

RESOLUTION No. 24-15

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR CORPORATE PROPERTY SERVICES, INC., FOR THE PROPERTY LOCATED AT 3730 NW 79 AVENUE, DORAL, FLORIDA, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Article III of Chapter 53 of the Land Development Code of the City of Doral ("City") establishes procedures for Mayor and City Council site plan review and approval; and

WHEREAS, Corporate Property Services, Inc. – Craig McDonald (the "Applicant") is seeking site plan approval to redevelop the parcel located at 3730 NW 79th Avenue, further identified by the Miami-Dade County Property Appraiser by Folio No. 35-3027-031-0020 (the "Property"), as legally described in "Exhibit A" (the "Project"); and

WHEREAS, City staff finds that the proposed site plan, attached hereto as "Exhibit B," complies with the requirements and standards of the City's Land Development Code and Comprehensive Plan; and

WHEREAS, a zoning workshop was held on August 22, 2023, during which the public was afforded an opportunity to examine the Project and provide feedback; and

WHEREAS, after notice of public hearing duly published and notifications of all property owners of record within 500-foot radius, a public hearing was held before the Mayor and City Council on January 24, 2024, during which all interested persons were afforded the opportunity to be heard, and due and proper consideration was given to the matter, including the recommendations contained in the City's Planning and Zoning Staff Report; and

WHEREAS, the City Council reviewed the site plan application, the written and oral recommendations of the Planning and Zoning Department, including the recommended

conditions, and hereby finds competent substantial evidence to find the site plan is in compliance with the City's Comprehensive Plan and Land Development Regulations, and that the site plan maintains the basic intent and purpose of the zoning, subdivision or other land use regulations, which is to protect the general welfare of the public, and further finds that the site plan application should be granted, subject to the conditions described herein.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

Section 1. Recitals. The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

Section 2. Findings and Conclusions. Based upon an analysis of the site plan application and standards for approval of a site plan under the City's Land Development Regulations, the City Council hereby finds and concludes that the Applicant's request for site plan, as more particularly set forth in "Exhibit B," is in compliance with the Comprehensive Plan and the Land Development Regulations of the City, and there is substantial competent evidence to support approval of the Application.

Section 3. Approval. The Mayor and City Council hereby approve the site plan for Pollo Campero, for the property located at 3730 NW 79th Avenue, further identified by a portion of folio number 35-3027-031-0020, as legally described in "Exhibit A." The site plan consists of a ±3,204 square foot one-story fast food eating establishment and a copy of the site plan is provided in "Exhibit B." The approval of the site plan is subject to the following conditions:

1. The Project shall be built in substantial compliance with the plans entitled "Pollo Campero," prepared by CKE Group, Inc., dated stamped received November 13, 2023.
2. The Project shall be landscaped in accordance with the landscape plan, digitally signed by James McClure, RLA, dated stamped received November 13, 2023, as amended, and included with the site plan submittal.
3. The Public Works Department recommends conditional approval pending satisfactorily addressing the comments below prior to issuance of building permit:
 - a. Approval from Miami-Dade County Traffic Division is required.
4. The Applicant shall comply with Chapter 75, "Public Arts Program," of the City's Land Development Code at the time of building permit. Pollo Campero will pay the Public Art in Lieu fee equal to 1% of the construction cost.
5. The Applicant shall comply with the City's Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City's Code.
6. The Applicant shall provide the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
7. A Stormwater Pollution Prevention Plan (SWPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, stormwater and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
8. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 "Noise Ordinance."
9. The Applicant shall comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.
10. The Applicant shall comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.

11. All applicable local, state, and federal permits must be obtained before commencement of the development.
12. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
13. That the Applicant must obtain a Certificate of Occupancy and a Certificate of Use from the City upon compliance with all terms and conditions. The Certificate of Occupancy and Certificate of Use shall be subject to cancellation upon violation of any of the conditions.

FAILURE BY THE CITY TO TIMELY ENFORCE ANY OF THE ABOVE CONDITIONS DOES NOT CONSTITUTE A WAIVER OF THE SAME AND IF THE APPLICANT, ITS SUCCESSORS, OR, ASSIGNS, DOES NOT PERFORM SUCH CONDITIONS WITHIN FIVE (5) DAYS AFTER WRITTEN NOTICE, THE CITY RETAINS THE RIGHT TO STOP CONSTRUCTION, IF NECESSARY, UNTIL THAT CONDITION IS MET. THE CITY RESERVES THE RIGHT TO ENFORCE THESE CONDITIONS BY ISSUING A CODE COMPLIANCE CITATION, REVOKING THIS RESOLUTION, AND/OR AVAILING ITSELF OF ANY AND ALL REMEDIES AVAILABLE AT LAW OR IN EQUITY. BY ACTING UNDER THIS APPROVAL, APPLICANT HEREBY CONSENTS TO ALL THESE TERMS AND CONDITIONS

Section 4. Effective Date. This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Vice Mayor Puig-Corve who moved its adoption. The motion was seconded by Councilmember Cabral and upon being put to a vote, the vote was as follows:

Mayor Christi Fraga	Yes
Vice Mayor Oscar Puig-Corve	Yes
Councilwoman Digna Cabral	Yes
Councilman Rafael Pineyro	Yes
Councilwoman Maureen Porras	Yes

PASSED AND ADOPTED this 24 day of January, 2024.




CHRISTI FRAGA, MAYOR

ATTEST:



CONNIE DIAZ, MMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



VALERIE VICENTE, ESQ. for
NABORS, GIBLIN & NICKERSON, P.A.
CITY ATTORNEY

EXHIBIT “A”

TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 136, PAGE 6, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONCAVE TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46", FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.

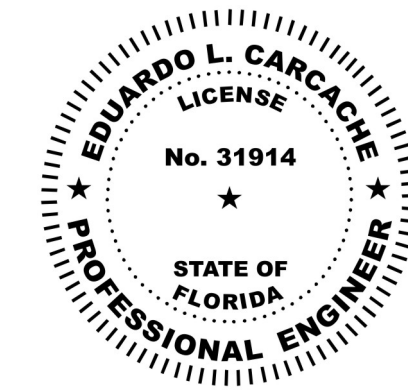
SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.

EXHIBIT “B”

POLLO CAMPERO RESTAURANT

3730 NW 79th AVE DORAL, FLORIDA 33166

ENGINEER'S CERTIFICATION:
THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.



EDUARDO L. CARCACHE, PE 31914
CKE GROUP, INC. COA-4432

Eduardo L. Carcache, State of Florida,
Professional Engineer, License No. 31914.

This item has been digitally signed and sealed by Eduardo L. Carcache on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

ENGINEER:

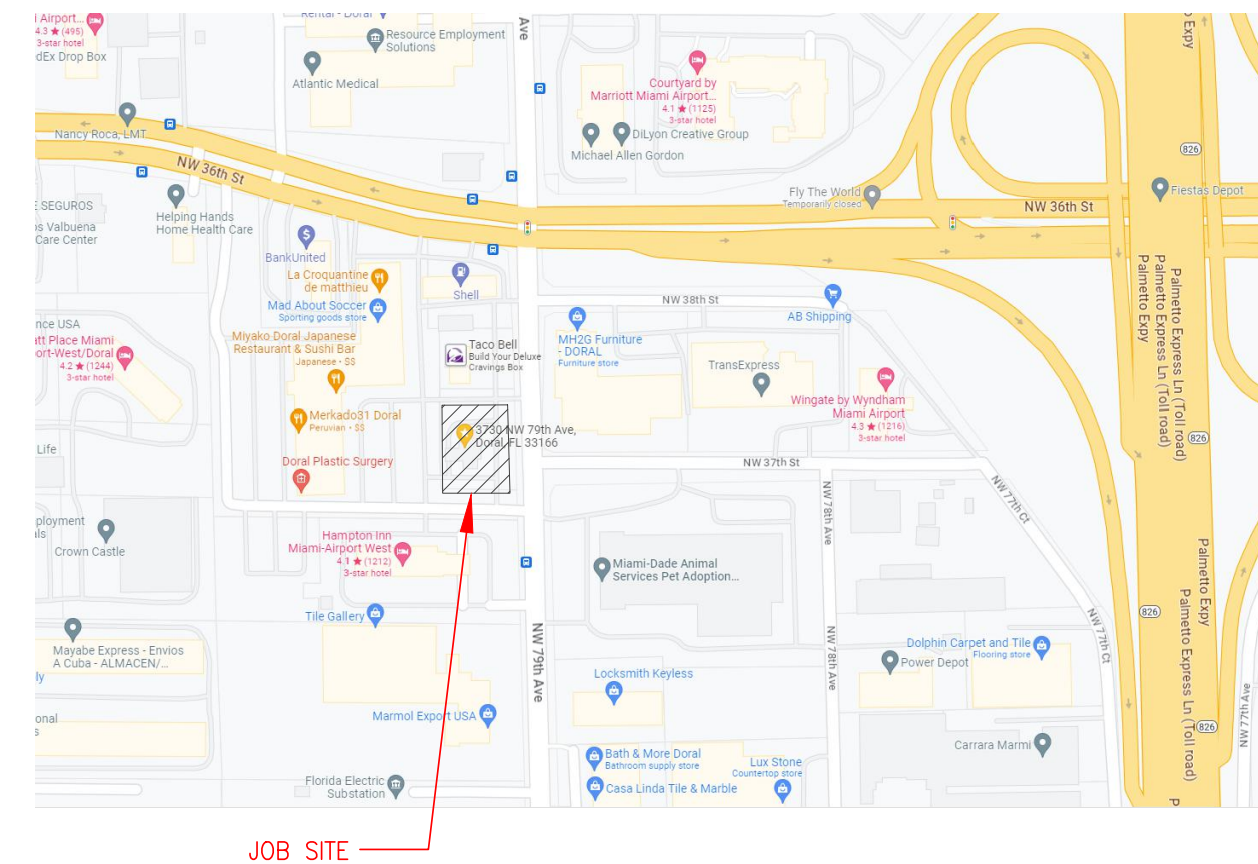
CKE GROUP, INC.
17190 ROYAL PALM BLVD., SUITE 2
WESTON, FLORIDA 33326
(305) 558-4124
ATTN: EDUARDO L. CARCACHE

SURVEYOR:

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
MIAMI, FLORIDA 33351
(954) 572-1777
ATTN: JOHN F. PULICE

LANDSCAPE:

MLA LANDSCAPE ARCHITECTURE
1016 NE 45TH STREET
OAKLAND PARK, FLORIDA 33334
(954) 763-4071 / (954) 763-1047



LOCATION MAP
N.T.S.

LEGAL DESCRIPTION:

TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 136, PAGE 6, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONCAVE TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46", FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.

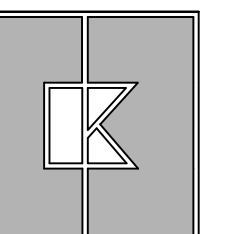
SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.

REVISIONS:

- REV 1: 08-24-2023
- REV 2: 10-12-2023

INDEX OF DRAWINGS:

- COVER SHEET
- SURVEY
- SD-1 SITE DEMOLITION PLAN
- C-1 SITE PLAN
- C-2 PAVING AND DRAINAGE PLAN
- C-3 SITE UTILITY PLAN
- C-4 SITE DETAILS
- C-5 SITE DETAILS AND PAVEMENT SECTIONS
- C-6 SURFACE WATER POLLUTION PREVENTION PLAN
- C-6.1 SURFACE WATER POLLUTION PREVENTION DETAILS
- C-7 PAVEMENT MARKINGS AND SIGNAGE PLAN
- C-8 TRUCK PATH
- CE-1 LIGHTING PLAN
- L-1 LANDSCAPE PLAN
- L-2 EXISTING TREE DISPOSITION PLAN
- L-3 LANDSCAPE DETAILS AND SPECIFICATIONS
- IR-1 IRRIGATION PLAN
- A 2.0 FLOOR PLAN
- A 3.0 EXTERIOR ELEVATIONS
- A 3.1 EXTERIOR ELEVATIONS
- COLORED ELEVATIONS - EAST & SOUTH
- COLORED ELEVATIONS - WEST & NORTH





CIVITARESE | MORGAN

921 N. RIVERFRONT BLVD. SUITE 700
DALLAS, TEXAS 75207

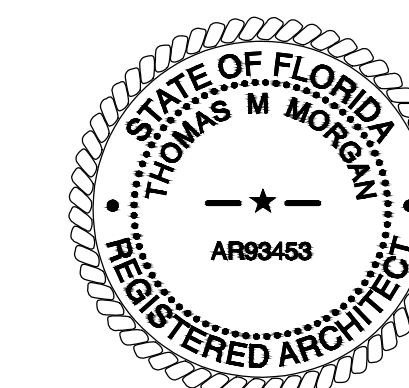
TEL: 214-613-0680 FAX: 469.730.3341

ARCHITECT



**T.M. Morgan
Architect**
921 N. RIVERFRONT BLVD.
SUITE 700
DALLAS, TEXAS 75207

SEAL



ARCHITECTURAL PROJECT NO.: 103-XX



3730 NW. 79TH AVE.
DORAL, FL 33166

NO.	REVISIONS:	DATE:

TENANT REVIEW / ISSUE DATE: XX-XX-XX
 LANDLORD REVIEW / ISSUE DATE: XX-XX-XX
 PERMIT ISSUE DATE: XX-XX-XX
 BID ISSUE DATE: XX-XX-XX
 CONSTRUCTION ISSUE DATE: XX-XX-XX

DRAWING TITLE:

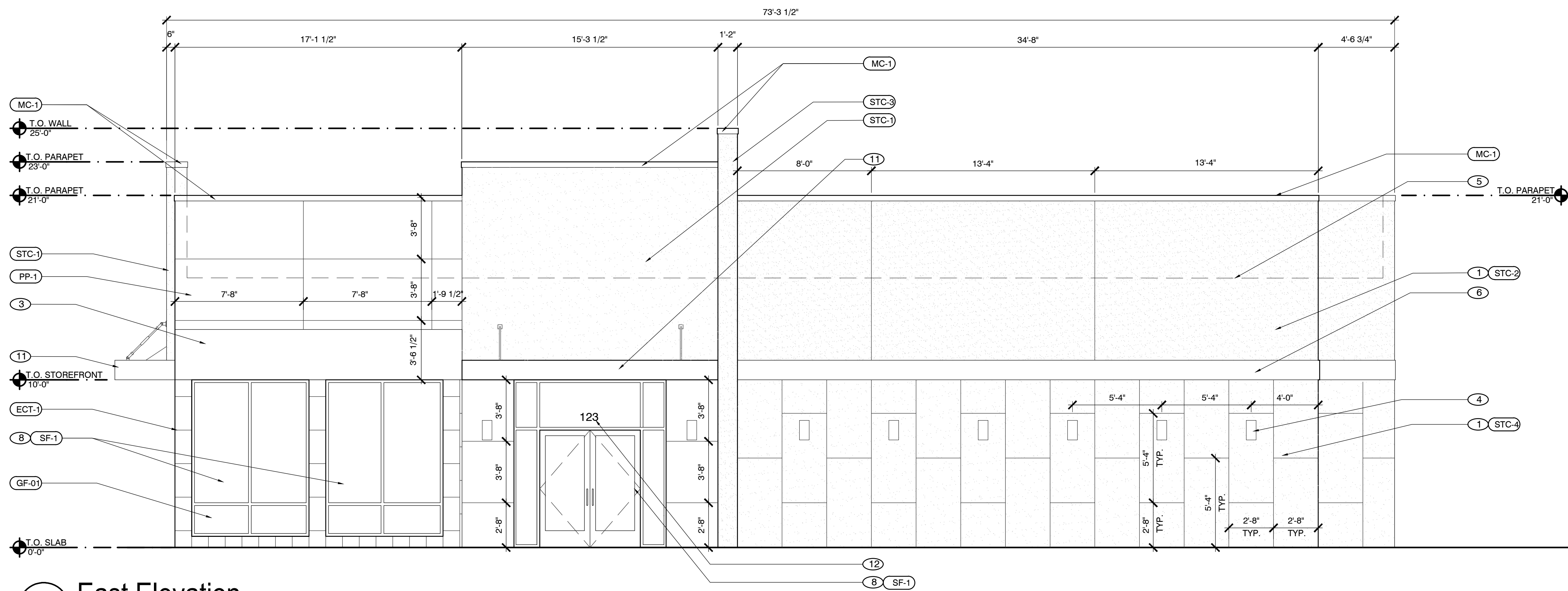
EXTERIOR ELEVATIONS

DRAWING NUMBER:

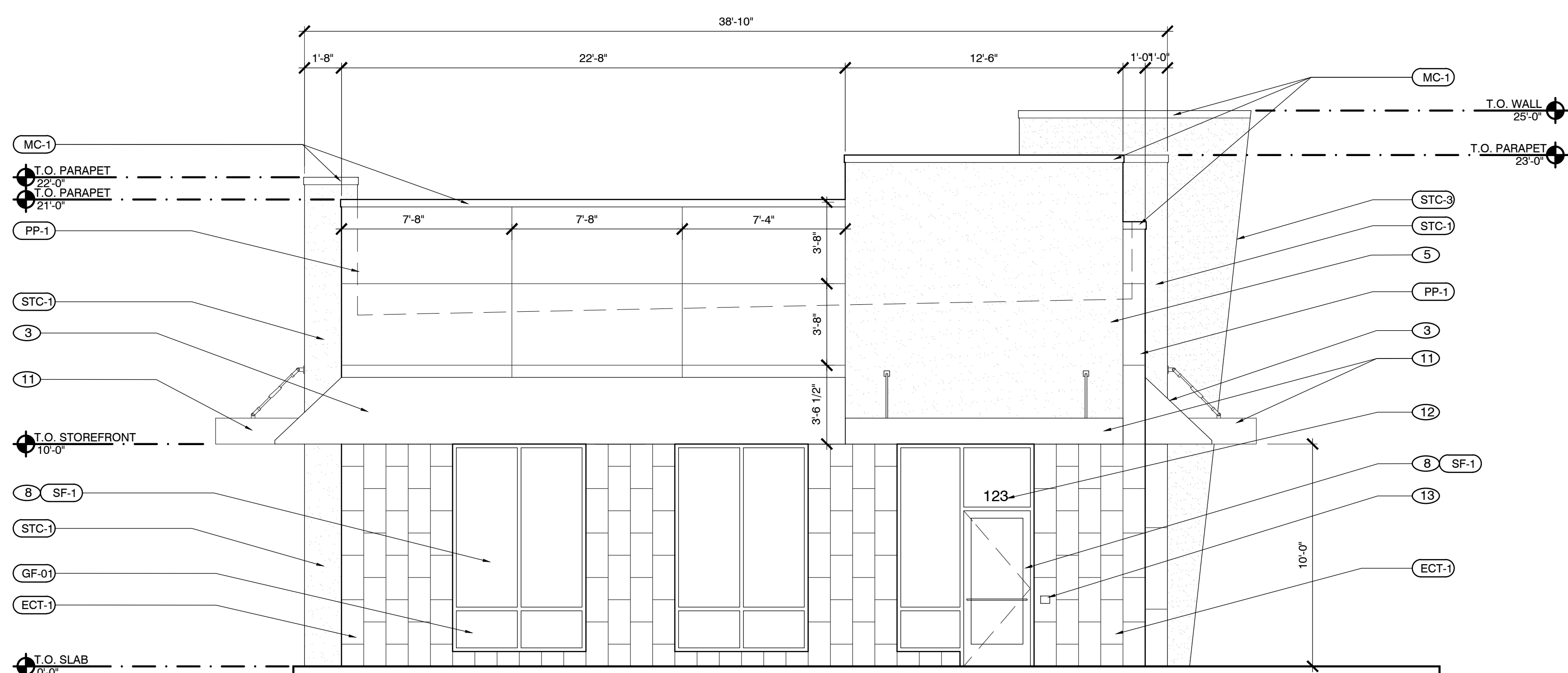
A3.0

KEYNOTES	
1	STO STUCCO SYSTEM
2	APPROXIMATE LOCATION FOR SIGNAGE BY SIGNAGE VENDOR
3	ALUMINUM AWNING BY SIGNAGE VENDOR
4	EXTERIOR WALL MOUNTED LIGHT FIXTURE
5	LINE OF ROOF DECK BEYOND
6	ALUMINUM BAND
7	DOWNSPOUT NOZZLE
8	STOREFRONT FRAMING SYSTEM
9	STUCCO CONTROL JOINT
10	DRIVE-THRU WINDOW
11	STL. CANOPY
12	LOCATION OF BUILDING NUMBER
13	LOCATION OF KNOX BOX (VERIFY LOCATION WITH FIRE MARSHAL)
14	DOOR

