | 13 | Conocarpus erectus 'Silver' | 10' HT. 2.5" Cal. |
| | 6 | Elaeocarpus decipiens | 12' HT. X 5' SPR. 2.5" Cal. |
| | 10 | Phoenix sylvesteris | 10' C.T. |
| | 8 | Royal Palm | 10' O.A. HT. MIN. DOUBLE |
| | 56 | Caryota mitis | 10-12' O.A. HT. |
| | 2 | Veitchia montgomeryana 'single' | 10' O.A. HT. MIN. |
| | 20 | Wodyetia bifurcata | 18' O.A. HT. MIN. TRIPLE |
| | 19 | Veitchia montgomeryana 'double' | 18' O.A. HT. MIN. DOUBLE |

SHRUBS AND GROUNDCOVERS

| SYMBOL | QUAN. | PROPOSED MATERIAL | DESCRIPTION |
|--------|-------------|------------------------------------|-------------------------------|
| | 8 | Cinnum augustum 'Queen Emma' | 3' O.A. HT. |
| | 26 | Cordylina fruticosa 'Tricolor' | 3' O.A. HT. 3 PPP |
| | 777 | Clusia guttifera | 30" HT. X 30" SPR. / 24" O.C. |
| | 18 | Clusia generalis | 38" HT. X 18" SPR. / 18" O.C. |
| | 14 | Elaeocarpus decipiens | 6-7' HT., STANDARD |
| | 1173 | Ficus microcarpa 'Green Island' | 15" HT. X 15" SPR. / 15" O.C. |
| | 4 | Jatropha integrirama | 6" HT. X 4" SPR. |
| | 101 | Podocarpus macrophyllus | 5" HT. X 24" SPR. / 24" O.C. |
| | 80 | Philodendron 'Congo Red' | 24" HT. X 24" SPR. / 24" O.C. |
| | 577 | Schefflera arboricola 'Alba' | 18" HT. X 18" SPR. / 18" O.C. |
| | 157 | Philodendron nanatum | 15" HT. X 15" SPR. / 18" O.C. |
| | 520 | Schefflera arboricola | 24" HT. X 24" SPR. / 24" O.C. |
| | 160 | Schefflera arboricola 'Trinetta' | 18" HT. X 18" SPR. / 18" O.C. |
| | 61 | Ficus tripartita | 36" HT. X 36" SPR. / 36" O.C. |
| | 60 | Ficus microcarpa | 24" HT. X 24" SPR. / 24" O.C. |
| | As Required | Stenotaphrum secundatum 'Floratum' | SOLID EVEN SOD |

* DENOTES NATIVE SPECIES

POOL DECK LANDSCAPE LIST

| SYMBOL | QUAN. | PROPOSED MATERIAL | DESCRIPTION |
|--------|-------------|------------------------------------|--------------------------------|
| | 10 | Coccoloba diversiflora | 10' HT. 2.5" Cal. |
| | 4 | Ligustrum japonicum | 10' HT. X 6' SPR., MULTI TRUNK |
| | 8 | Elaeocarpus decipiens | 10' HT. 2.5" Cal. |
| | 6 | Bursaria sinaruba | 10' HT. 2.5" Cal. |
| | 12 | Phoenix sylvesteris | 10' C.T. |
| | 10 | Veitchia montgomeryana 'double' | 18' O.A. HT. MIN. DOUBLE |
| | 102 | Clusia guttifera | 24" HT. X 24" SPR. / 24" O.C. |
| | 2 | Elaeocarpus decipiens | 6-7' HT., STANDARD |
| | 366 | Ficus microcarpa 'Green Island' | 15" HT. X 15" SPR. / 15" O.C. |
| | 36 | Ipomoea 'Margate' | 15" O.C. |
| | 6 | Jatropha integrirama | 6" HT. X 4" SPR. |
| | 434 | Philodendron nanatum | 18" HT. X 15" SPR. / 18" O.C. |
| | 158 | Schefflera arboricola 'Trinetta' | 18" HT. X 18" SPR. / 18" O.C. |
| | As Required | Stenotaphrum secundatum 'Floratum' | SOLID EVEN SOD |

* DENOTES NATIVE SPECIES

WITKIN HULTS + PARTNERS

307 South Bay Street, Suite 100
Doral, FL 33126
Phone: 954.923.9881 | Fax: 954.923.9889
www.witkindesign.com

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LEGACY AT DORAL

2525 NW 82ND AVENUE DORAL FLORIDA 33122

INDEX

Project:

| Revisions: | Date: | By: |
|---------------------------|------------|-----|
| 1) City Comments | 08.15.2022 | MAV |
| 2) Site Plan Coordination | 09.03.2022 | JPT |
| 3) Site Plan Coordination | 09.22.2022 | MAV |

Seal:

Lic. # LA0000889
Member: A.S.L.A.