EXTERIOR FINISHES	
C##	DESCRIPTION
STUCCO	
STC-1	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-1
STC-2	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-2, FAIRFAX BROWN
STC-3	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-3, HIGH STRUNG
STC-4	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-4
EXTERIOR PAINT	
EP-1	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR: MATCH TERRACOTTA COLOR OF EXISTING SHOPPING CENTER NOTES: PRIME AND 2 FINISH COATS
EP-2	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR/ FINISH: SW 2856 FAIRFAX BROWN NOTES: PRIME AND 2 FINISH COATS
EP-3	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR/ FINISH: SW 6705 HIGH STRUNG NOTES: PRIME AND 2 FINISH COATS
EP-4	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR: MATCH BEIGE COLOR OF EXISTING SHOPPING CENTER NOTES: PRIME AND 2 FINISH COATS
EP-5	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR/ FINISH: SW 6259 TRICORN BLACK NOTES: PRIME AND 2 FINISH COATS
EP-6	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR/ FINISH: SW 6233 SAMOVAR SILVER NOTES: PRIME AND 2 FINISH COATS
TILE	
ECT-1	MANUFACTURER: DAL TILE PRODUCT / FINISH: PORCELAIN 12X24 COLOR: EV02
COPING	
MC-1	PRODUCT / FINISH: MTL. COPING COLOR: ANODIC CLEAR FINISH (METALLIC) PROFILE: TAPERED PROFILE
METAL PANELING	
ST-1	PRODUCT / FINISH: METAL PANELING COLOR: POLISHED ALUMINUM ALUMINUM COMPOSITE PANELS
PP-1	MANUF.: GENERAL THEMING PRODUCT / FINISH: ALUMINUM COMPOSITE PANELING COLOR: COUNTRY - WOOD WITH LIME, GREEN, YELLOW GOLD, & RED ORANGE ACCENTS CONTACT: CREATIVE PALLET INC., VINCE FAIELLA, TEL: 614.623.6444
STOREFRONT	
SF-1	PRODUCT / FINISH: CLEAR ANODIZED ALUMINUM, KAWNER OR EQ.
GLASS FILM	
GF-01	MANUFACTURER: 3M FASARA GLASS FINISHES PRISM/DOT PRODUCT: LUNA 6 SH2PCL6 COLOR: WHITE APPLY ON INTERIOR SIDE OF GLASS CLASS A-ASTM E84 FIRE CLASSIFICATION



01 East Elevation
SCALE: 1/4" = 1'-0"



02 South Elevation
SCALE: 1/4" = 1'-0"



CIVITARESE | MORGAN

921 N. RIVERFRONT BLVD. SUITE 700
DALLAS, TEXAS 75207

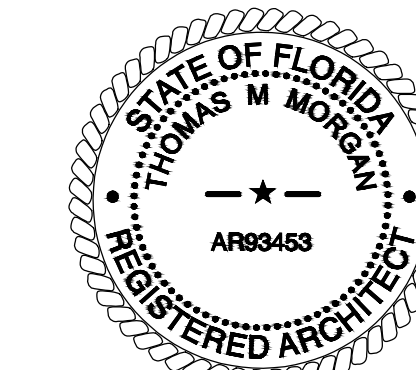
TEL: 214-613-0680 FAX: 469.730.3341

ARCHITECT



T.M. Morgan Architect
921 N. RIVERFRONT BLVD.
SUITE 700
DALLAS, TEXAS 75207

SEAL



ARCHITECTURAL PROJECT NO.: 103-XX



3730 NW. 79TH AVE.
DORAL, FL 33166

NO.	REVISIONS:	DATE:

TENANT REVIEW ISSUE DATE: XX-XX-XX
LANDLORD REVIEW ISSUE DATE: XX-XX-XX
PERMIT ISSUE DATE: XX-XX-XX
BID ISSUE DATE: XX-XX-XX
CONSTRUCTION ISSUE DATE: XX-XX-XX

DRAWING TITLE:

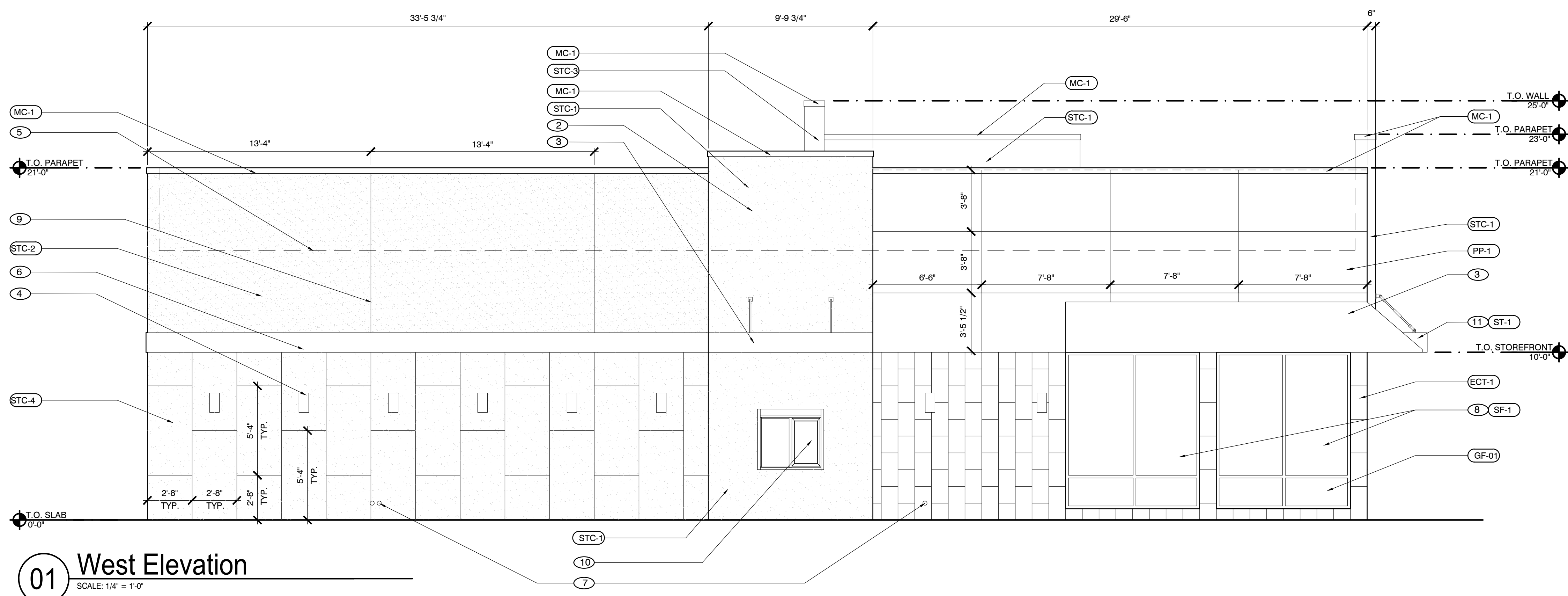
EXTERIOR ELEVATIONS

DRAWING NUMBER:

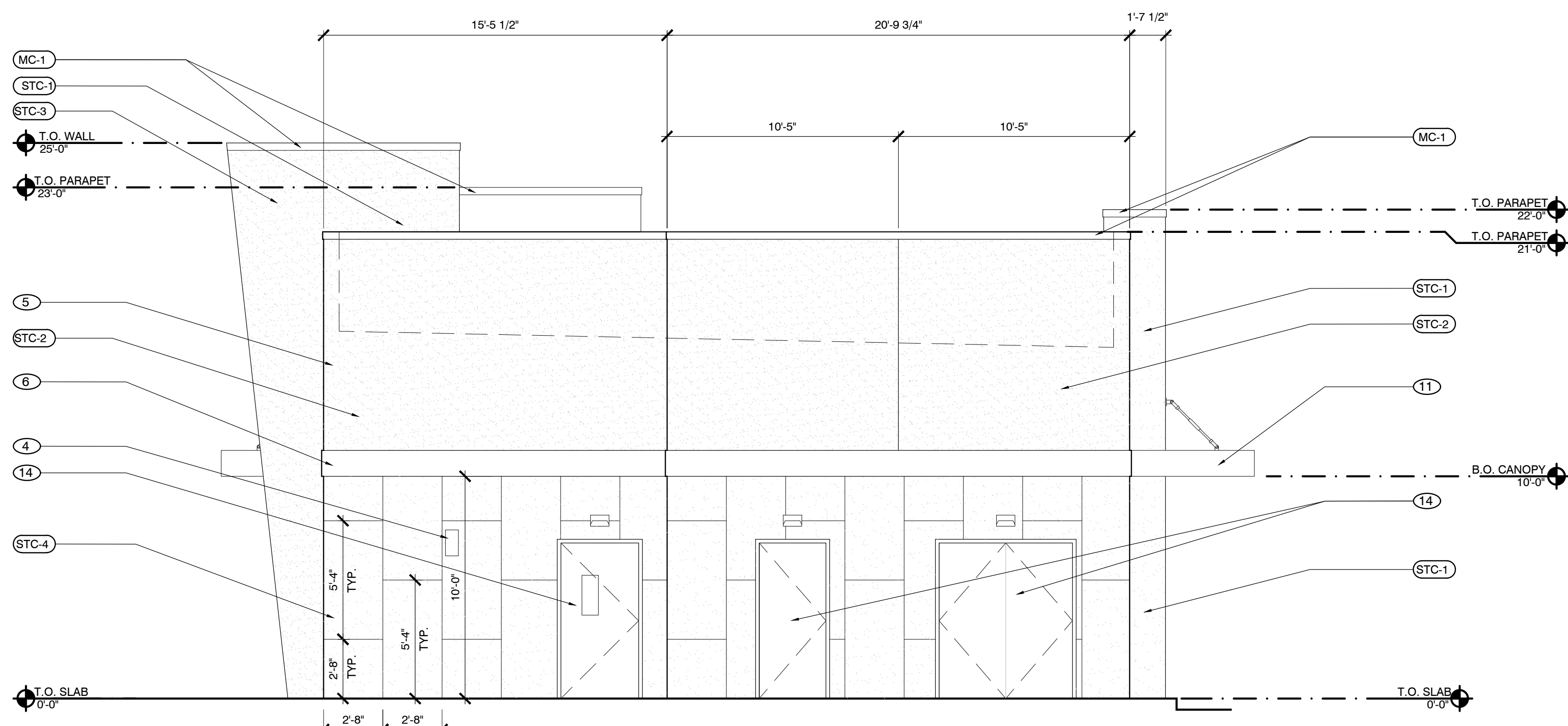
A3.1

KEYNOTES	
1	STO STUCCO SYSTEM
2	APPROXIMATE LOCATION FOR SIGNAGE BY SIGNAGE VENDOR
3	ALUMINUM AWNING BY SIGNAGE VENDOR
4	EXTERIOR WALL MOUNTED LIGHT FIXTURE
5	LINE OF ROOF DECK BEYOND
6	ALUMINUM BAND
7	DOWNSPOUT NOZZLE
8	STOREFRONT FRAMING SYSTEM
9	STUCCO CONTROL JOINT
10	DRIVE-THRU WINDOW
11	STL. CANOPY
12	LOCATION OF BUILDING NUMBER
13	LOCATION OF KNOX BOX (VERIFY LOCATION WITH FIRE MARSHAL)
14	DOOR

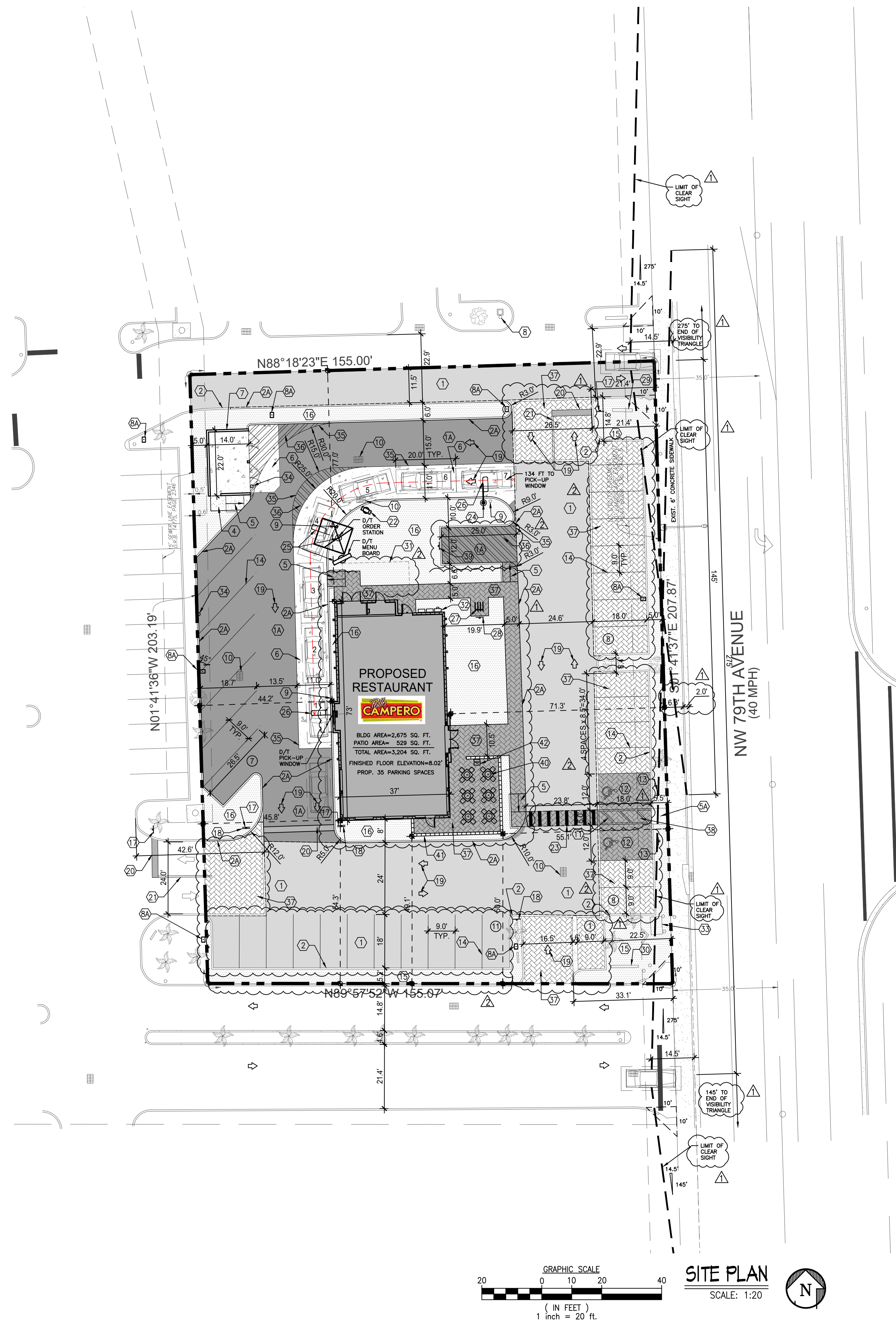
EXTERIOR FINISHES	
C##	DESCRIPTION
STUCCO	
STC-1	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-1
STC-2	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-2, FAIRFAX BROWN
STC-3	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-3, HIGH STRUNG
STC-4	MANUFACTURER: STO CORP PRODUCT / FINISH: STUCCO, POWERWALL OR EQ. COLOR: (2) COATS ST0648TSW STO TO MATCH EP-4
EXTERIOR PAINT	
EP-1	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR: MATCH TERRACOTTA COLOR OF EXISTING SHOPPING CENTER NOTES: PRIME AND 2 FINISH COATS
EP-2	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR/ FINISH: SW 2856 FAIRFAX BROWN NOTES: PRIME AND 2 FINISH COATS
EP-3	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR/ FINISH: SW 6705 HIGH STRUNG NOTES: PRIME AND 2 FINISH COATS
EP-4	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR: MATCH BEIGE COLOR OF EXISTING SHOPPING CENTER NOTES: PRIME AND 2 FINISH COATS
EP-5	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR/ FINISH: SW 6258 TRICORN BLACK NOTES: PRIME AND 2 FINISH COATS
EP-6	MANUFACTURER: SHERWIN WILLIAMS PRODUCT: SHERWIN WILLIAMS PROMAR 200 COLOR/ FINISH: SW 6233 SAMOVAR SILVER NOTES: PRIME AND 2 FINISH COATS
TILE	
ECT-1	MANUFACTURER: DAL TILE PRODUCT / FINISH: PORCELAIN 12X24 COLOR: EV02
COPING	
MC-1	PRODUCT / FINISH: MTL. COPING COLOR: ANODIC CLEAR FINISH (METALLIC) PROFILE: TAPERED PROFILE
METAL PANELING	
ST-1	PRODUCT / FINISH: METAL PANELING COLOR: POLISHED ALUMINUM ALUMINUM COMPOSITE PANELS
PP-1	MANUF.: GENERAL THEMING PRODUCT / FINISH: ALUMINUM COMPOSITE PANELING COLOR: COUNTRY - WOOD WITH LIME, GREEN, YELLOW GOLD, & RED ORANGE ACCENTS CONTACT: CREATIVE PALLET INC., VINCE FAIELLA, TEL: 614.623.6444
STOREFRONT	
SF-1	PRODUCT / FINISH: CLEAR ANODIZED ALUMINUM, KAWNER OR EQ. GLASS FILM
GF-01	MANUFACTURER: 3M FASARA GLASS FINISHES PRISM/DOT PRODUCT: LUNA 6 SH2PCL6 COLOR: WHITE APPLY ON INTERIOR SIDE OF GLASS CLASS A-ASTM E84 FIRE CLASSIFICATION



01 West Elevation
SCALE: 1/4" = 1'-0"



02 North Elevation
SCALE: 1/4" = 1'-0"



ZONING: CC-COMMERCIAL CORRIDOR

BUILDING HEIGHT: 26'-8"
SITE ANALYSIS

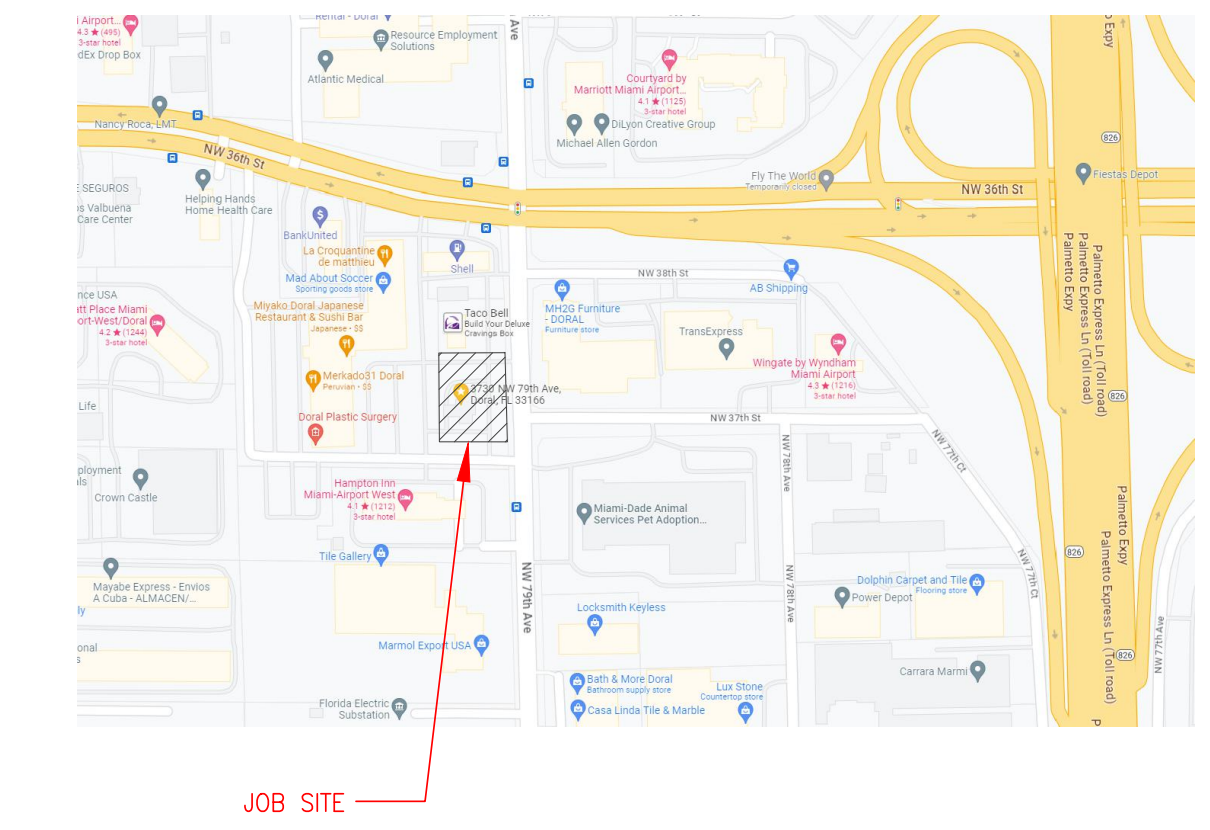
TOTAL LAND AREA:	31,857.00 SQ. FT. (0.731± ACRES)
TOTAL BUILDING AREA:	3,204.00 SQ. FT. (10.06 %)
TOTAL LANDSCAPED AREA:	5,769.40 SQ. FT. (18.11 %)
PAVED AREA:	22,883.60 SQ. FT. (71.83 %)
PERVIOUS AREA:	5,769.40 SQ. FT. (18.11 %) (0.132± Ac.)
IMPERVIOUS AREA:	26,087.60 SQ. FT. (81.89 %) (0.599± Ac.)
ASPHALT PAVEMENT:	14,816.10 SQ. FT. (46.51 %)
CONCRETE PAVEMENT:	2,189.00 SQ. FT. (6.87 %)
CONCRETE SIDEWALK:	61.20 SQ. FT. (0.19 %)
PERMEABLE CONCRETE PAVERS:	5,164.90 SQ. FT. (16.21 %)
CONCRETE PAVERS OVER CONCRETE:	652.40 SQ. FT. (2.05 %)

PARKING ANALYSIS

TOTAL PARKING SPACES REQUIRED:	32 SPACES (PARKING SPACE / 100 SF OF GROSS FLOOR AREA)
HANDICAP SPACES REQUIRED:	2 SPACES
HANDICAP SPACES PROVIDED:	2 SPACES
TOTAL PARKING SPACES PROVIDED:	35 SPACES (INCLUDING HANDICAP)
LOADING SPACE PROVIDED:	1 SPACE (25'x12')

CONSTRUCTION NOTES:

- 1 STANDARD ASPHALT PAVEMENT TO BE SEAL-COATED.
- 1A NEW STANDARD ASPHALT PAVEMENT.
- 2 EXISTING 6" P.C.C. TYPE 'D' TO REMAIN-REPAIR ALL BROKEN CURBS.
- 2A NEW 6" P.C.C. TYPE 'D' CURB AS PER DETAIL.
- 3 NOT IN USE.
- 4 NEW P.C.C. SIDEWALK AS PER DETAIL (5% MAX SLOPE).
- 5 NEW CONCRETE PAVER HANDICAP RAMP - MAX SLOPE 1:12
- 5A EXISTING P.C.C. HANDICAP RAMP - MAX SLOPE 1:12 G.C. TO VERIFY.
- 6 NEW 6" THICK P.C.C. PAD W/ 6"x6" -10/10 W.W.M. OVER CRUSHED AGGREGATE OR GRAVEL BASE. CONSTRUCTION JOINTS AT 10' O.C.
- 7 NEW TRASH & RECYCLE ENCLOSURE.
- 8 EXISTING PARKING LIGHT TO REMAIN.
- 8A NEW PARKING LIGHT - SEE SHEET CE-1 FOR DETAILS.
- 9 NEW BOLLARD.
- 10 EXISTING CATCH BASIN TO REMAIN.
- 11 6" WHITE STRIPES AT 60' (PER FDOT INDEX No.17346)
- 12 HANDICAP PARKING AS PER DETAIL - SEE C-4.
- 13 HANDICAP SIGN 7'-0" A.F.P.
- 14 4" WHITE STRIPES (TYPICAL AT PARKING SPACES)
- 15 EXISTING LANDSCAPE AREA.
- 16 NEW LANDSCAPE AREA.
- 17 STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- 18 STANDARD F.D.O.T. "DO NOT ENTER" SIGN. R1-5 (30"x30")
- 19 TRAFFIC ARROWS PAINTED WHITE
- 20 24" WHITE STOP BAR (THERMOPLASTIC)
- 21 18 LF-6" DOUBLE YELLOW SOLID STRIPES (THERMOPLASTIC)
- 22 PREVIEW BOARD.
- 23 PEDESTRIAN CROSSING (PER FDOT INDEX No.17346)
- 24 CLEARANCE BAR
- 25 ORDER STATION WITH CANOPY, MENU BOARD, SENSOR LOOP W/ SPEAKER PEDESTAL.
- 26 SENSOR LOOP AT WINDOW & AT DRIVE-THRU ENTRANCE.
- 27 BICYCLE RACK BY HUNTCO MODEL BR-5 OR APPROVED EQUAL FINISH: POWER COATED COLOR BY ARCHS., SUPPLIED AND INSTALLED BY G.C.
- 28 "BICYCLE PARKING" SIGN
- 29 EXISTING MONUMENT SIGN.
- 30 EXISTING SHOPPING CENTER PYLON SIGN.
- 31 GREASE INTERCEPTOR LOCATION (SEE PLUMBING DWGS. FOR DETAILS).
- 32 NEW ELECTRICAL METER
- 33 EXISTING BACKFLOW PREVENTOR
- 34 EXISTING SEWER CLEAN OUT TO REMAIN.
- 35 6" WHITE STRIPE (THERMOPLASTIC).
- 36 6" WHITE STRIPE-45° @ 4' O.C.
- 37 PERMEABLE CONCRETE PAVERS - SEE DET. ON C-4 - COLOR CHARCOAL CONCRETE PAVER OVER CONCRETE AT ADA CROSSING & HANDICAP PARKING SPACES AND SIDEWALK - DET. ON C-4 - COLOR CHARCOAL AT PARKING AND TERRACOTTA AT ADA ACCESS AND SIDEWALK. 4.5"x9" PERMEABLE CONCRETE PAVERS BY HANOVER ARCHITECTURAL PRODUCTS.
- 38 "LOADING ZONE" SIGN
- 39 PATIO TABLES WITH UMBRELLAS - REFER TO ARCHITECTURALS.
- 40 36 INCH HIGH MASONRY PATIO WALL - REFER TO ARCHITECTURALS FOR DETAILS.
- 41 TRASH RECEPTACLE



LOCATION MAP
N.T.S.

LEGAL DESCRIPTION:

TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 136, PAGE 6, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE SOUTHEAST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONCAVE TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46", FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.

NOTES

1. ALL PAVEMENT MARKINGS ARE TO COMPLY WITH CITY OF DORAL STANDARDS/MUTCD.
2. PAVEMENT MARKING MATERIAL = PAINT (UNLESS OTHERWISE NOTED) ALL MARKINGS TO RECEIVE TWO (2) COATS OF PAINT. SECOND COAT JUST BEFORE OPENING.
3. ALL SIGNS BY SEPARATE PERMIT.
4. ALL RADII AND DIMENSIONS ARE FROM FACE OF CURB/EDGE OF PAVEMENT.
5. ALL RADII TO BE 3' TYPICAL UNLESS OTHERWISE NOTED.

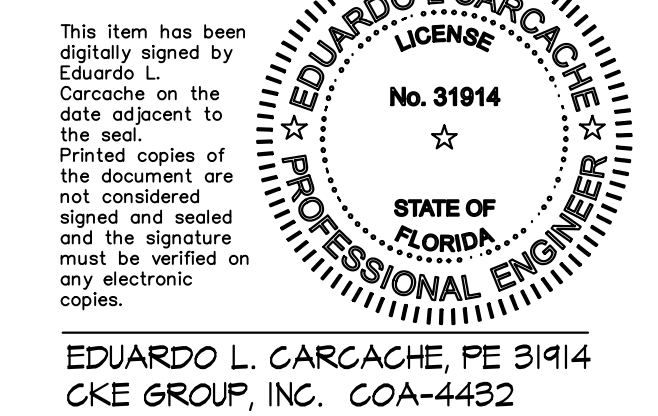
PERMEABLE SURFACE ANALYSIS

TOTAL PARKING SURFACE:	22,883.60 SQ. FT.
PERMEABLE CONCRETE PAVER AREA REQUIRED:	4,576.70 SQ. FT. (20.00 %)
PERMEABLE CONCRETE PAVER AREA PROVIDED:	5,164.90 SQ. FT. (22.57 %)

BUILDING HEIGHT:		ALLOWED:	PROPOSED:
Building Height:	6 STORY	-	26.7'
BUILDING SETBACKS:		REQUIRED:	PROPOSED:
Front (NW 79th Ave.)	- 20'	-	55.10'
Side Interior (North)	- 5'	-	77.00'
Side Interior (South)	- 5'	-	49.10'
Rear Interior (West)	- 5'	-	44.20'

SITE PLAN LEGEND

- PROPERTY LINE
- # NUMBER OF PARKING SPACES
- ♿ ACCESSIBLE PARKING SPACES
- NEW CONCRETE SIDEWALK
- EXISTING ASPHALT PAVEMENT TO BE SEALCOATED & RE-STRIPED
- 4.5"x9" CONCRETE PAVERS OVER CONCRETE. HANOVER ARCHITECTURAL PRODUCTS.
- 4.5"x9" CONCRETE PAVERS. HANOVER ARCHITECTURAL PRODUCTS.
- NEW CONCRETE PAVEMENT
- NEW ASPHALT PAVEMENT
- NEW BUILDING
- LANDSCAPE



CKE GROUP INCORPORATED
engineering • architecture • planning
CERTIFICATE OF AUTHORIZATION - #488

WESTON, FLORIDA 33326

SUITE 2

17190 ROYAL PALM BOULEVARD

project no: 18-43
scaler: AS SHOWN
date: 05-01-23
drawn by: A.G.

10/12/2022 CITY COMMENTS
08/24/2022 CITY COMMENTS

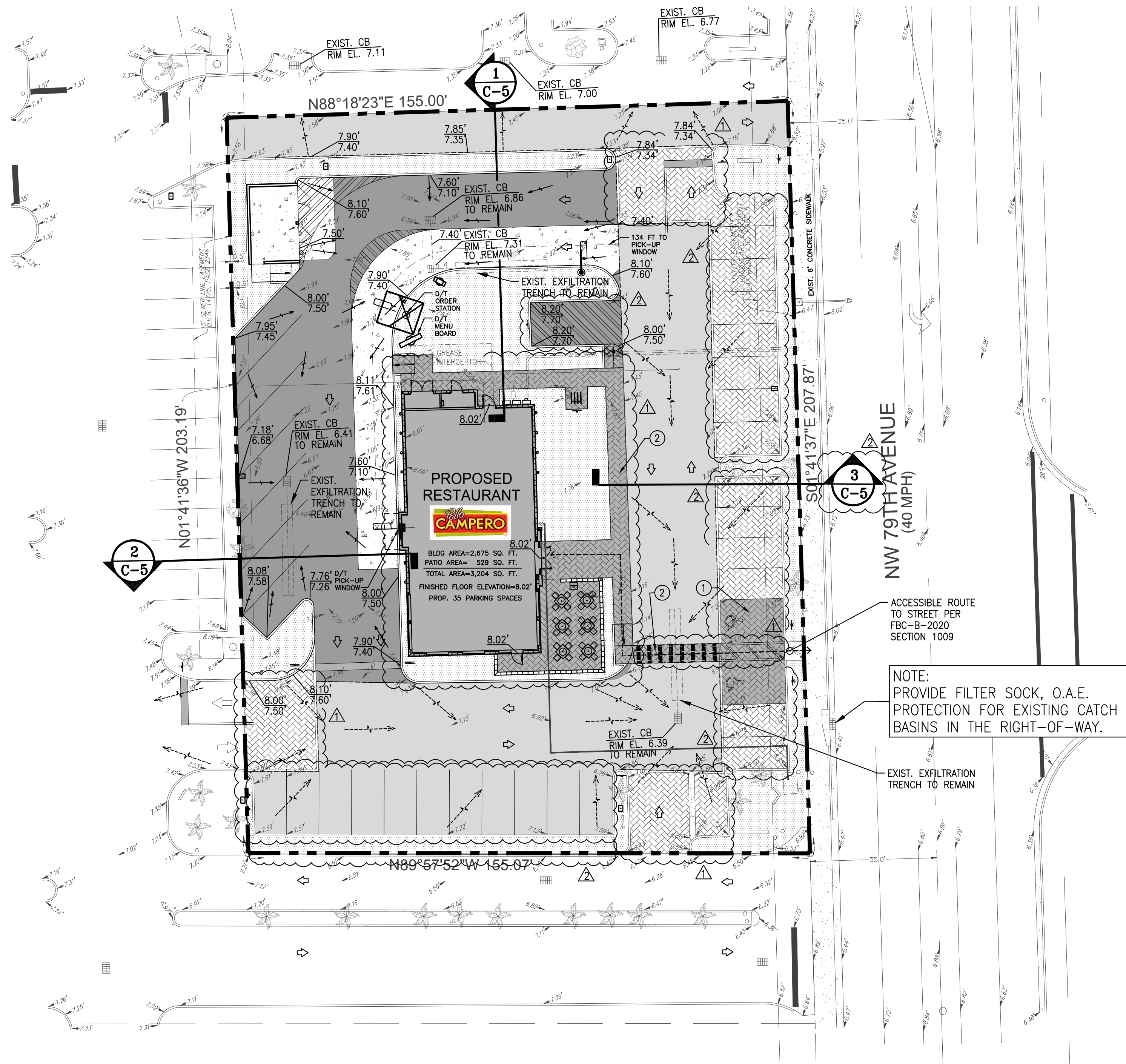
revisions

seal
EDUARDO CARGACHE, PE 31914

3750 NW 74TH AVE.,
DORAL, FLORIDA 33166

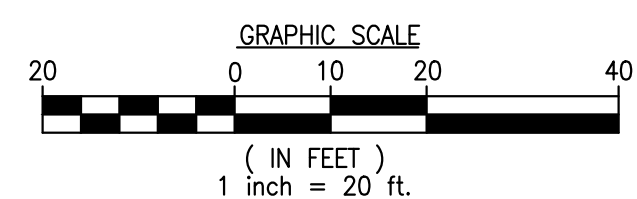
(305) 558-4124

C-1



PAVING, GRADING, & DRAINAGE PLAN

SCALE: 1:20



	EXISTING	PROPOSED
PERVIOUS AREA:	4,999.71 SQ. FT. (15.69 %) (0.115± AC)	5,769.40 SQ. FT. (18.11 %) (0.132± AC)
IMPERVIOUS AREA:	26,857.29 SQ. FT. (84.31 %) (0.617± AC)	26,087.60 SQ. FT. (81.89 %) (0.599± AC)

LEGEND

- >--- EXIST. DIRECTION OF DRAINAGE FLOW ARROW
- >--- PROP. DIRECTION OF DRAINAGE FLOW ARROW
- EXISTING ELEVATION
- 10.7 PROP. TOP OF CURB & FINISHED GRADE ELEV.
- 10.2
- 10.0 PROPOSED FINISHED GRADE ELEV.
- STANDARD ASPHALT TO BE PATCHED & SEAL COATED
- NEW CONC. PAVEMENT
- 1 G.C. TO VERIFY MAX. 2% SLOPE AT HANDICAP SPACE AND ACCESSIBILITY ROUTE-GC TO VERIFY.
- 2 SLOPE ALONG ACCESS PATH NOT TO EXCEED 5% SLOPE ALONG PATH AND MAX. 2% CROSS SLOPE-GC TO VERIFY.

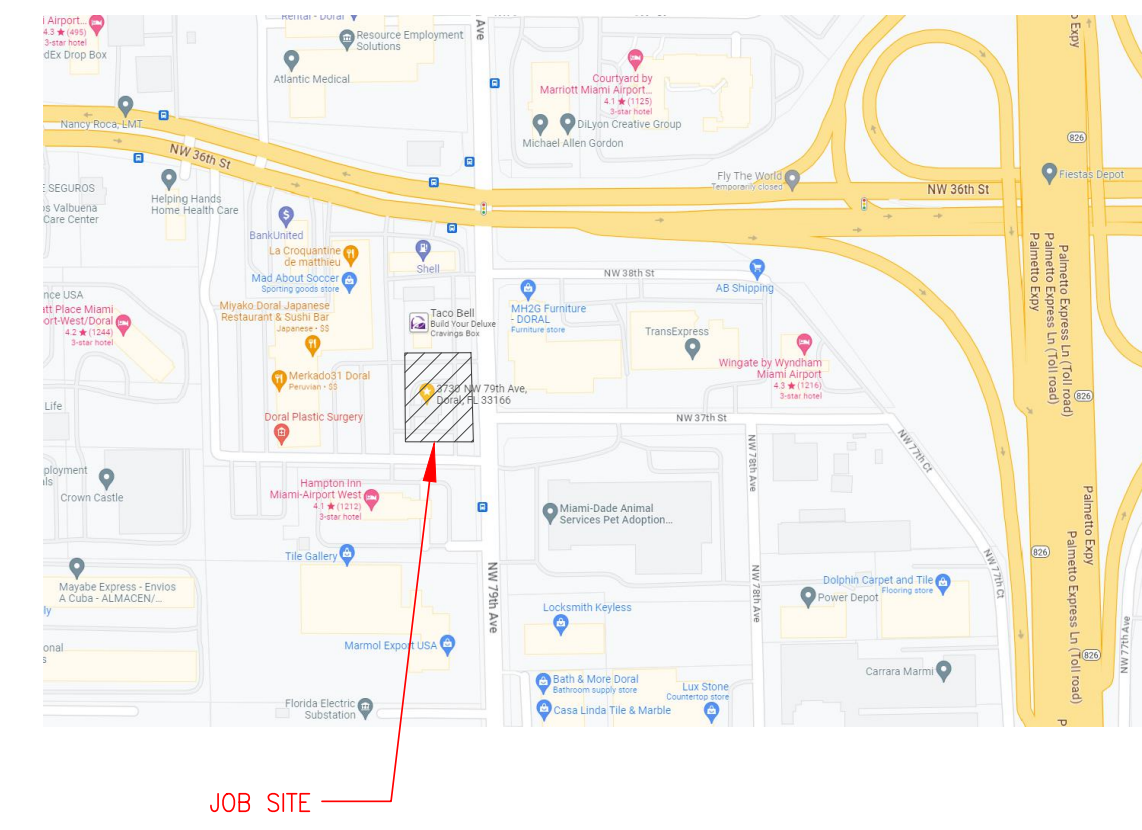
GENERAL NOTES

- SITE CONTRACTOR SHALL GRADE ALL LANDSCAPED AREAS TO AN ELEVATION 3" BELOW TOP OF CURB OR SIDEWALK. REFER TO LANDSCAPE DRAWINGS.
- SITE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL SITE, INCLUDING BERMS AND SWALES, IF ANY. COORDINATE WITH LANDSCAPE DRAWINGS AND LANDSCAPE CONTRACTOR. SITE CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE OVER ENTIRE SITE. NOTIFY CKE GROUP OF ANY PROBLEM AREAS.
- GENERAL CONTRACTOR SHALL PROVIDE SLEEVES FOR LANDSCAPE IRRIGATION LINES PRIOR TO PAVING. COORDINATE WITH IRRIGATION DRAWINGS AND IRRIGATION CONTRACTOR.
- SILT BARRIER FENCE MUST BE INSTALLED PRIOR TO START ANY WORK, AND MUST BE MAINTAINED IN PLACE UNTIL COMPLETION OF PROJECT.
- ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 10 FEET OF ANY AREA TO BE FILLED. THIS INCLUDES ALL BUILDING AREAS AND PAVING AREAS WHICH ARE BEING FILLED. ANY SUCH MATERIAL SHALL BE REPLACED WITH APPROVED GRANULAR FILL WHICH SHALL BE COMPACTED IN 8" LAYERS TO 100% OF MAXIMUM DENSITY AS PER AASHTO T-99C.
- ALL UTILITIES AND DRAINAGE INSTALLATIONS SHALL BE CONSTRUCTED, INSTALLED, AND ACCEPTED BY WATER & SEWER DEPARTMENT OF CITY OF DORAL.
- STABILIZED SUBGRADE SHALL HAVE LIMEROCK BEARING RATION (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99C.
- LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 911 OF THE FLORIDA D. O. T. STANDARD SPECIFICATIONS, EXCEPT THAT THE MINIMUM PERCENTAGE THE FLORIDA D. O. T. STANDARD SPECIFICATIONS.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE TYPE S-III.
- PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D. O. T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED. CONCRETE FOR CONSTRUCTION OF SIDEWALK AND DRIVEWAY WITHIN THE SR-953 R/W CORRIDOR MUST COMPLY WITH FOOT SPECIFICATIONS.
- PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A. S. T. M. SPECIFICATIONS C-478 AND 647, AND CITY OF MIAMI PUBLIC WORKS DEPARTMENT MINIMUM STANDARDS. CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A. S. T. M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION.
- ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATERTIGHT.
- ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2 : 1 CEMENT MORTAR MIX.
- REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF A. S. T. M. SPECIFICATION C-76, CLASS III, WALL THICKNESS "B", LATEST REVISION, AND AS MODIFIED BY SECTION 941 FLORIDA D. O. T. STANDARD SPECIFICATIONS.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON AS-BUILT INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C. K. E. GROUP, INC. AND TO CITY OF DORAL PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION BY CITY OF DORAL.
- THE CONTRACTOR SHALL PROVIDE CITY OF DORAL PUBLIC WORKS DEPARTMENT A CERTIFIED AS-BUILT SURVEY INDICATING GRADE ELEVATIONS AT TOP OF LIMEROCK BASE AND AT TOP OF PAVING PRIOR TO FINAL INSPECTION.
- SOIL BORING RECORDS ARE PART OF THE BID DOCUMENTS. IN THE EVENT OF DISCREPANCY BETWEEN THE SPECIFICATIONS AND THE SOILS REPORT RECOMMENDATIONS, THE MOST STRINGENT OF THE TWO SHALL BE USED.
- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- ALL SLOPES AND NON PAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL BE THEN SEEDED, FERTILIZED, MULCHED, WATERED, AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

NOTE: PROVIDE FILTER SOCK, O.A.E. PROTECTION FOR EXISTING CATCH BASINS IN THE RIGHT-OF-WAY.

EXIST. EXFILTRATION TRENCH TO REMAIN

ACCESSIBLE ROUTE TO STREET PER FBC-B-2020 SECTION 1009

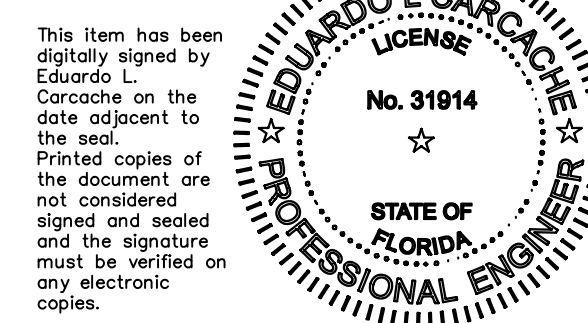


LOCATION MAP

N.T.S.

LEGAL DESCRIPTION:

TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 136, PAGE 6, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGIN AT THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONVEX TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46" FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.
 SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.



EDUARDO L. GARCACHE, PE 31914
 CKE GROUP, INC. COA-4432



Know what's below.
 Call before you dig.

NOTE: G.C. TO CLEAN ALL CATCH BASINS FLUSH ENTIRE DRAINAGE SYSTEM.