Drawing: Index

Date: 05/11/2021

Scale: See Left

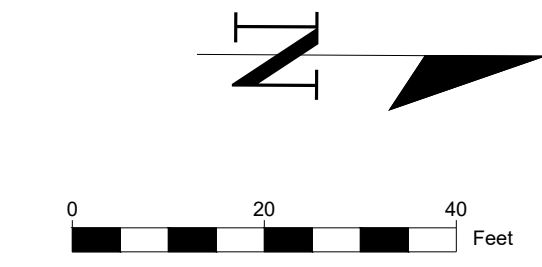
Drawn by: MAV

Sheet No.:

L-1

Cad Id.: 2021-037

NW 82 AVENUE



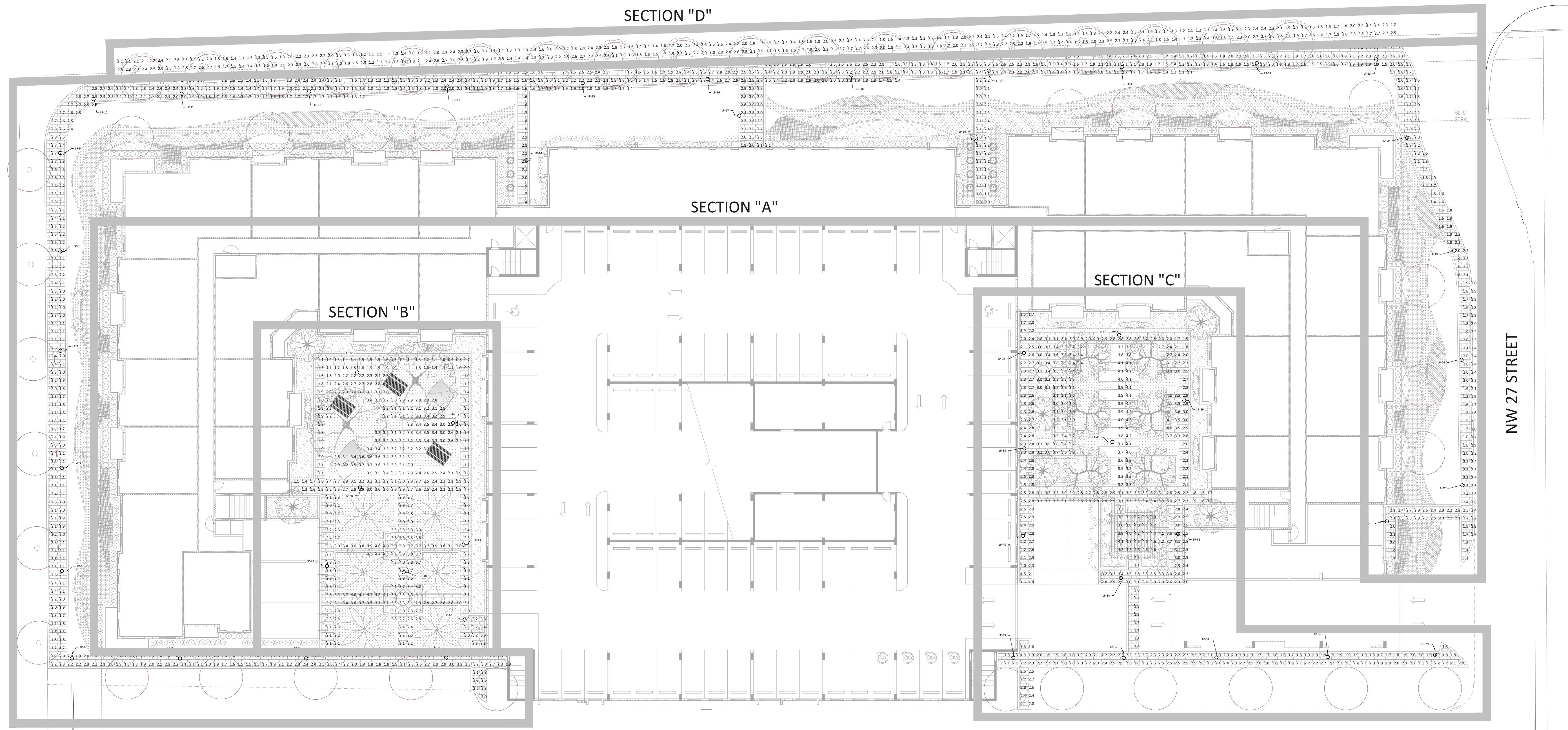
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LIGHTING PHOTOMETRIC PLAN