FEMA FLOOD ZONE: "X"

Flood Legend
 For compliance with Chapter 11C of the Miami-Dade County Code
 Special Flood Hazard Area - Outside Special Flood Hazard Area
 Commercial, Industrial & Multi Units

Process #: _____ Folio #: 35-3027-031-0020 PB 136 PG 6
 Address: 3730 NW 79TH AVE Highest Crown of Road Elev.: 6.90
 Highest Crown of Road Elevation above was taken from a certified survey prepared by:
 PULICE LAND SURVEYORS, INC. PLS Lic. #: LB 3870
 Surveyor's Name

PAVING AND DRAINAGE PLANS

DERM/WC - ENVIRONMENTAL RESOURCES PERMIT (ERP COPY ATTACHED) # _____
 SFWMD - SURFACE STORMWATER PERMIT (SWM PERMIT COPY ATTACHED) # _____
 Total Impervious Area: 0.599 Ac. (if >2 ACRES DERM/WATER CONTROL (ERP) PERMIT AND APPROVED PAVING & DRAINAGE MUST BE ATTACHED)
 Underground Parking YES / (NO) (circle one) Basement: YES / (NO) (circle one)

	Lowest Floor Elev.	Adjacent Grade Elev.	Lowest Catch Basin	Retention Area
EXISTING:	8.02	7.21	6.39	N/A
PROPOSED:	8.02	7.21	6.39	N/A

SITE PLAN LEGEND

--->---	PROPERTY LINE	[Pattern]	4.5"x9" CONCRETE PAVERS OVER CONCRETE. HANOVER ARCHITECTURAL PRODUCTS.
---	EXISTING DRAINAGE STRUCTURE TO REMAIN	[Pattern]	4.5"x9" CONCRETE PAVERS. HANOVER ARCHITECTURAL PRODUCTS.
[Symbol]	ACCESSIBLE PARKING SPACES	[Pattern]	NEW CONCRETE PAVEMENT
[Pattern]	NEW CONCRETE SIDEWALK	[Pattern]	NEW ASPHALT PAVEMENT
[Pattern]	EXISTING ASPHALT PAVEMENT TO BE SEALCOATED & RE-STRIPED	[Pattern]	BUILDING
[Pattern]		[Pattern]	LANDSCAPE

CKE GROUP
CKE GROUP INCORPORATED
 engineering • architecture • planning
 (CERTIFICATE OF AUTHORIZATION - 4484) (305) 558-4124

Bob CAMPERO
 3730 NW 79TH AVE.,
 DORAL, FLORIDA 33166

EDUARDO L. GARCACHE
 LICENSE No. 31914
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

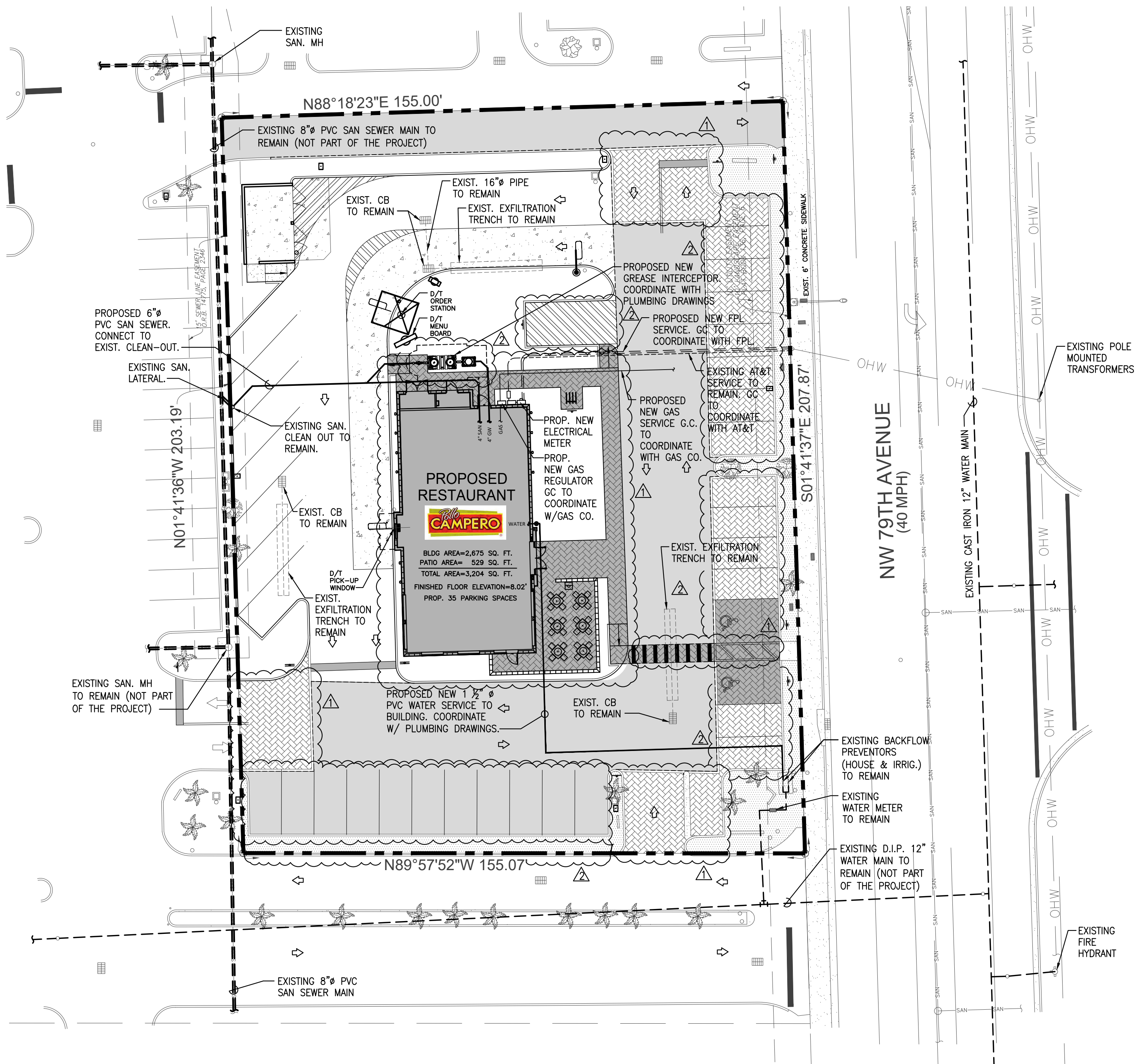
seal
 EDUARDO GARCACHE, PE 31914

project no: 18-43
 scaler AS SHOWN
 date: 05-01-23
 drawn by: A.G.

revisions

WESTON, FLORIDA 33326
 SUITE 2
 17190 ROYAL PALM BOULEVARD

C-2



SITE UTILITY PLAN

SCALE: 1:20



SITE PLAN LEGEND

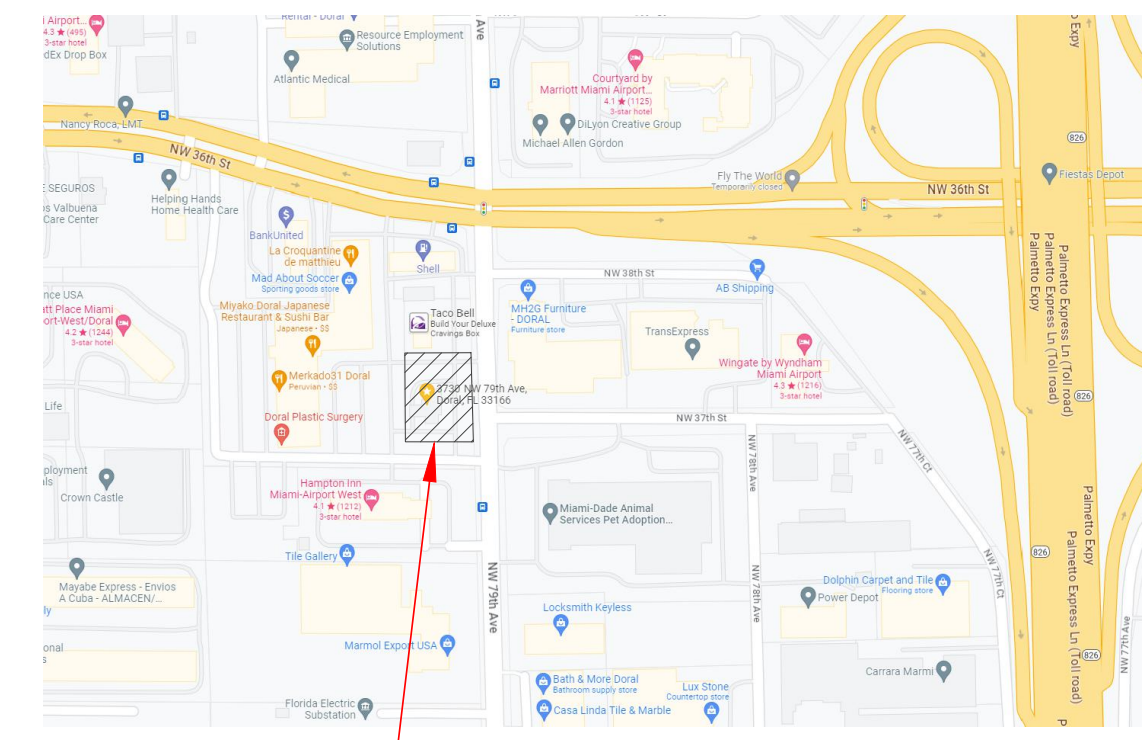
	ACCESSIBLE PARKING SPACES		4.5"x9" CONCRETE PAVERS OVER CONCRETE, HANOVER ARCHITECTURAL PRODUCTS.
	PROPERTY LINE		4.5"x9" CONCRETE PAVERS, HANOVER ARCHITECTURAL PRODUCTS.
	EXISTING DRAINAGE STRUCTURE TO REMAIN		NEW CONCRETE PAVEMENT
	NEW CONCRETE SIDEWALK		NEW ASPHALT PAVEMENT
	EXISTING ASPHALT PAVEMENT TO BE SEALCOATED & RE-STRIPED		BUILDING

NOTES:

1. ALL HYDRANTS TO FALL WITHIN 2 FEET OF CURB, STEAMER CONNECTION TO FACE ROADWAY.
2. WATER SHALL BE AVAILABLE TO ALL HYDRANTS PRIOR TO START OF CONSTRUCTION.
3. LANDSCAPING SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER / STANDPIPE WYES.
4. BUILDING ADDRESS SHALL BE CLEARLY VISIBLE FROM ROADWAY.
5. ALL CLEANOUTS IN DRIVEWAYS TO HAVE TRAFFIC BEARING CAPS (USG #7605 VALVE BOX).
6. ON-SITE SANITARY SEWER LATERAL TO BE PRIVATELY MAINTAINED.
7. CONTRACTOR TO VERIFY INVERTS AND EXACT LOCATION OF UTILITIES PRIOR TO COMMENCING WITH WORK.
8. MINIMUM SLOPE OF SANITARY WASTE = 1%.
9. CONTRACTOR TO PROVIDE CLEANOUTS AT EACH CHANGE OF DIRECTION OF SEWER LINE AND AT INTERVALS NOT TO EXCEED 70 FT.
10. NO SOLVENT WELD SHALL BE USED.
11. REFER TO THE CITY OF DORAL PUBLIC WORKS & MD-WASD STANDARD DETAILS FOR ADDITIONAL DETAILS.
12. ON SITE WATER AND SEWER NOT INSIDE UTILITY EASEMENTS MUST BE PERMITTED AND INSPECTED BY PLUMBING OFFICIALS AT PUBLIC WORKS DEPARTMENT.
13. CLEANOUTS AT SIDEWALK TO BE FLUSH WITH TOP OF SIDEWALK.



Know what's below.
Call before you dig.



LOCATION MAP

N.T.S.



LEGAL DESCRIPTION:

TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 138, PAGE 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

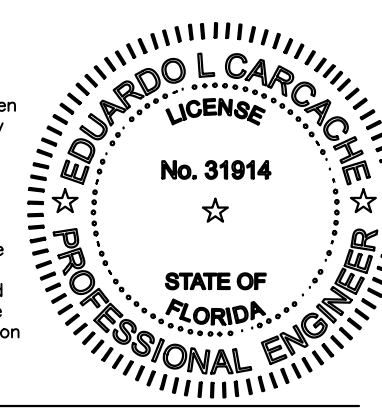
BEGIN AT THE SOUTHEAST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONVEX TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46", FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.

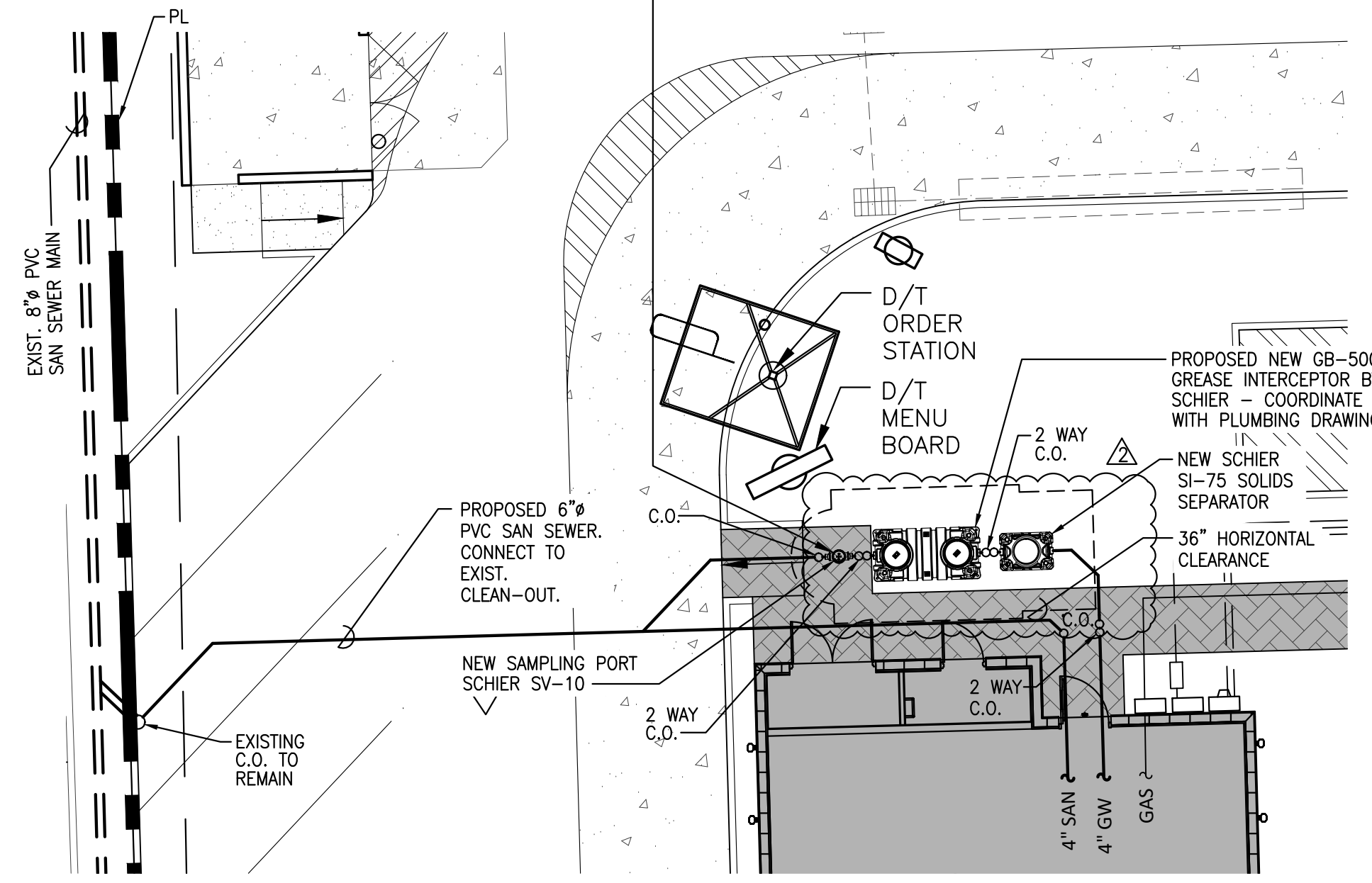
SAMPLING PORT & GREASE INTERCEPTOR NOTES:

- SAMPLING PORT & GREASE INTERCEPTOR SHALL BE ACCESSIBLE AT ALL TIMES WITHOUT HAVING TO REMOVE ANY CARS OR MERCHANDISE AND WITHOUT STANDING WATER ON GROUND SURFACE; WITH A MINIMUM 36 INCHES HORIZONTAL CLEARANCE FROM OUTER EDGE OF LID TO WALL, FIXED EQUIPMENT OR STORED MATERIALS AND A MINIMUM 48 INCHES VERTICAL CLEARANCE FROM ANY FIXED EQUIPMENT OR STORED MATERIALS.
- NO CARS, FIXED EQUIPMENT, FURNITURE, SEATING, STORAGE AREA, PARKING SPACE, TRASH COMPACTORS / BINS, ETC., ARE ALLOWED AT THE FCD LOCATION. FCD'S SHALL NOT BE LOCATED IN PARKING SPACES, DRIVE WAYS, DRIVE AISLES, ENTRANCE / EXIT RAMPS, PARKING GARAGE RAMPS, ETC. MDC CODE SECTION 24-42.6(8)(i).
- GREASE INTERCEPTOR SHALL BE INSTALLED BELOW GROUND AND SHALL BE INSTALLED IN A MANNER THAT ALL LABELS AND MARKINGS ON THE GREASE INTERCEPTOR REMAIN VISIBLE DURING AND AFTER INSTALLATION.
- GREASE INTERCEPTOR SHALL BE ACCESSIBLE AT ALL TIMES SO AS TO ALLOW FOR MAINTENANCE AND CLEANING WITHOUT IMPEDIMENTS.

This item has been digitally signed by Eduardo L. Cargache on the date adjacent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

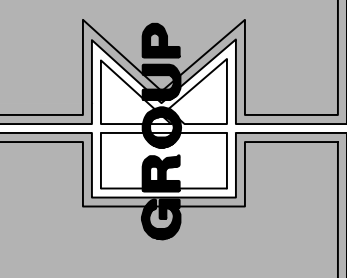


EDUARDO L. CARGACHE, PE 31914
CKE GROUP, INC. COA-4432



ENLARGED GREASE TRAP PLAN

SCALE: 1:10



CKE GROUP INCORPORATED
engineering • architecture • planning
CERTIFICATE OF AUTHORIZATION - #488

(305) 558-4124



3730 NW 79TH AVE.,
DORAL, FLORIDA 33166

WESTON, FLORIDA 33326

SUITE 2

EDUARDO L. CARGACHE, PE 31914

seal

revisions

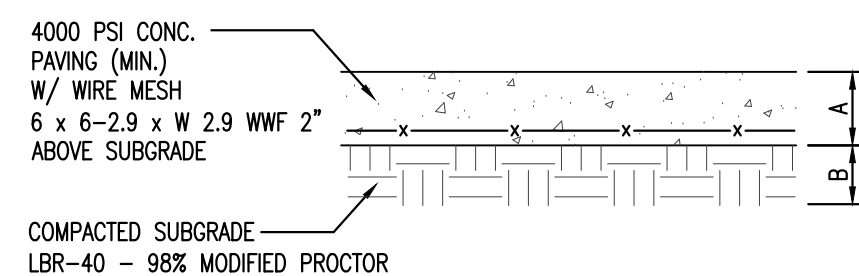
project no: 18-43
scale: AS SHOWN
date: 05-01-23
drawn by: A.G.