PHASE:
SCHEMATIC DESIGN



NW 25 STREET

NW 27 STREET

LUMINAIRE DEFINITION

| LUMINAIRE: | GRLF3_P10_27K_XXXXX_ASY |
|------------------------------|--|
| DESCRIPTION | GRLF3 P10 27K XXXXX ASY |
| ATTRIBUTES | |
| FILENAME | GRLF3_P10_27K_XXXXX_SYM.IES |
| [MANUFAC] | HOLOPHANE |
| [LUMCAT] | GRLF3 P10 27K XXXXX ASY |
| PHOTOMETRY | |
| ARRANGEMENT LUMINAIRE LUMENS | 3738 |
| LUMINAIRE WATTS | 30 |
| ARRANGEMENT WATTS | 30 |
| LUMINAIRE EFFICIENCY (%) | N/A |
| S/P RATIO | 1.00 |
| TOTAL LIGHT LOSS FACTOR | 1.000 |
| ROAD CLASSIFICATION | TYPE IV |
| LONGITUDINAL CLASSIFICATION | VERY SHORT |
| INDOOR CLASSIFICATION | DIRECT |
| LER | 125 |
| UPWARD WASTE LIGHT RATIO | 0.00 |
| MAX UGR | 33.3 |
| BUG RATING | B1-U0-G1 |
| CONTROL: | PRF-7 PH NEMA PHOTOCONTROL RECEPTACLE, SH SHORTING CAP. |

CALCULATION SUMMARY

| SECTION "A" | SECTION "C" |
|------------------|------------------|
| ILLUMINANCE (FC) | ILLUMINANCE (FC) |
| AVERAGE 2.05 | AVERAGE 2.70 |
| AVG/MIN 2.56 | AVG/MIN 2.15 |
| MAX/MIN 4.13 | MAX/MIN 3.54 |

| SECTION "B" | SECTION "D" |
|------------------|------------------|
| ILLUMINANCE (FC) | ILLUMINANCE (FC) |
| AVERAGE 2.73 | AVERAGE 2.02 |
| AVG/MIN 3.90 | AVG/MIN 1.84 |
| MAX/MIN 6.29 | MAX/MIN 2.73 |

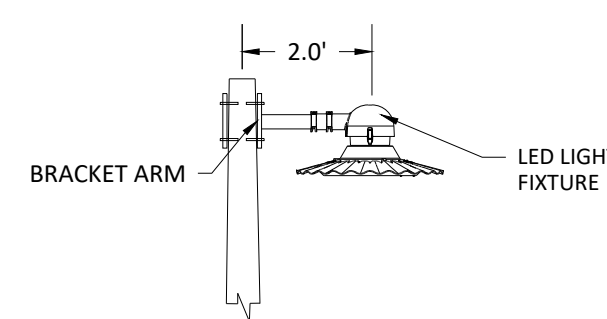
NOTE: SEE SHEETS L-2 THRU L-5 FOR SCALED VIEWS OF PHOTOMETRIC SECTIONS

LIGHTING DESIGN CRITERIA

AVERAGE INITIAL INTENSITY 2-5 FC
 AVG/MIN 4.0:1
 MAX/MIN 10.0:1

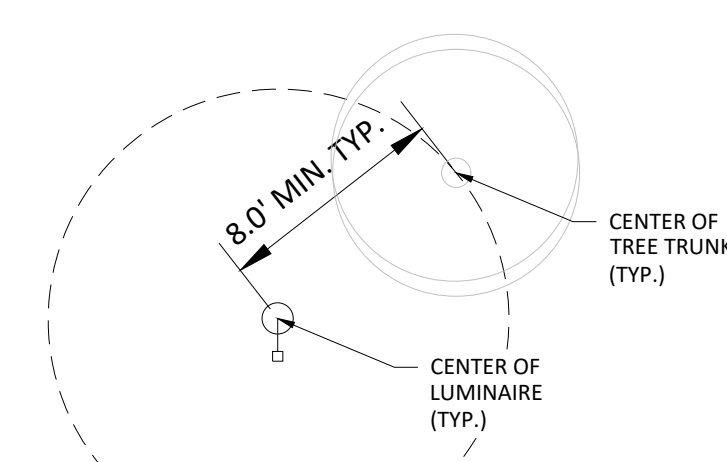
ABBREVIATION LEGEND

LP-# LIGHT POLE #



LIGHT POLE DETAIL

N.T.S.



LIGHT POLE CLEARANCE DETAIL

N.T.S.

| REVISIONS | | |
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| Revision # | Revision Description | Date |
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DATE: **8/18/2022**
 PROJ No.: **21010276-A0**
 DRAWN BY: **ED**
 APPR BY: **RM**

DESIGN TICKET NO: 077201638

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**LIGHTING PHOTOMETRIC DETAIL
 (1 OF 4)**

PHASE:

**SCHEMATIC
 DESIGN**

REVISIONS

| Revision # | Revision Description | Date |
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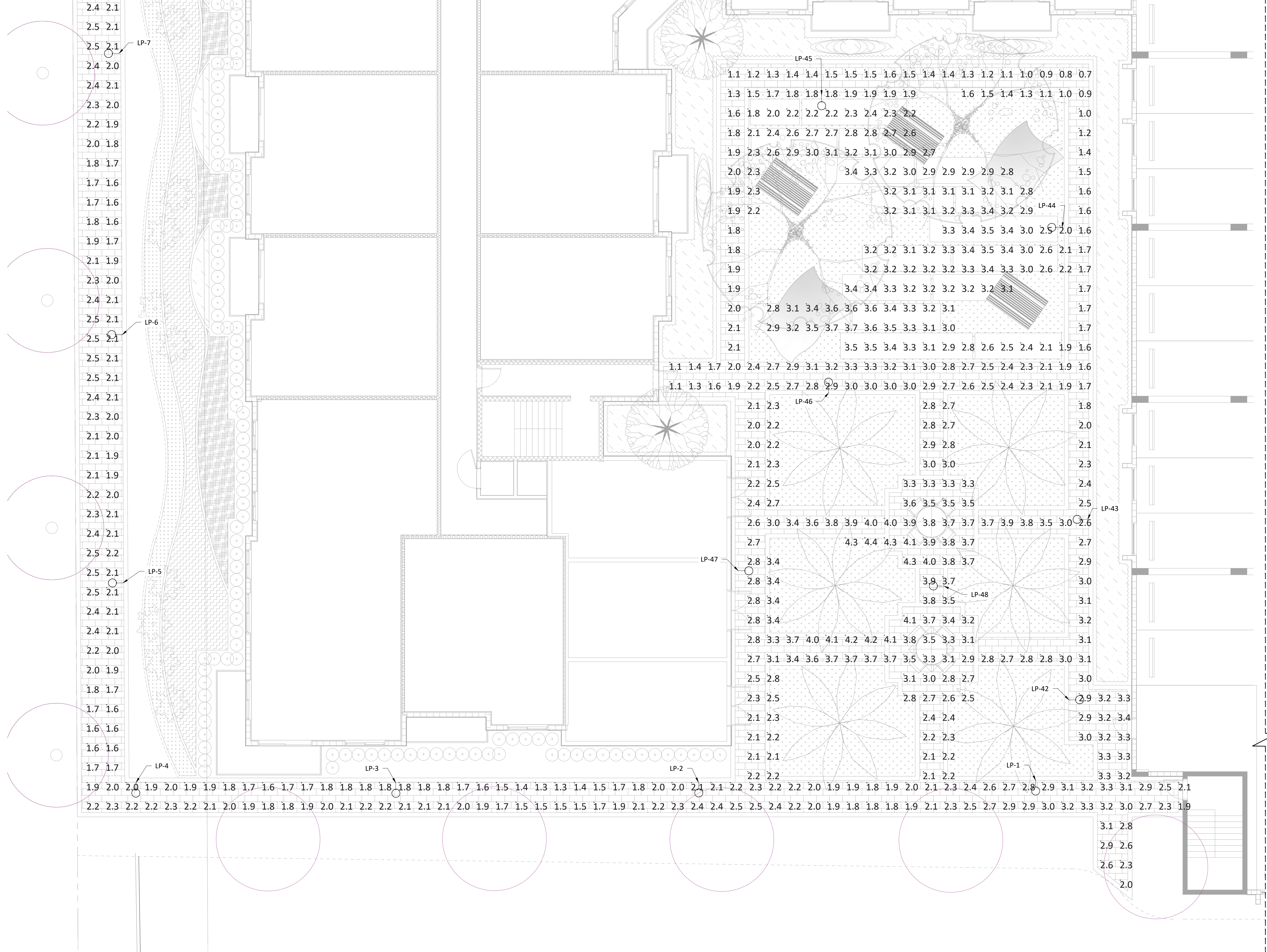
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DATE: **8/18/2022**
 PROJ No.: **21010276-A0**
 DRAWN BY: **ED**
 APPR BY: **RM**