17190 ROYAL PALM BOULEVARD

C-3

DIMENSION & TYPE

CONCRETE SECTION	A	B
DRIVE AISLE	6"	12"
LOADING/DUMPSTER	6"	12"
APPROACHES	6"	12"
LIGHT DUTY AREA	5"	12"



6 CONCRETE PAVEMENT DETAIL NOT TO SCALE

NOTE: ALL HARDSCAPE SURFACES TO BE GRAY CONCRETE WITH A MINIMUM SOLAR REFLECTANCE OF 0.30

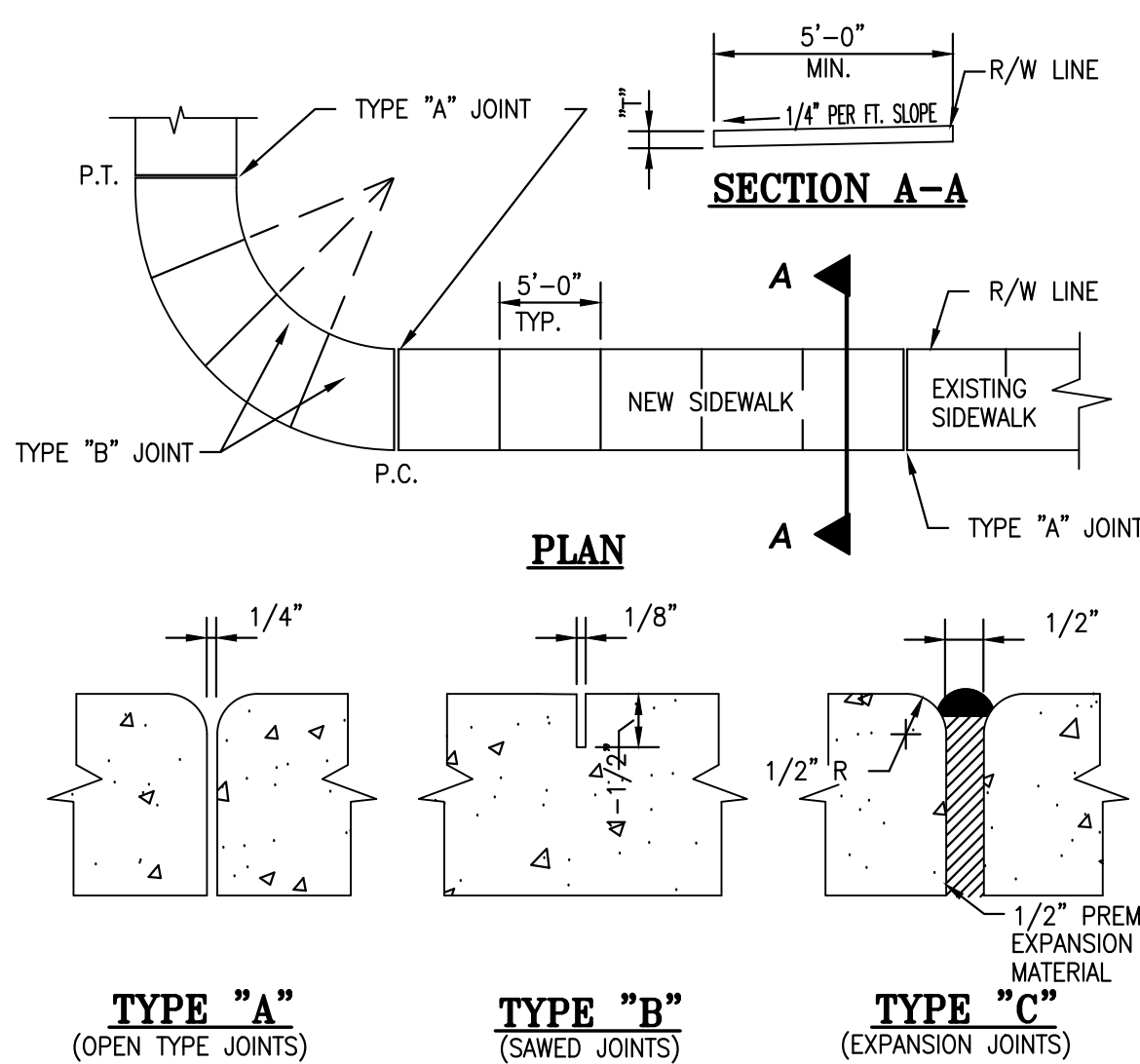


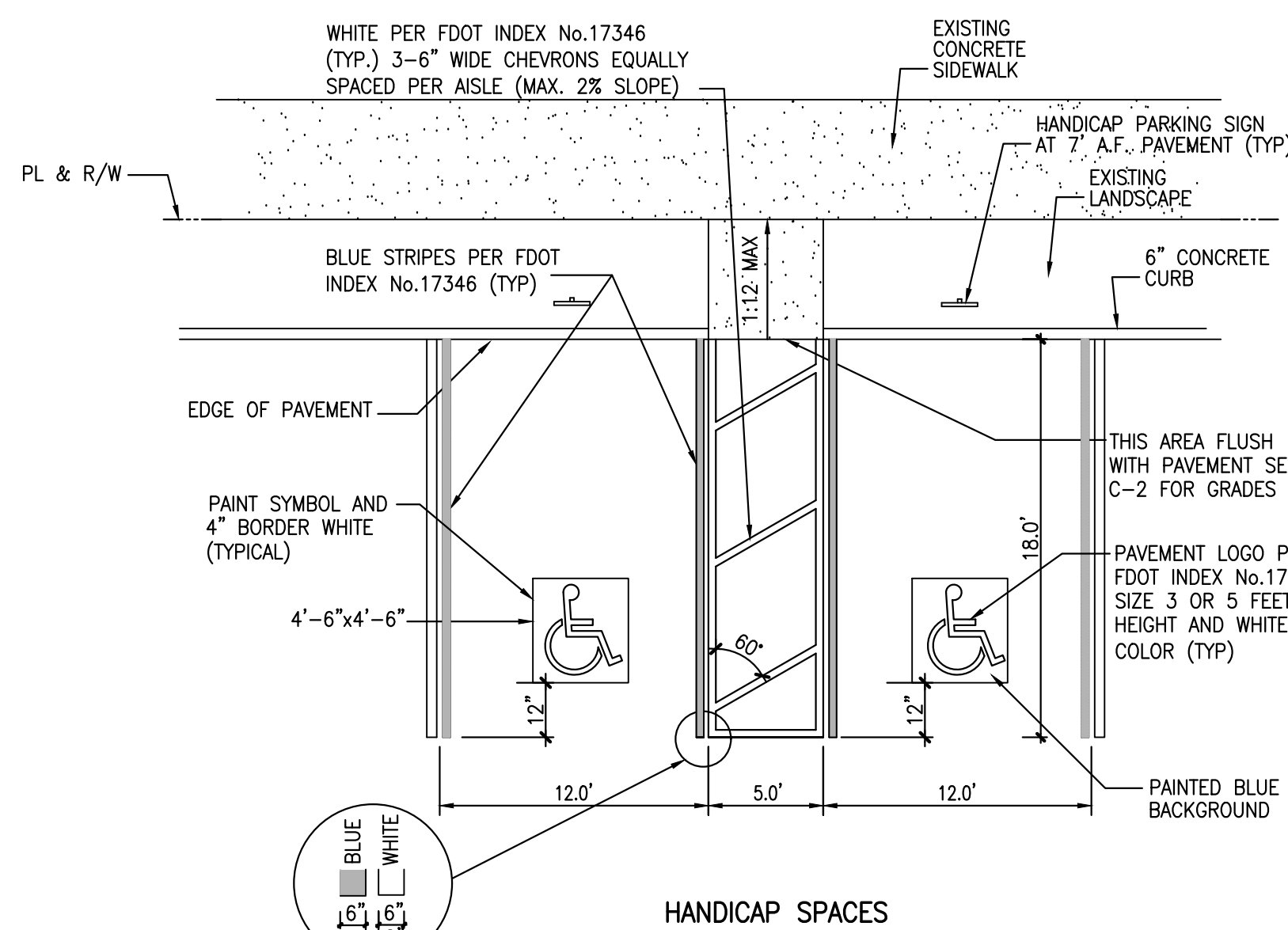
TABLE OF SIDEWALK THICKNESS-T"

LOCATION	T"
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

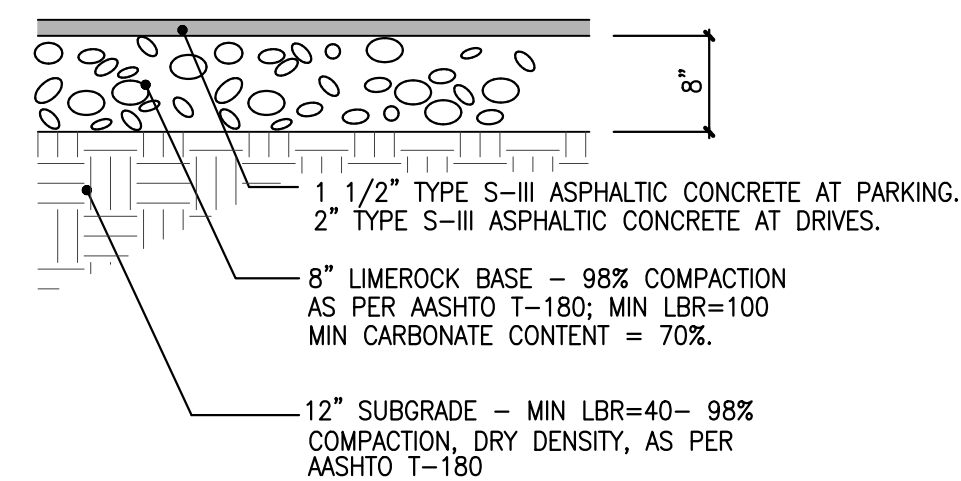
TABLE OF SIDEWALK JOINTS

TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES JUNCTION OF EXISTING AND NEW SIDEWALKS
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES

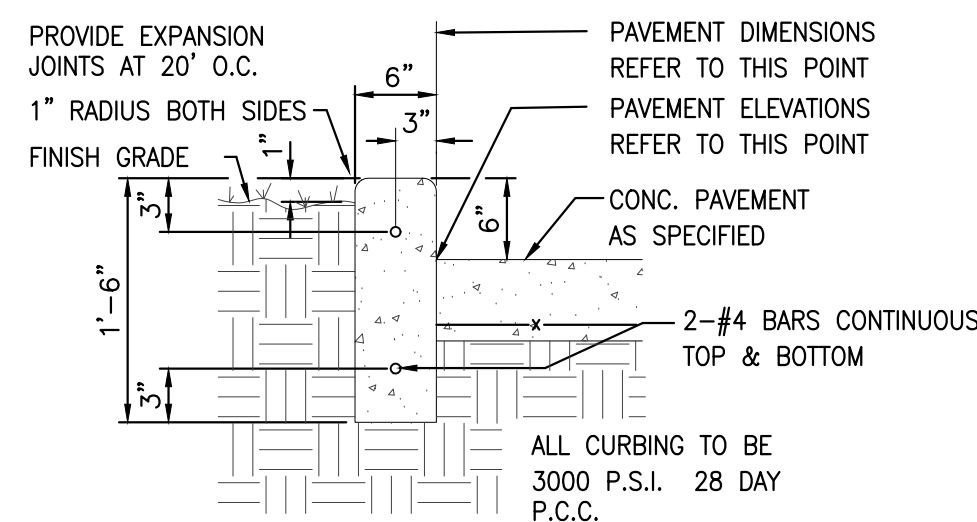
4 SIDEWALK CONSTRUCTION DETAIL NOT TO SCALE



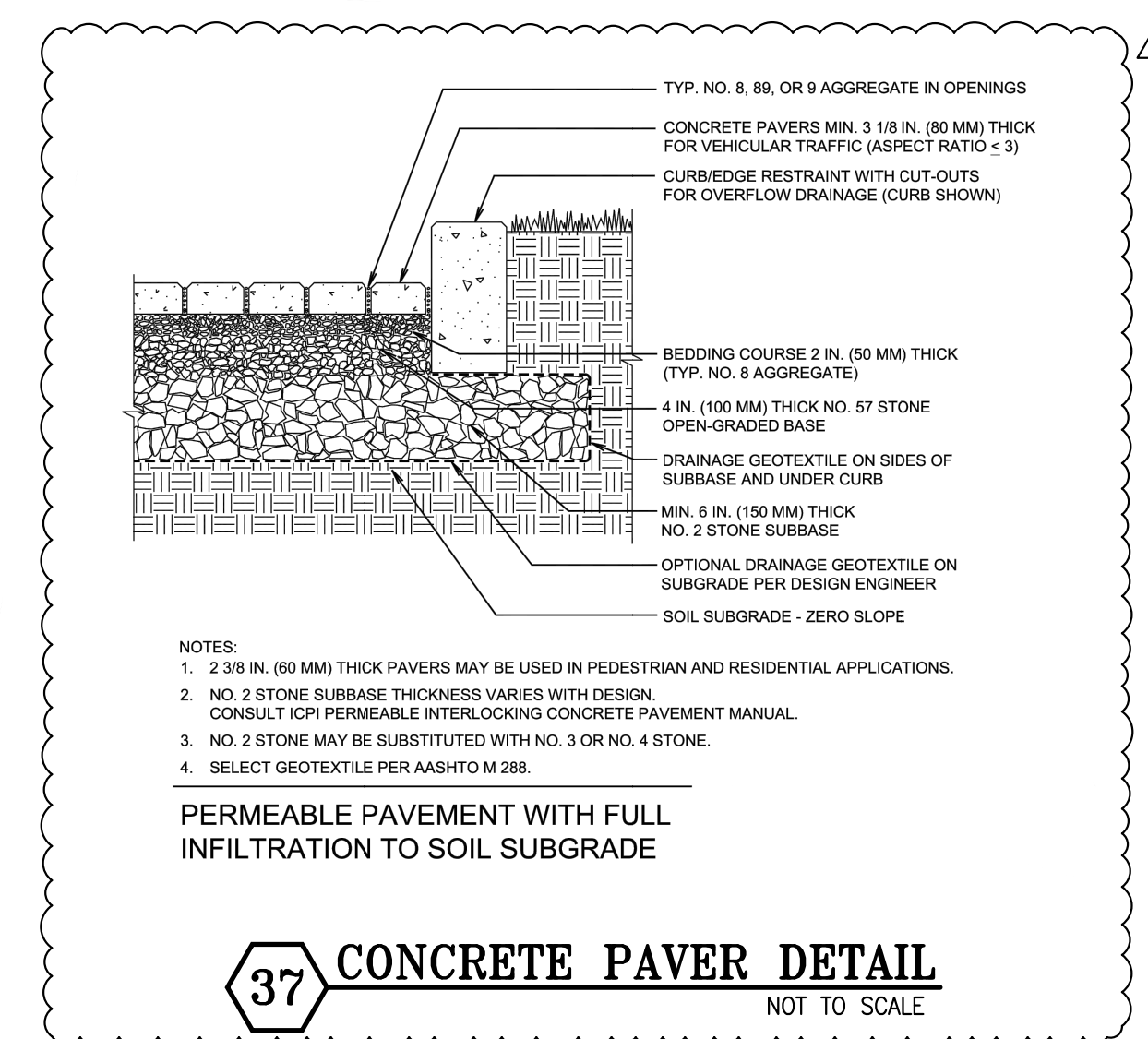
11 12 14 HANDICAP AND STANDARD PARKING DETAILS NOT TO SCALE



1A ASPHALT PAVEMENT DETAIL NOT TO SCALE



2A 6" CONCRETE CURB (TYPE "D") NOT TO SCALE

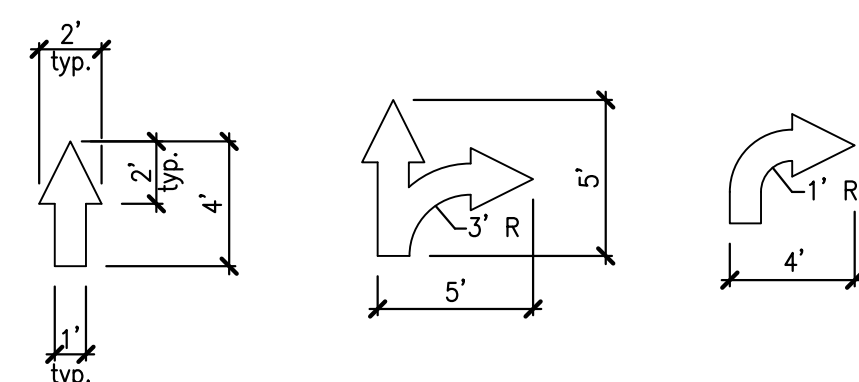


37 CONCRETE PAVER DETAIL NOT TO SCALE

- NOTES:
- 2.38 IN. (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
 - NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT CIPR PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
 - NO. 2 STONE MAY BE SUBSTITUTED WITH NO. 3 OR NO. 4 STONE.
 - SELECT GEOTEXTILE PER AASHTO M 288.

PERMEABLE PAVEMENT WITH FULL INFILTRATION TO SOIL SUBGRADE

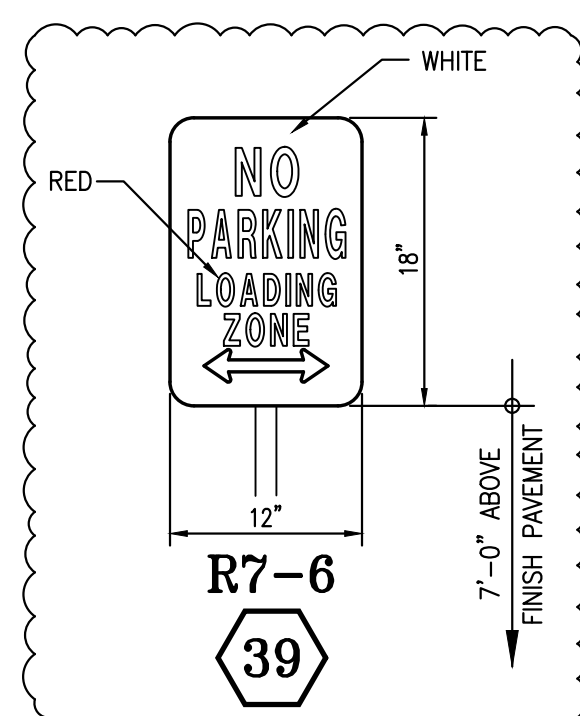
5 HANDICAP RAMP DETAIL NOT TO SCALE



19 PAINTED ARROWS NOT TO SCALE

PEDESTRIAN CROSSING 5' WIDE-12" WHITE @ 3' c/c

23 PEDESTRIAN CROSSING (PER FDOT INDEX No.17346) NOT TO SCALE



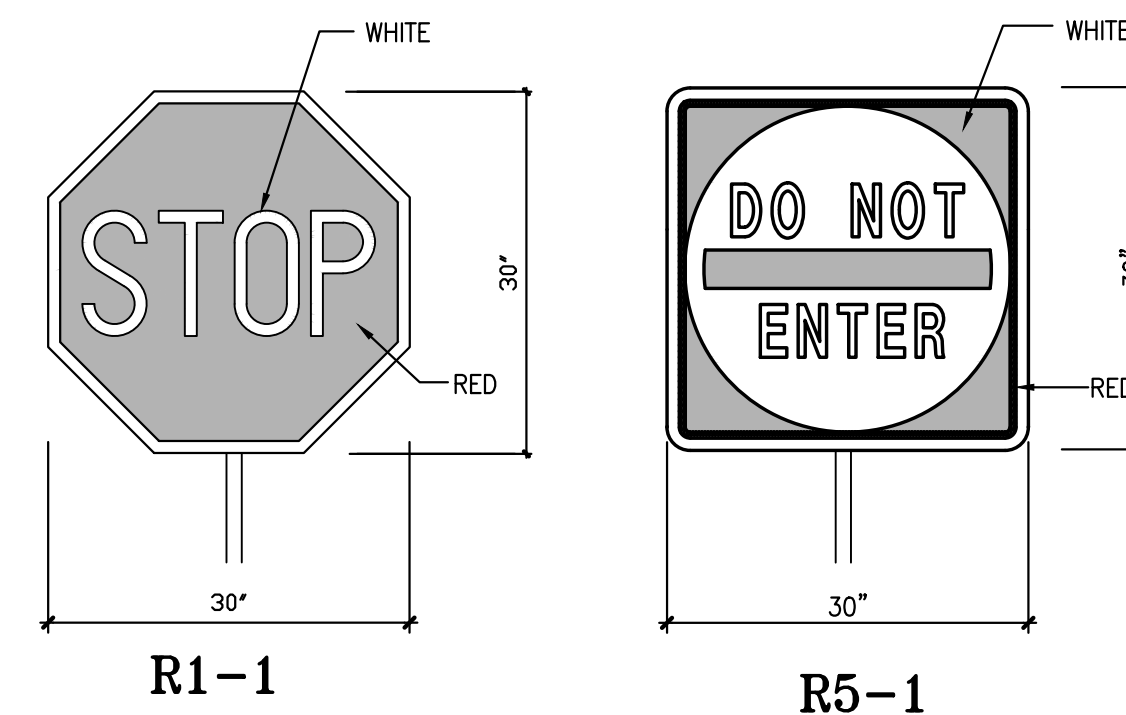
39 R7-6

13 HANDICAP PARKING SIGN (PER MIAMI-DADE COUNTY PW-R18.3) NOT TO SCALE

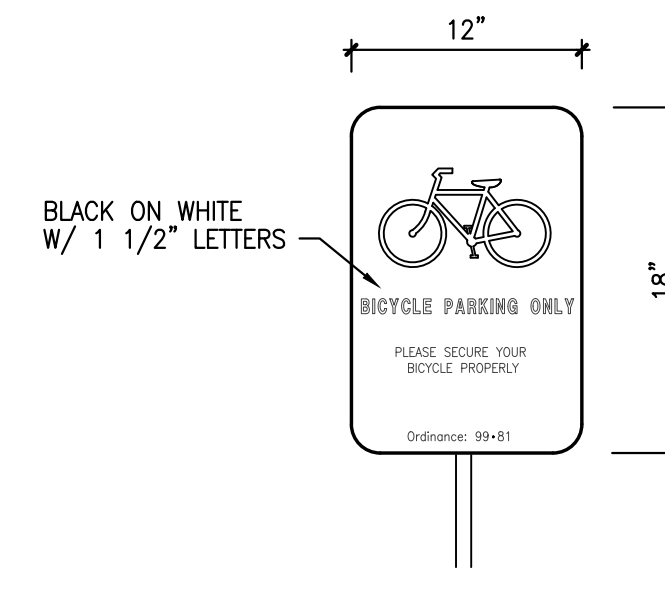
GENERAL NOTES

- ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
- DESIGNS ARE PER 175 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).
- WHEN UNABLE TO VIEW CARS PLACING ORDERS DIRECTLY FROM PICK-UP WINDOW A 24" CONVEX MIRROR SHALL BE PLACED IN AN APPROPRIATE LOCATION TO VIEW CUSTOMERS AT ORDER STATION.

17 18 STANDARD F.D.O.T. SIGNAGE DETAILS NOT TO SCALE

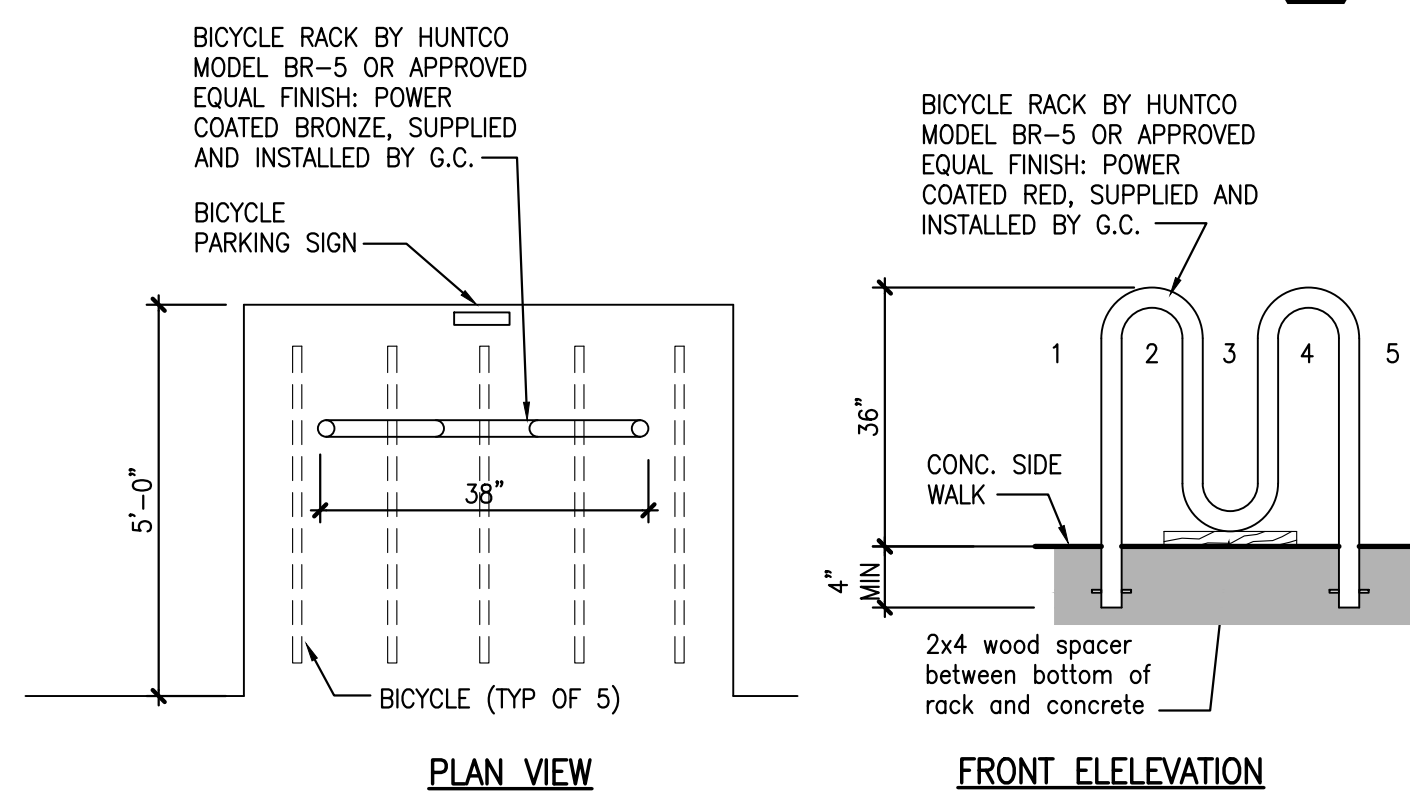


28 BICYCLE PARKING SIGN NOT TO SCALE



This item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

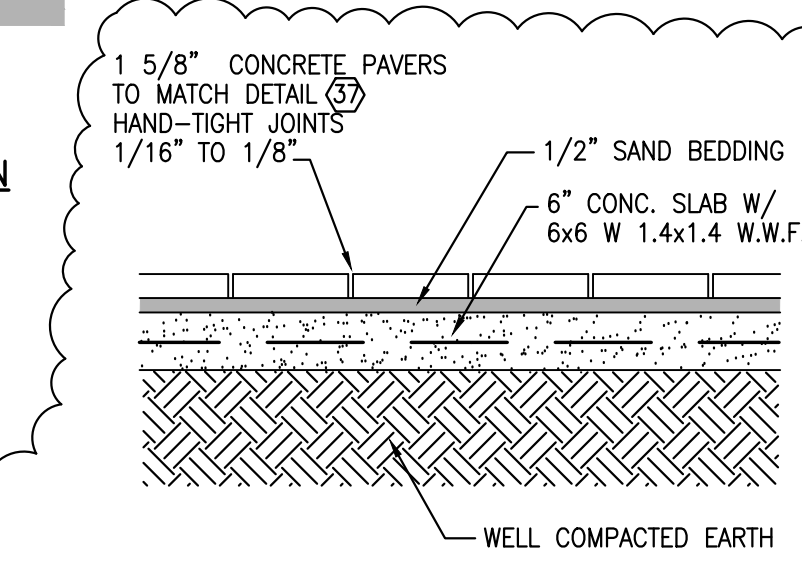
EDUARDO L. CARCACHÉ, PE 31914
CKE GROUP, INC. COA-4432



- Installation:**
- Place the rack according to the pictures to give adequate clearance between the wall and rack
 - When placing the rack into wet concrete locate the rack and push the legs into the wet concrete set the bottom loop on a wood 2x4 to keep it of the ground.
 - Trowel the concrete smooth around the bike rack leg.
- For any questions about installation call Huntoco at 1 (800) 547-5909

27 BIKE RACK DETAIL NOT TO SCALE

- PAVER NOTES:**
- CONCRETE PAVERS TO BE 4.5"x9" PERMEABLE CONCRETE PAVERS BY HANOVER ARCHITECTURAL PRODUCTS.
 - COLOR CHARCOAL AT PARKING SPACES (STANDARD & ADA).
 - COLOR TERRACOTTA AT PATIO, ADA ACCESS AND SIDEWALK.



38 PAVERS OVER CONCRETE DETAIL (USE ON SIDEWALK, PATIO, ADA PARKING SPACES & ADA CROSSING) NOT TO SCALE

CKE GROUP
INCORPORATED
engineering • architecture • planning
CERTIFICATE OF AUTHORIZATION - #4861

Bob CAMPERO
3730 NW 74TH AVE.,
DORAL, FLORIDA 33166

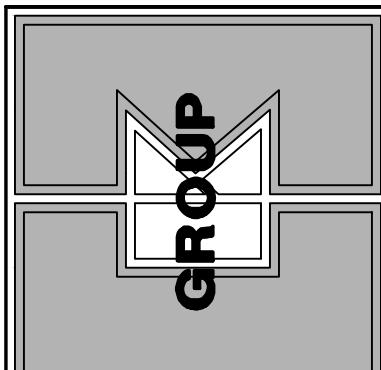
EDUARDO L. CARCACHÉ
LICENSE
No. 31914
STATE OF FLORIDA
PROFESSIONAL ENGINEER

project no: 1843
scaler AS SHOWN
date: 05-01-23
drawn by: A.G.

17190 ROYAL PALM BOULEVARD • SUITE 2 • WESTON, FLORIDA 33326 • (305) 558-4124

revisions

C-4



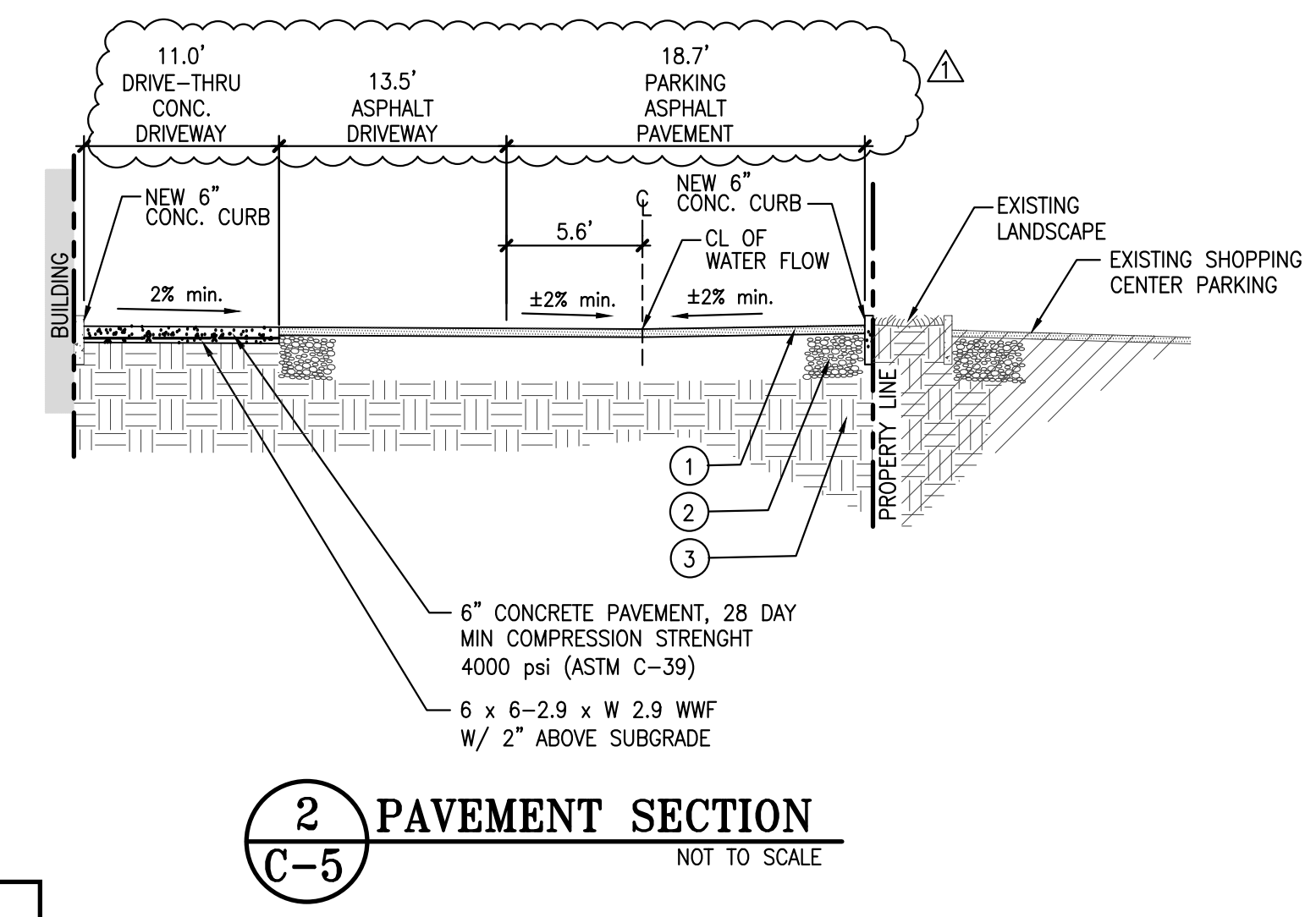
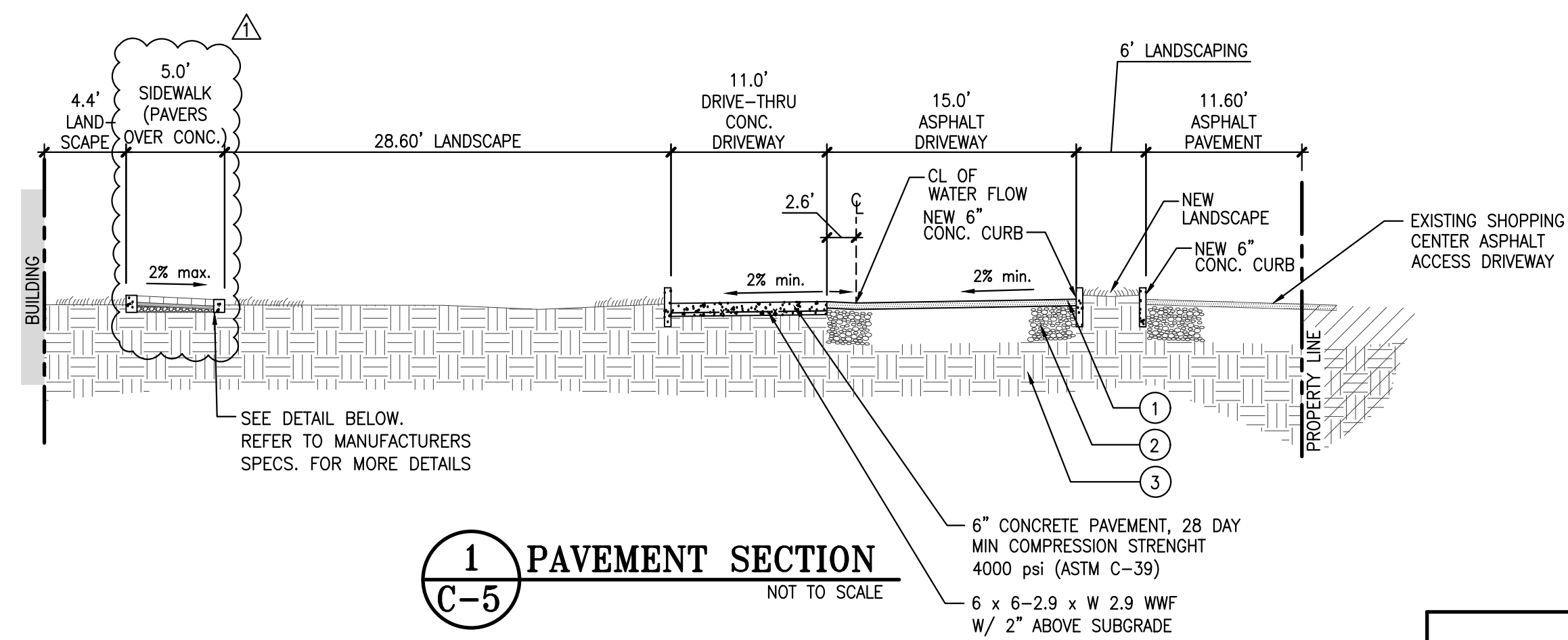
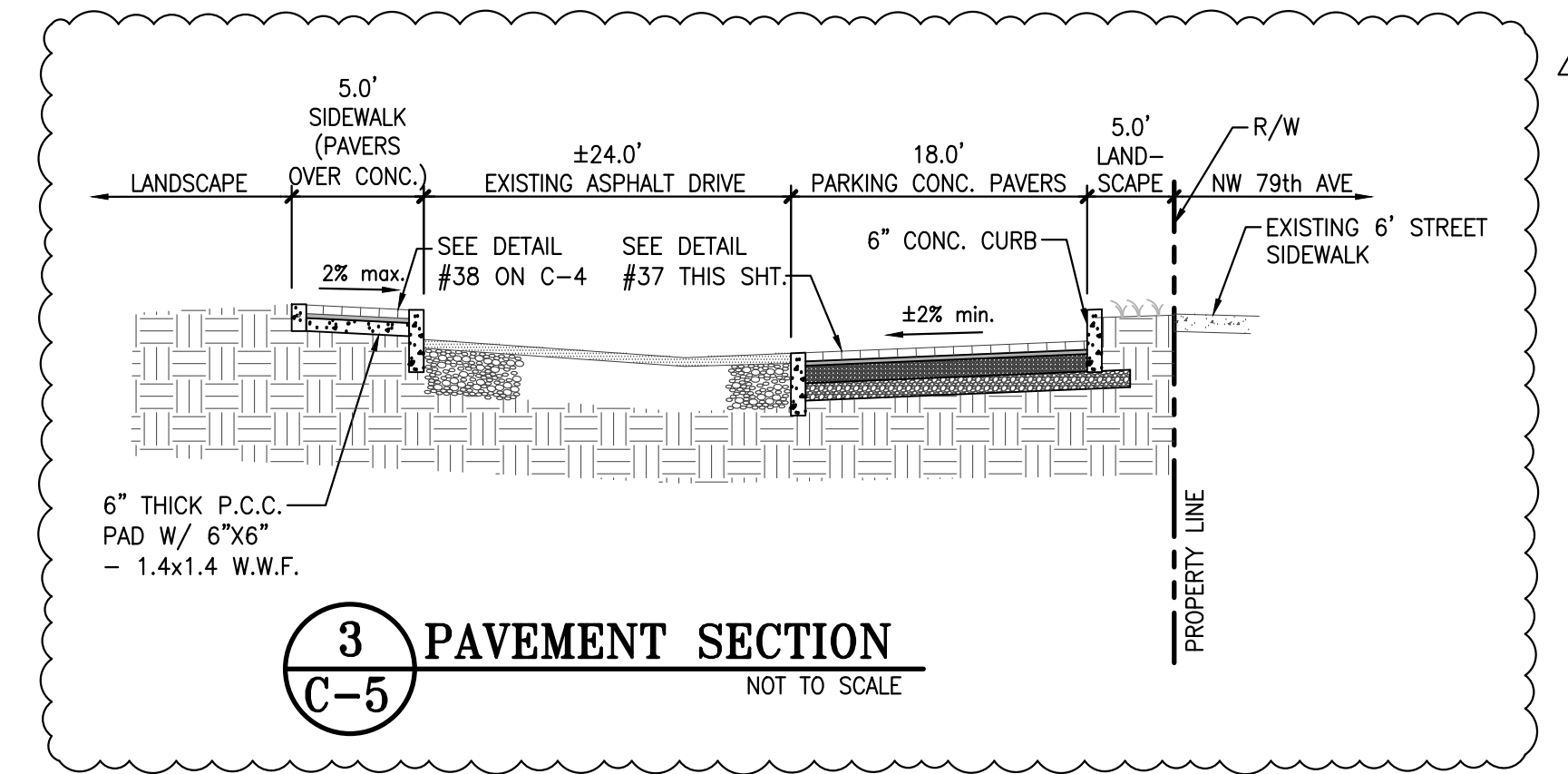
CKE GROUP
INCORPORATED
 engineering • architecture • planning
CERTIFICATE OF AUTHORIZATION - #488