SHEET NUMBER:

L-1.02

MATCH LINE (SEE SHEET L-1.03)



MATCH LINE (SEE SHEET L-1.05)

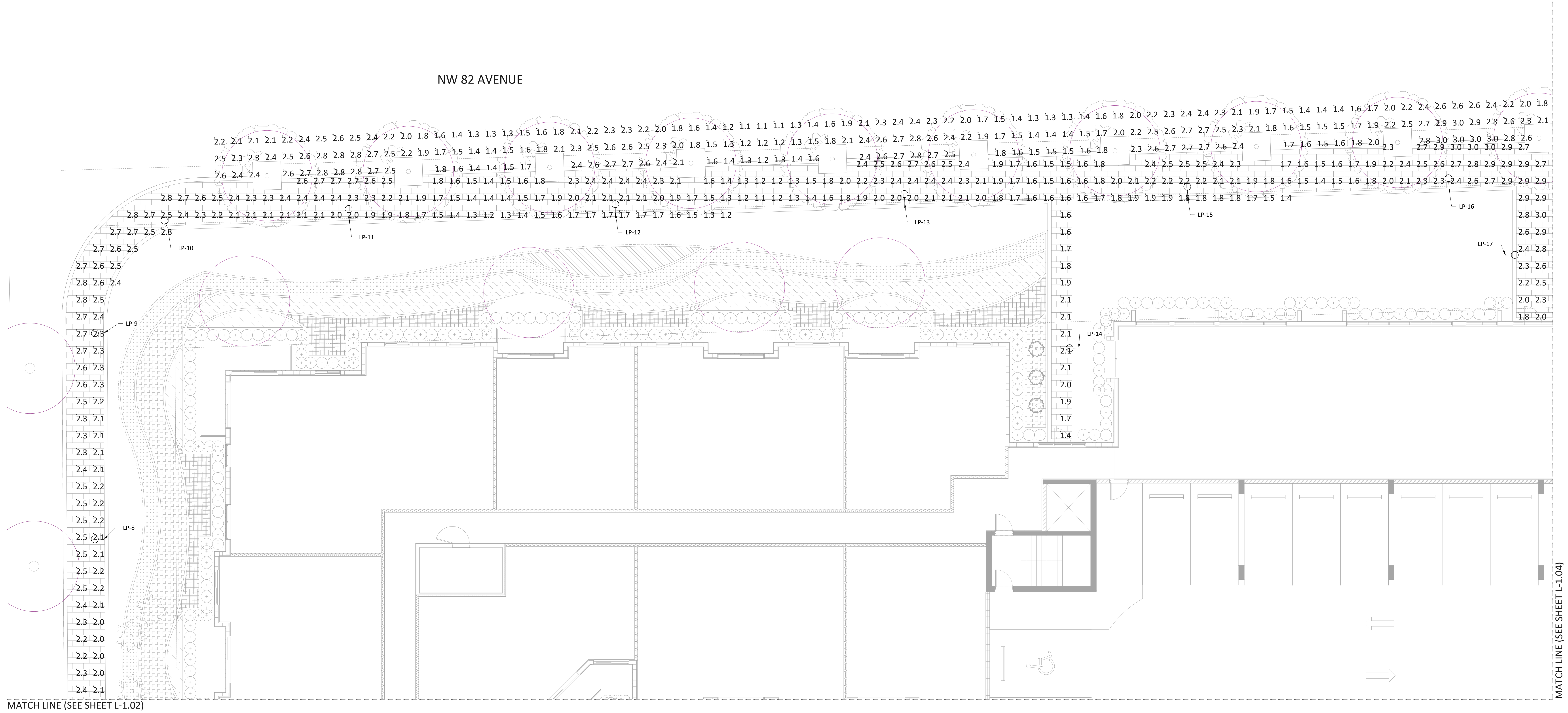
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 DORAL, FL. 33122

OWNER:
TheEastonGroup
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LIGHTING PHOTOMETRIC DETAIL
(2 OF 4)

PHASE:
SCHEMATIC DESIGN

| REVISIONS | | |
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| Revision # | Revision Description | Date |
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L-1.03

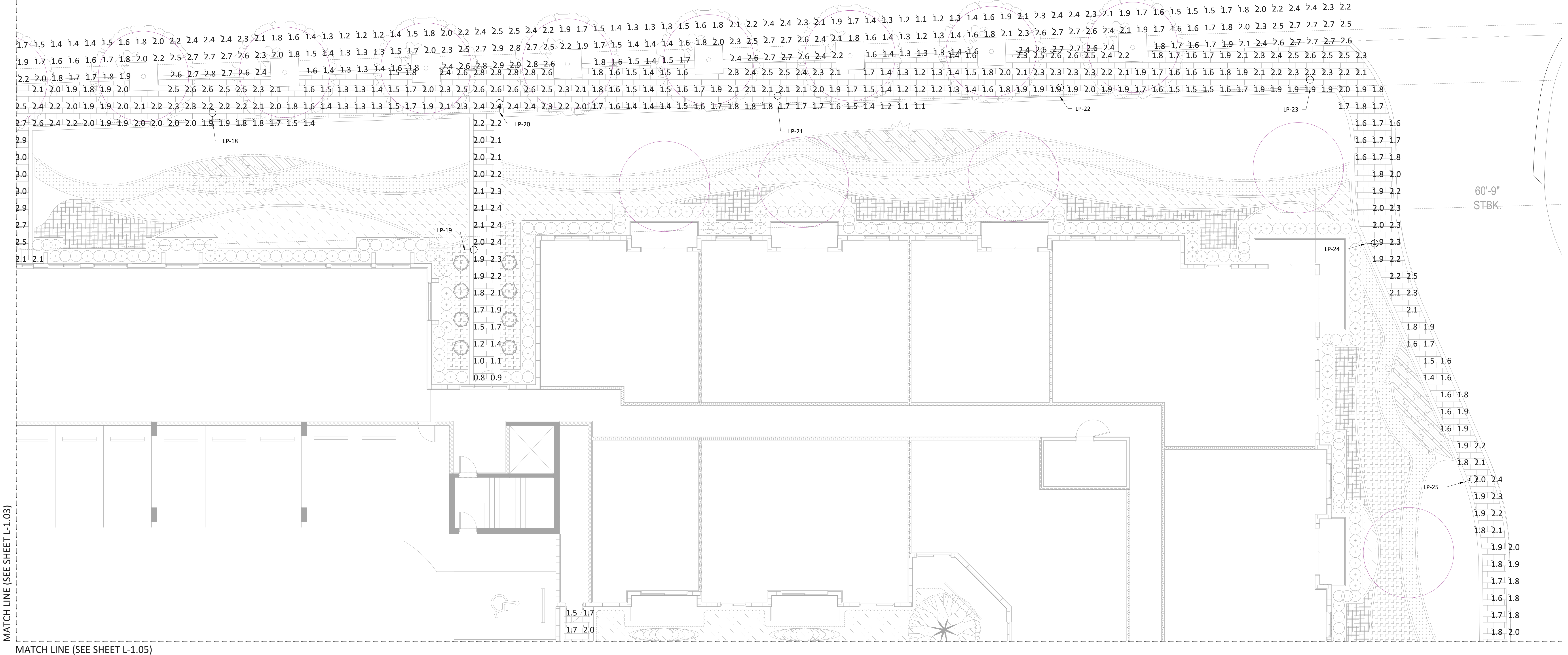
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NW 82 AVENUE