Bob CAMPERO
 3730 NW 74TH AVE.,
 DORAL, FLORIDA 33166

seal
 EDUARDO CARCACHÉ, PE 31914

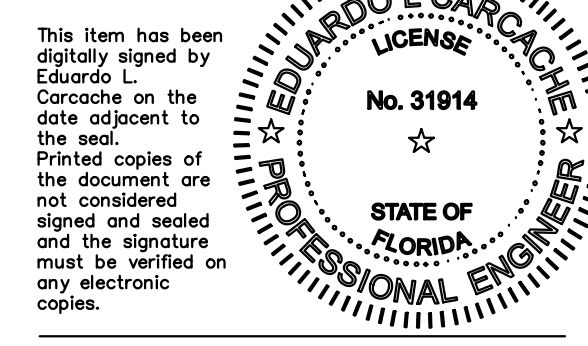
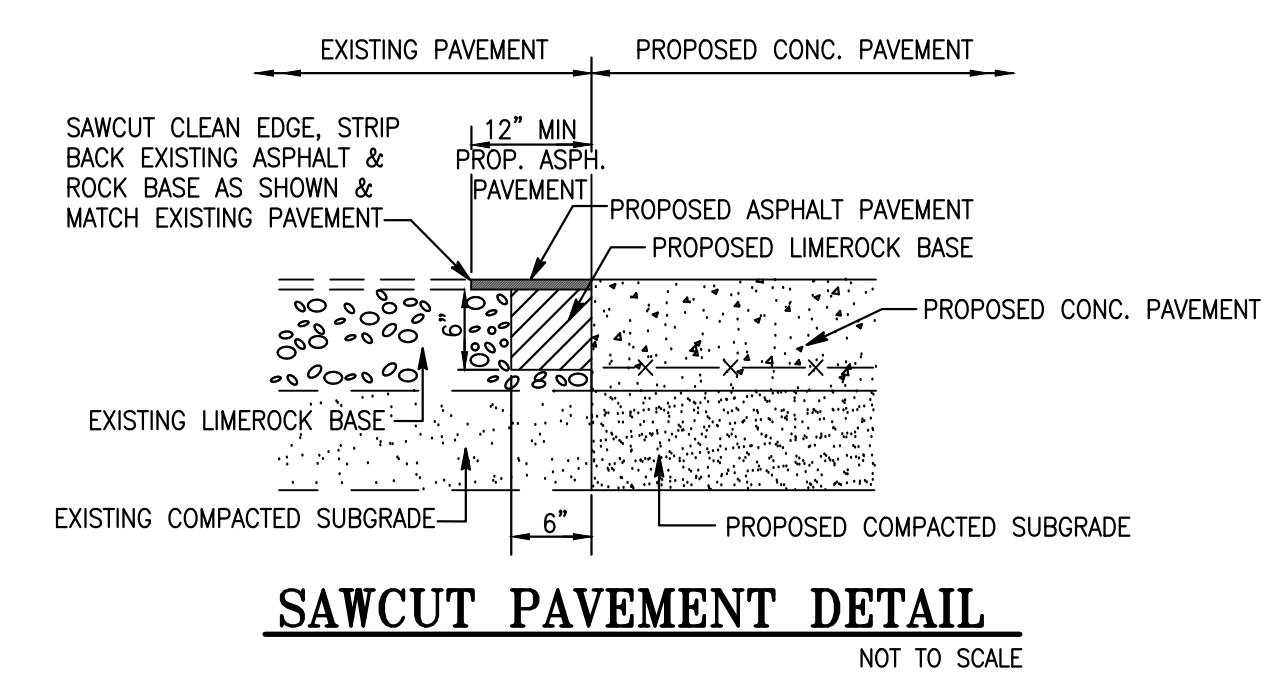
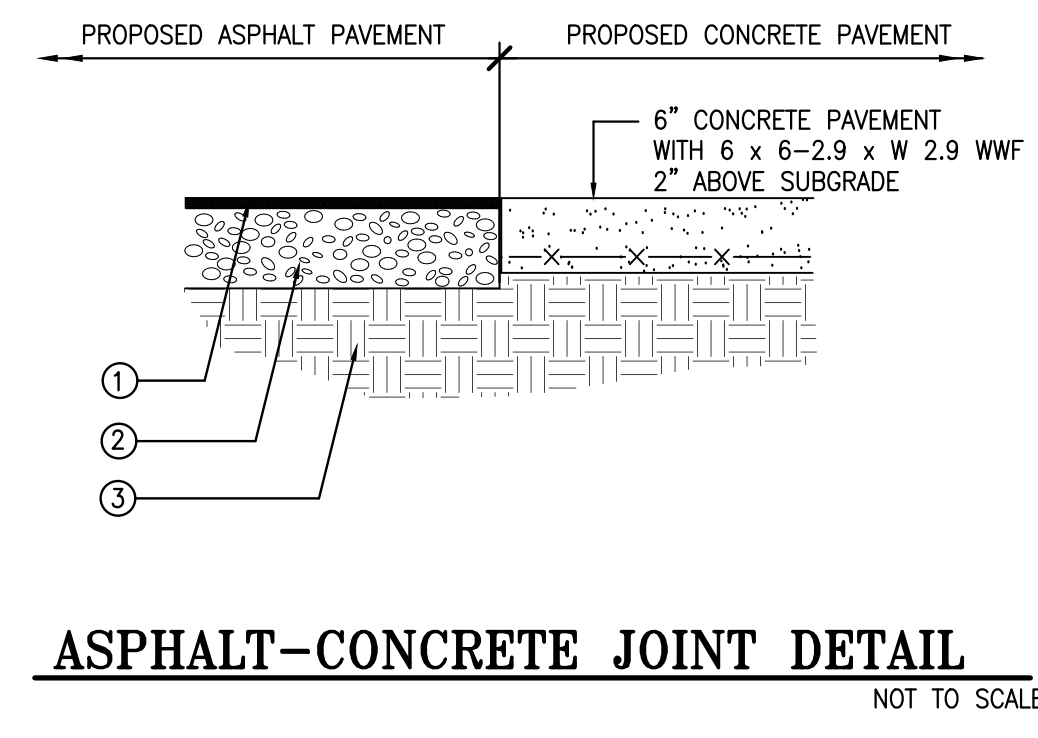
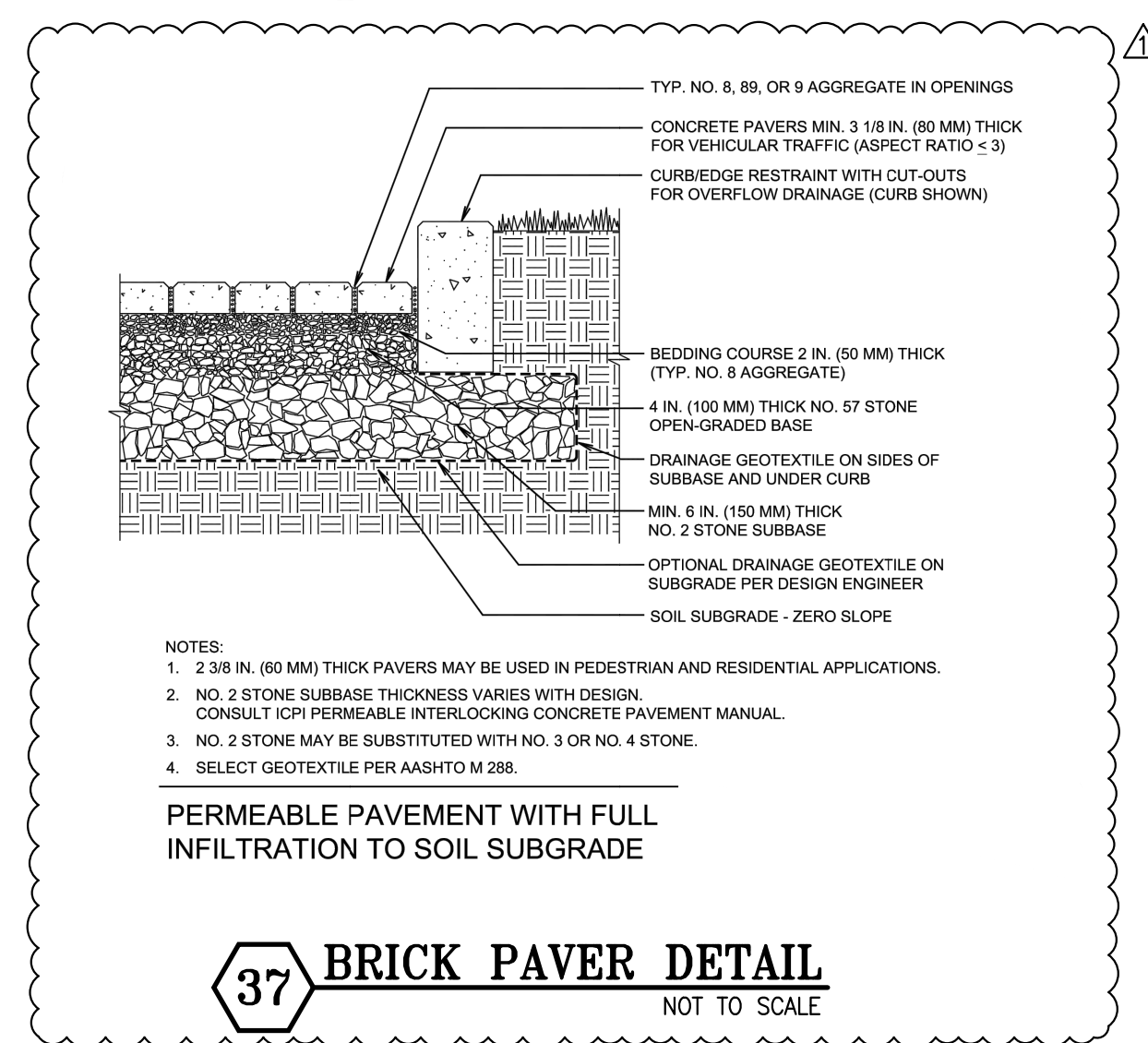
project no. 18-43
 scaler AS SHOWN
 date 05-01-23
 drawn by A.G.

17190 ROYAL PALM BOULEVARD • SUITE 2 • WESTON, FLORIDA 33326 • (305) 558-4124



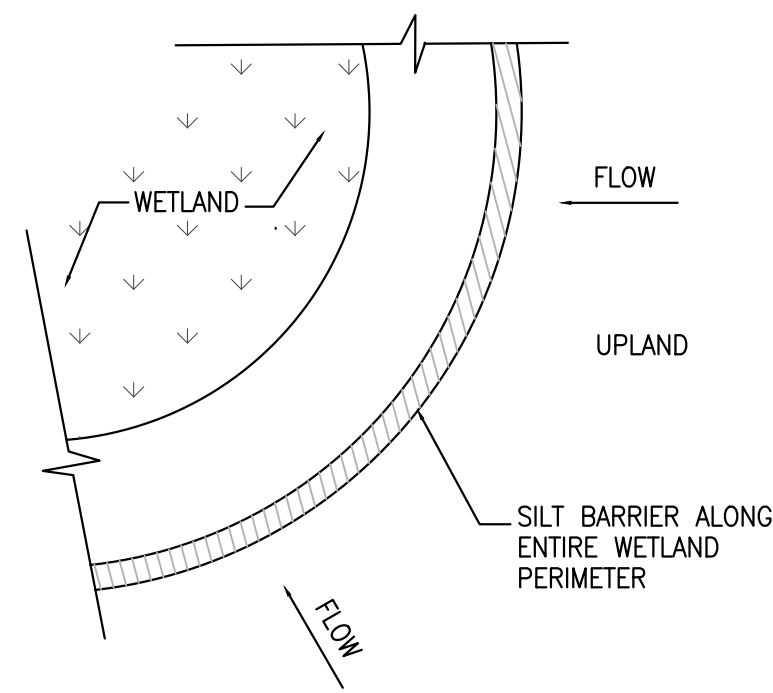
LEGEND	
1	1 1/2" TYPE S-III ASPHALTIC CONCRETE AT PARKING 2" TYPE S-III ASPHALTIC CONCRETE AT DRIVES
2	8" LIMEROCK BASE AT DRIVES - 98% COMPACTION AS PER AASHTO T-180; MIN LBR=100; MIN CARBONATE CONTENT = 70%.
3	12" SUBGRADE - MIN LBR=40 - 98% COMPACTION, DRY DENSITY, AS PER AASHTO T-180

NOTE:
 REFER TO SOILS REPORT FOR DETAILED SPECS.

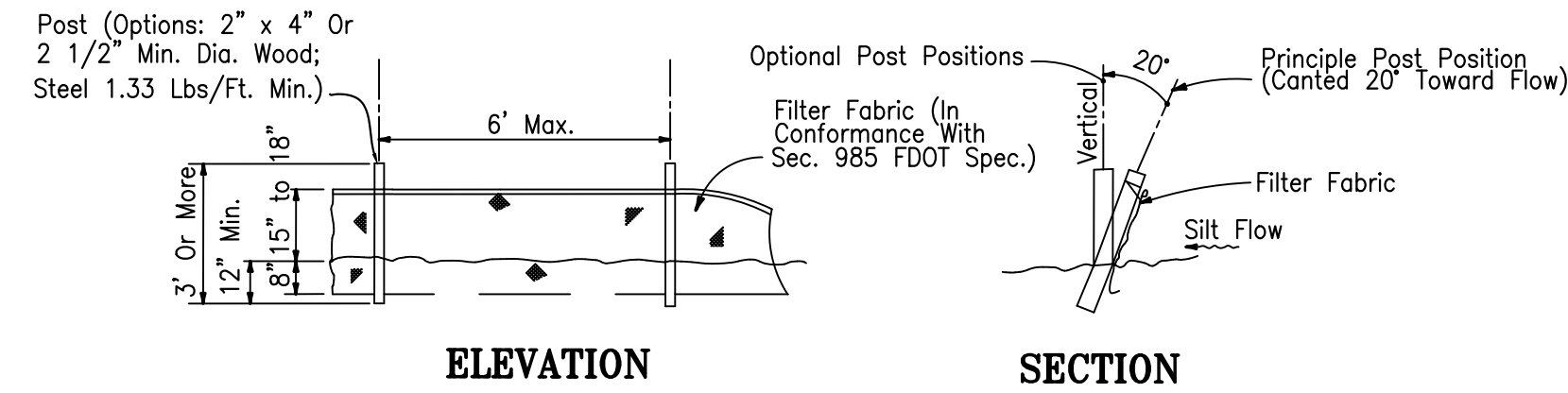


EDUARDO L. CARCACHÉ, PE 31914
 CKE GROUP, INC. COA-4432

C-5

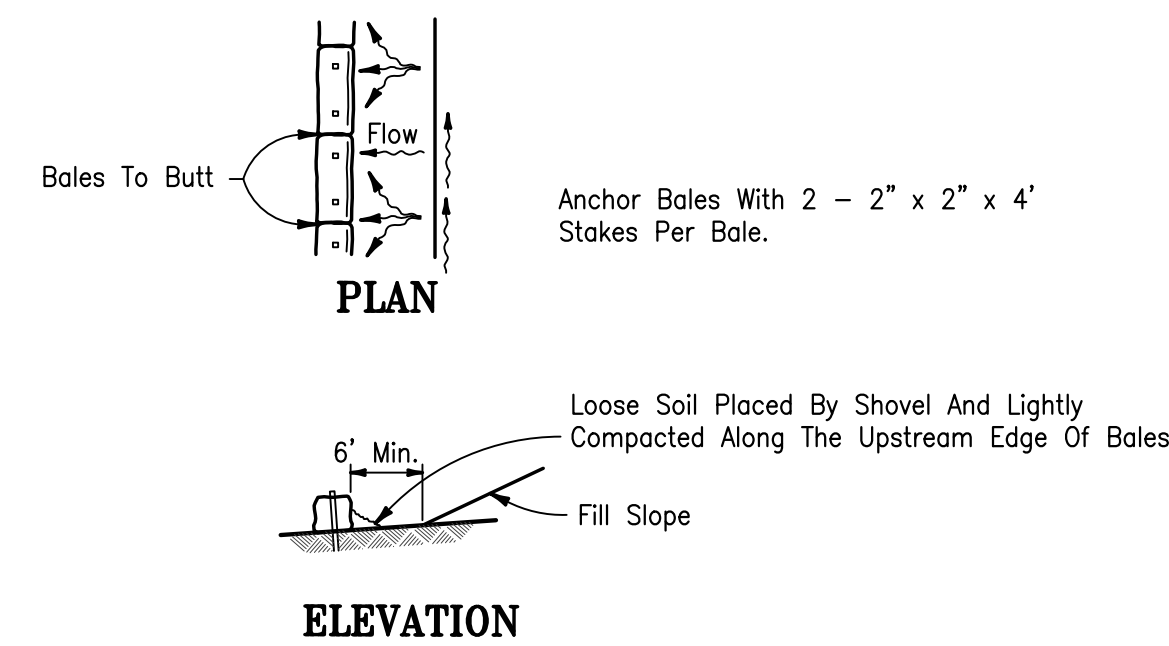


SILT BARRIER
Figure 1



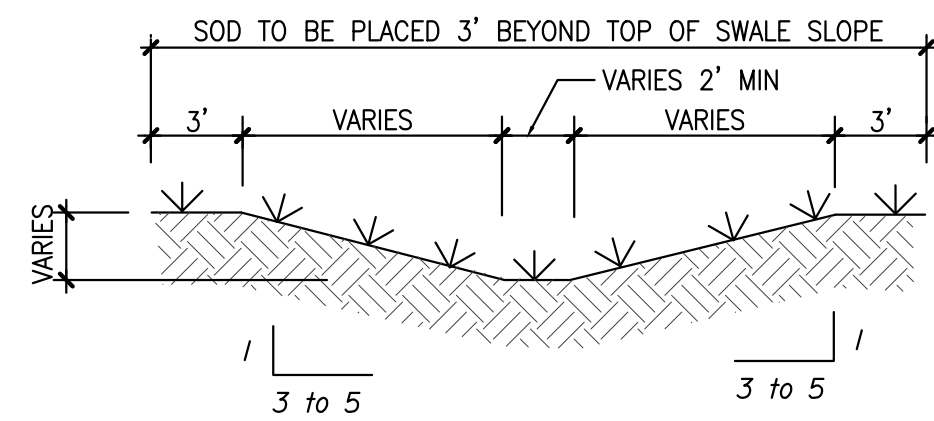
Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

TYPE III SILT FENCE
Figure 2

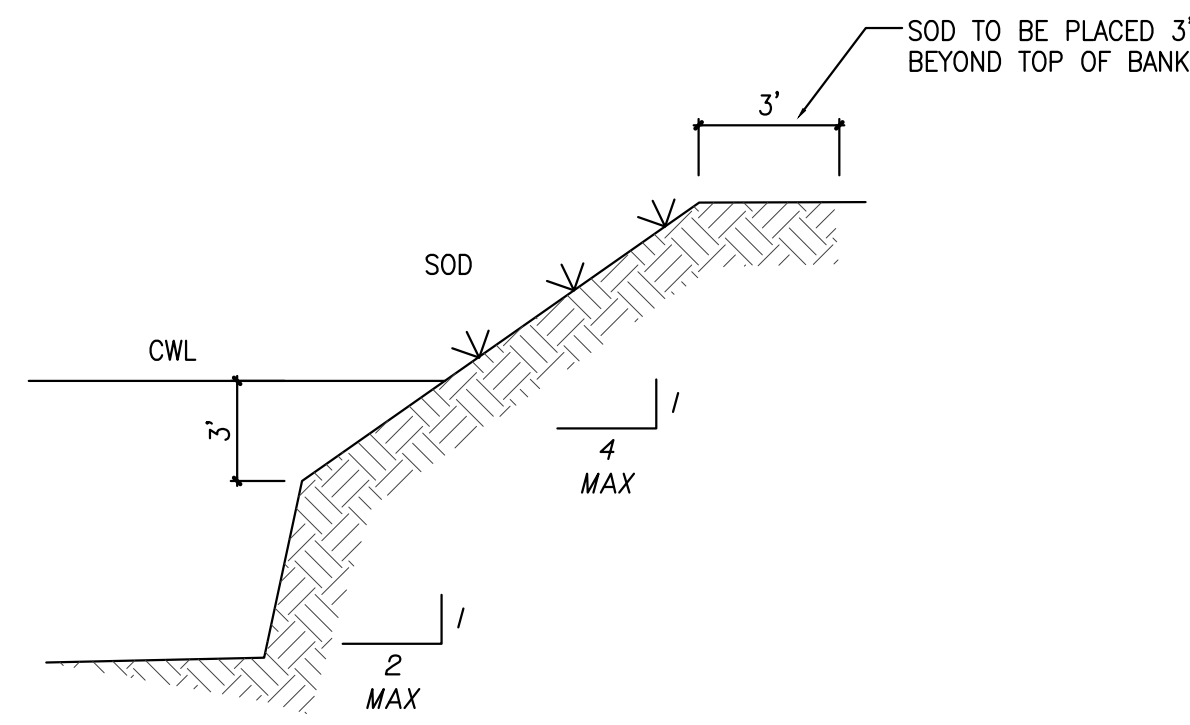


TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

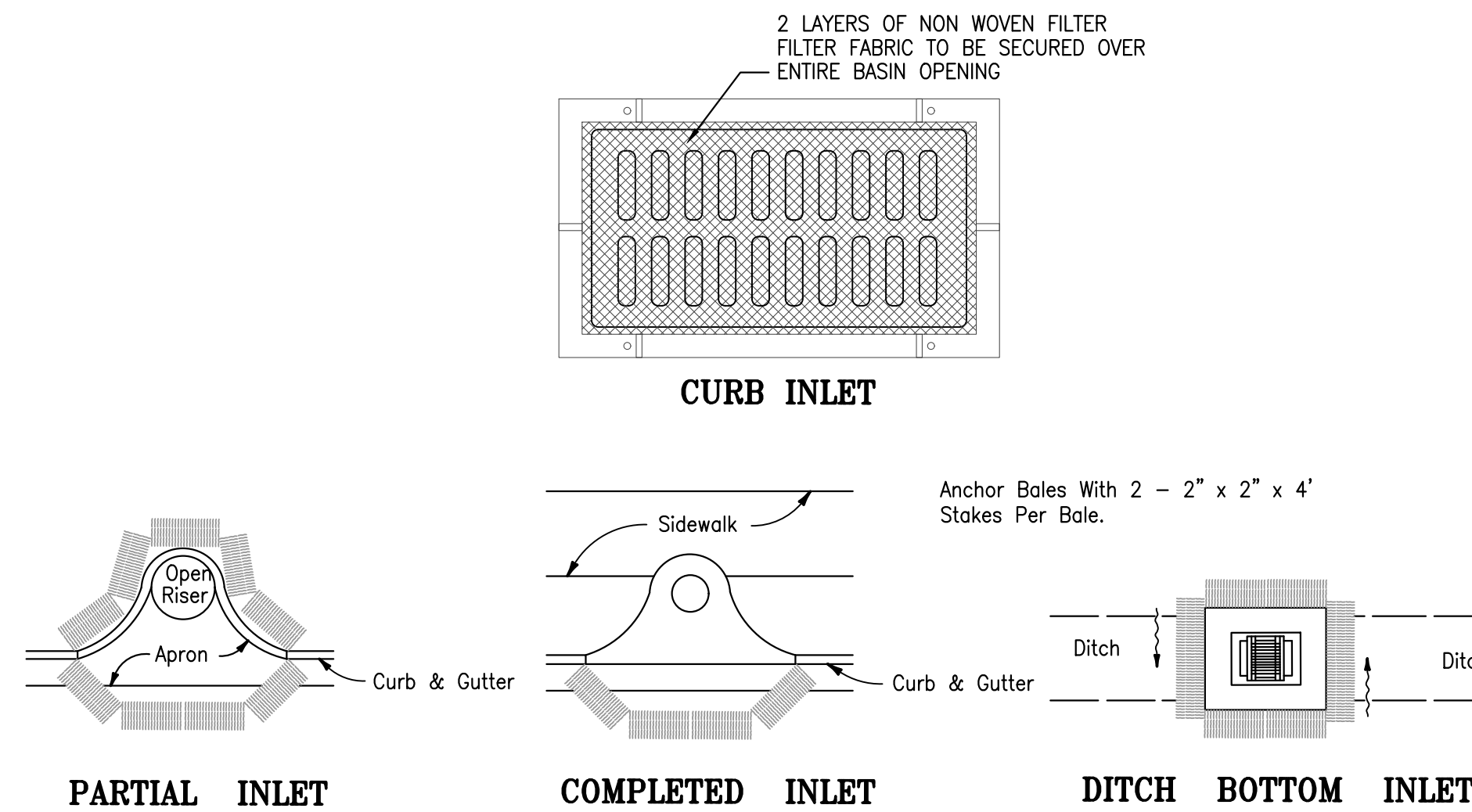
BARRIERS FOR FILL SLOPES



TYPICAL SWALE SECTION
Figure 4

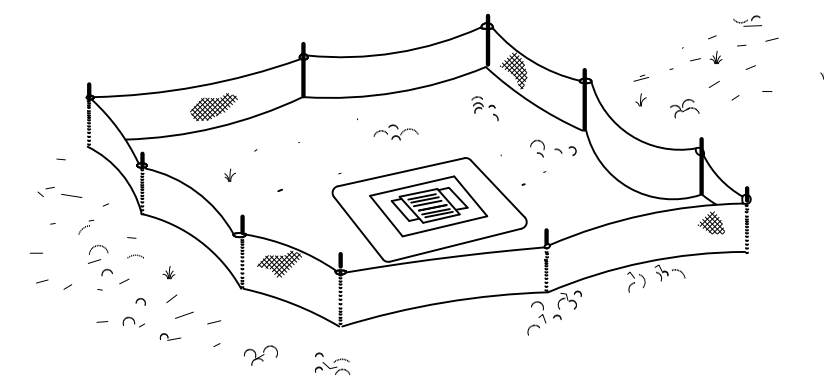


TYPICAL RETENTION/DETENTION POND SECTION
Figure 5



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

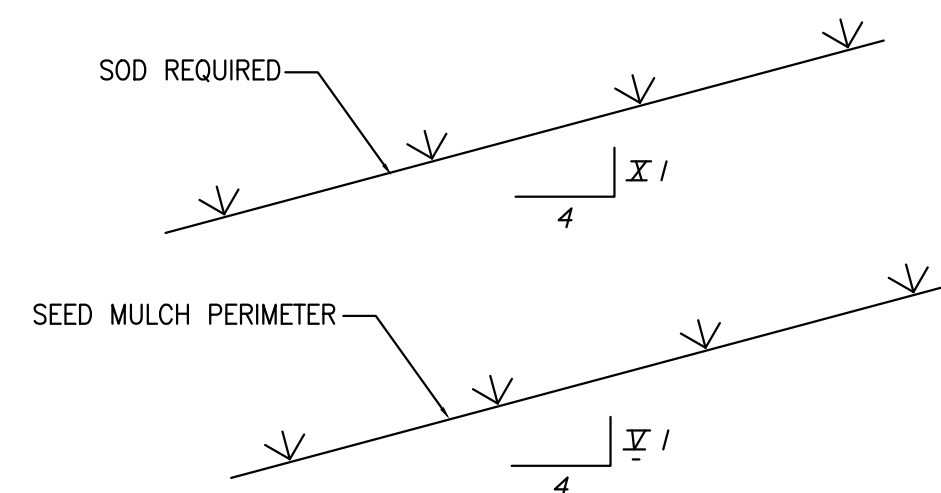
Figure 6



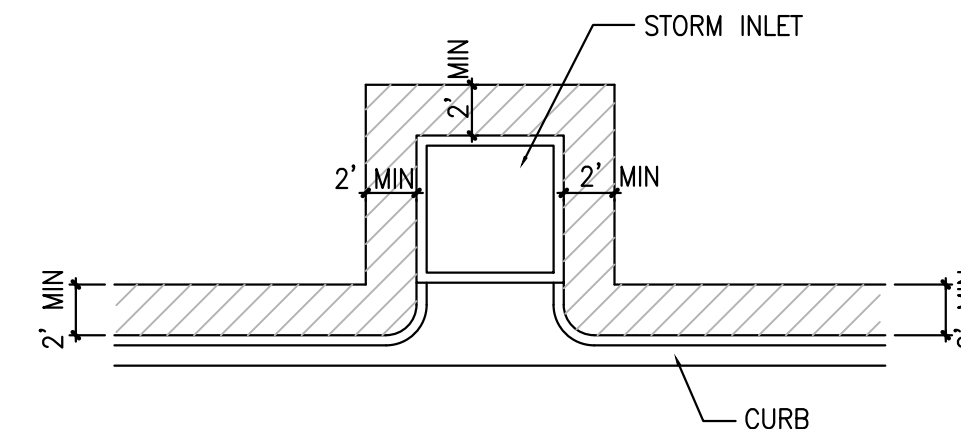
Type III Silt Fence Protection Around Ditch Bottom Inlets.