LIGHTING PHOTOMETRIC DETAIL
(3 OF 4)

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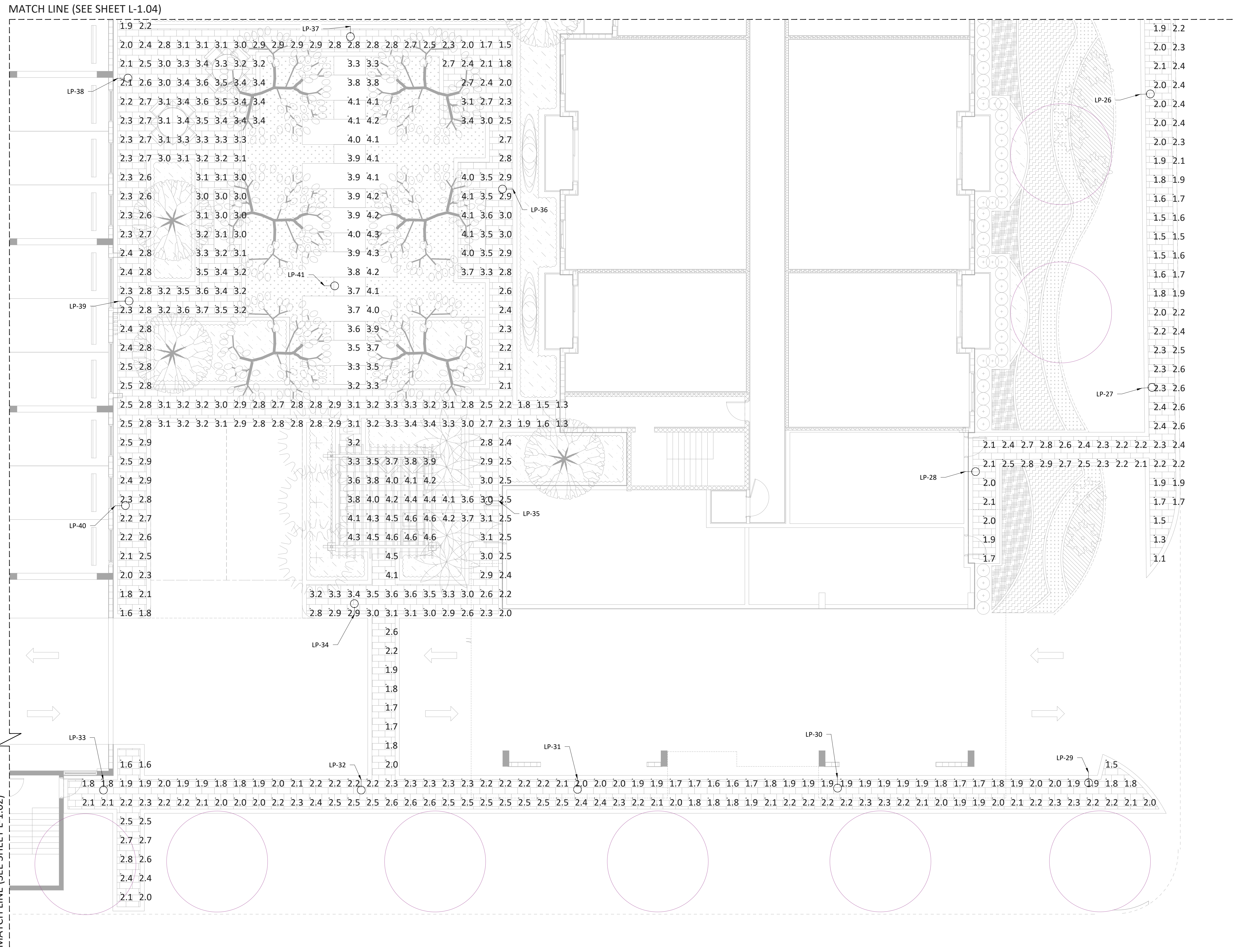
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