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

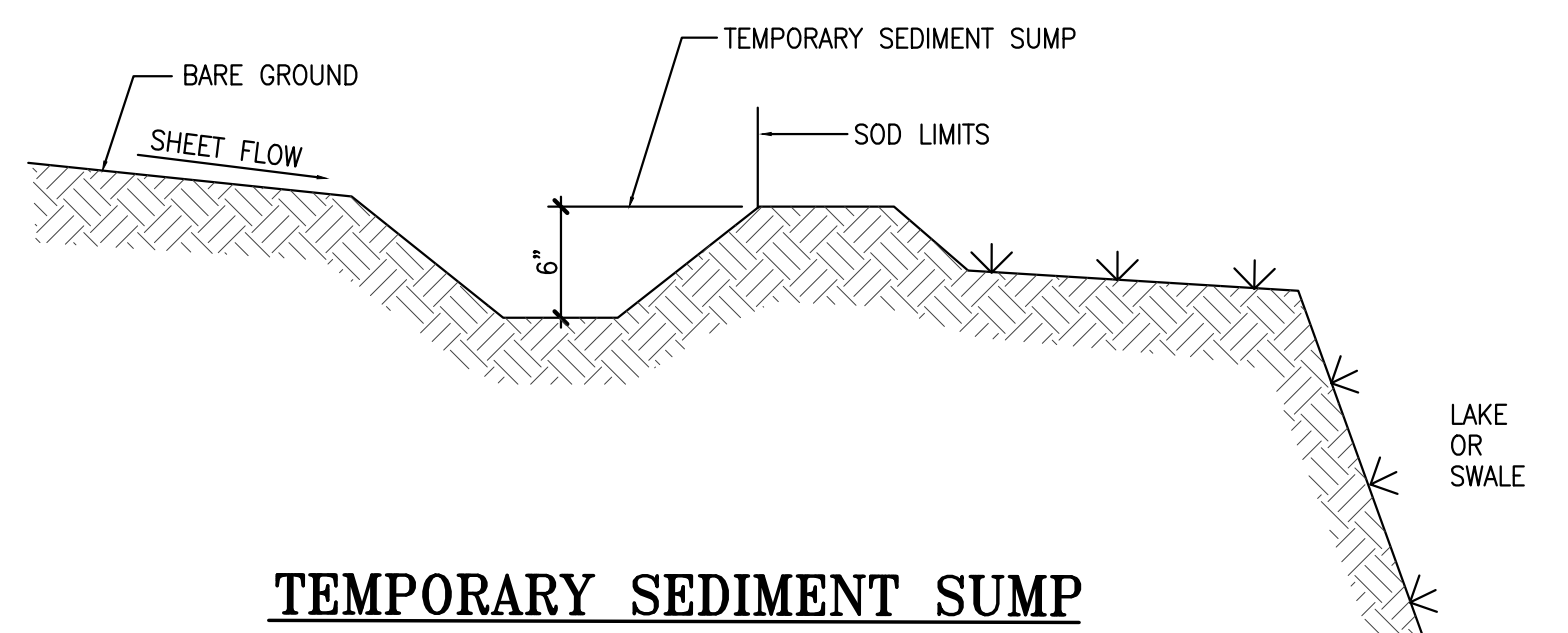
SILT FENCE APPLICATIONS
Figure 7



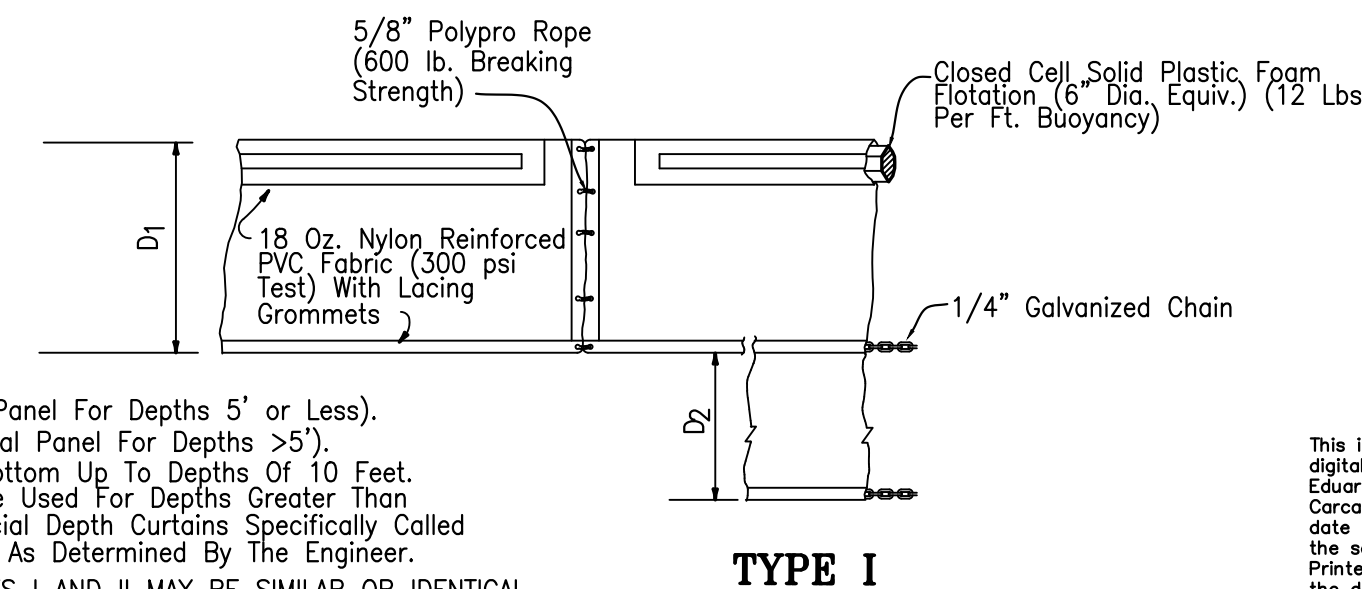
GRASS SLOPES
Figure 8



SOD ALONG CURB AND AROUND INLET
Figure 9



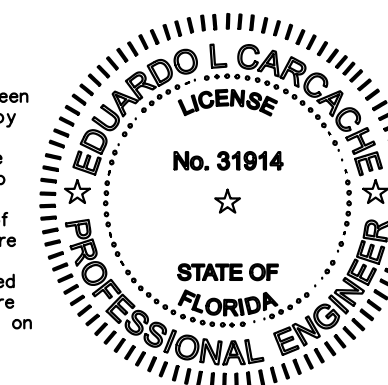
TEMPORARY SEDIMENT SUMP
Figure 10



D₁ = 5' Std. (Single Panel For Depths 5' or Less).
D₂ = 5' Std. (Additional Panel For Depths >5').
Curtain To Reach Bottom Up To Depths Of 10 Feet.
Two(2) Panels To Be Used For Depths Greater Than 10 Feet Unless Special Depth Curtains Specifically Called For In The Plans Or As Determined By The Engineer.
NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS

This item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.



EDUARDO L. CARCACHE, PE 31914
CKE GROUP, INC. COA-4432

NOT TO SCALE

Best Management Practices

This plan has been prepared to ensure compliance with appropriate conditions of the Miami-Dade County Land Development Regulations, the Rules of the Florida Department of Environmental Protection, Chapter 17-25, F.A.C.. The plan addresses the following areas:

1. Protection of preserved/conserved wetland habitats during construction.
2. Protection of preserved/conserved upland habitats during construction.
3. General erosion control.
4. Protection of surface water quality during and after construction.
5. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation when the techniques should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

It should be noted that the measures identified on this plan are only suggested BMP(s). The contractor shall provide pollution prevention and erosion control measures as specified in FDOT Index #100 and as necessary for each specific application.

SECTION 1 PROTECTION OF PRESERVED/CONSERVED WETLAND HABITATS DURING CONSTRUCTION

- 1.1 Wetland habitat protection BMPs shall be utilized for any development parcel which contains or abuts a preserved wetland and/or for any parcel which contains or abuts a mitigated wetland.
- 1.2 Preserved wetlands shall be protected prior to the start of site-work construction. Protection shall consist of a Silt Barrier constructed along the entire perimeter of the preserved wetland as shown in Figure 1. The silt barrier shall be constructed along the outer edge of the required 30 foot buffer adjoining preserved wetlands. The silt barrier may be either a silt fence as shown in Figure 2 or hay bales as shown in Figure 3.
- 1.3 Mitigated wetlands shall be protected as soon as practical after their construction. Protection shall be the same as for preserved wetlands.
- 1.4 Silt barriers used for wetland protection shall remain in place for the duration of any site-work or building construction located in the vicinity of the wetland. Silt barriers erected during development shall be designed and maintained to not impound intermittent standing water for more than 72 hours. Silt barriers, any silt which accumulates behind these barriers and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION 2 PROTECTION OF PRESERVED/CONSERVED UPLAND HABITATS

- 2.1 Barricades shall be placed around all protected (preserved) habitats including mesic and uplands during development.
- 2.2 Silt barriers required for the protection of preserved habitats other than wetlands shall be constructed along the perimeter of the preserved area in accordance with implementation guidelines contained in Section 1.4.

SECTION 3 GENERAL EROSION CONTROL

- 3.1 General erosion control BMPs shall be employed to minimize soil erosion and potential lake slope cave-ins. While the various techniques required will be site and plan specific, they should be employed as soon as possible during construction activities.
- 3.2 Cleared site development areas not continually scheduled for construction activities shall be covered with hay or over-seeded and periodically watered sufficient to stabilize the temporary groundcover.
- 3.3 Slopes of banks of retention/detention ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level as shown in Figure 5.
- 3.4 All gross slopes constructed steeper than 4H:1V shall be sodded as soon as practical after their construction as shown in Figure 8.
- 3.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.
- 3.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed, as shown in Figure 10. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

SECTION 4 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION

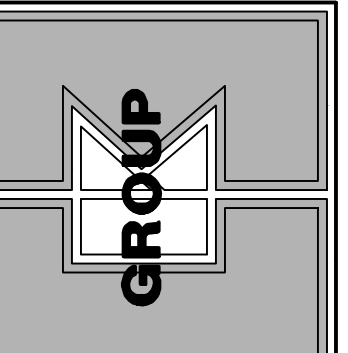
- 4.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.
- 4.2 Where practical stormwater shall be covered by swales. Swales shall be constructed as shown in Figure 5.
- 4.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:
 - a. In general erosion shall be controlled at the furthest practical upstream location.
 - b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until sodding around inlets is complete.
 - 4.4 Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide broad dikes, hay bales or Silt screens around, and sediment sumps within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.
 - 4.5 Silt barriers, any silt which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

SECTION 5 CONTROL OF WIND EROSION

- 5.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:
 - a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.
 - b. As soon as practical after completion of construction, bare earth areas shall be vegetated.
 - c. At any time both during and after site construction that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods as are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a Silt fence shown in Figure 2 except the minimum height shall be 4 feet.

NOTES

1. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION



CKE GROUP
INCORPORATED
engineering • architecture • planning
CERTIFICATE OF AUTHORIZATION - #486

3750 NW 74TH AVE.,
DORAL, FLORIDA 33166

WESTON, FLORIDA 33326

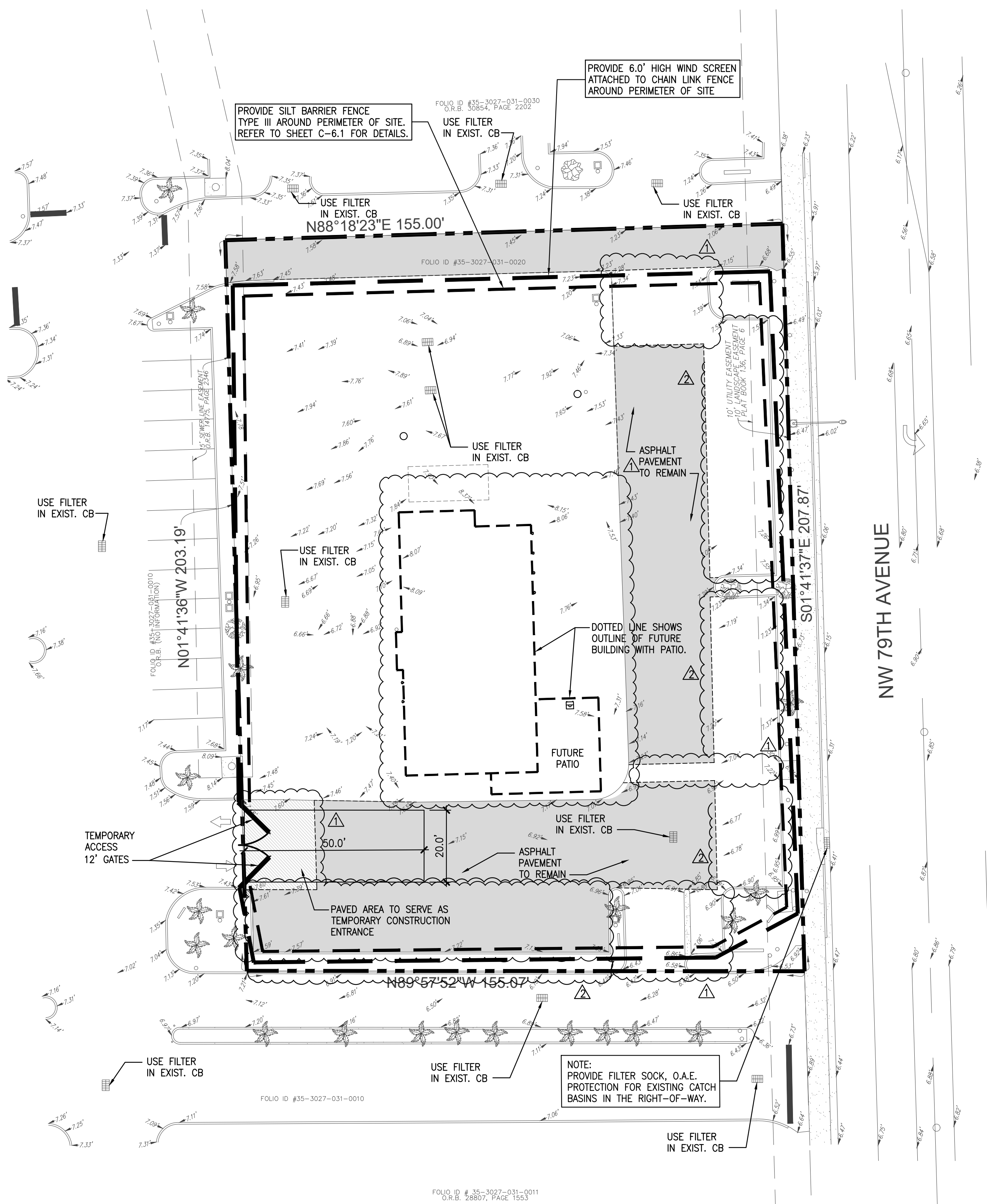
SUITE 2

17190 ROYAL PALM BOULEVARD

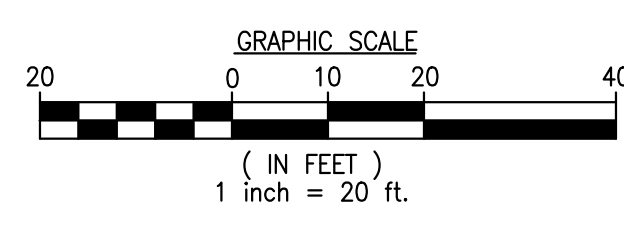
project no: 18-43
scaler: AS SHOWN
date: 05-01-23
drawn by: A.G.

revisions

C-6.1



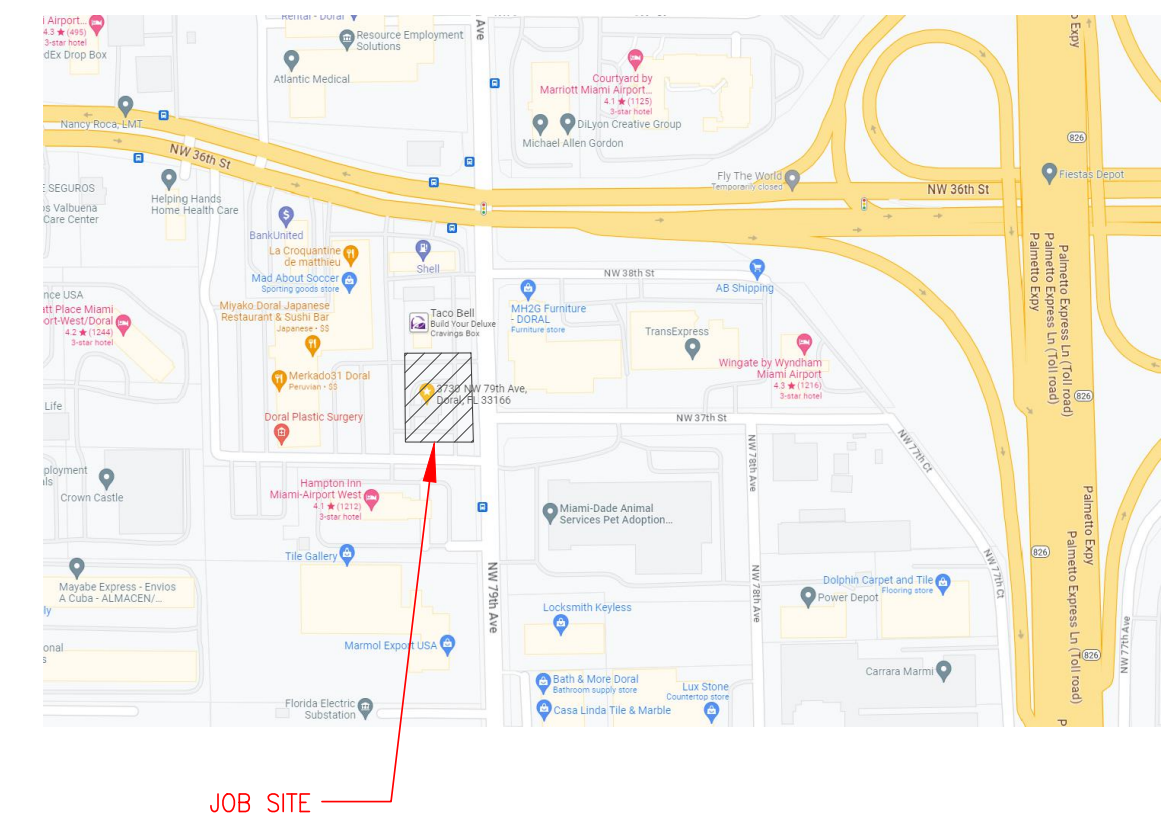
STORMWATER POLLUTION PREVENTION PLAN



- MAINTENANCE NOTES**
- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS; IF DAMAGED, SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 6. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY WISE MANNER BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.

- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

- CONSTRUCTION SEQUENCE**
1. TEMPORARY CONSTRUCTION FENCE
 2. SILT FENCE AND WIND SCREEN
 3. TEMPORARY SEDIMENTATION BASIN AND RELATED SWALES
 4. CLEAR AND GRUB
 5. TEMPORARY STABILIZATION
 6. SITE IMPROVEMENTS AND BUILDING CONSTRUCTION
 7. FINAL STABILIZATION
 8. REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES



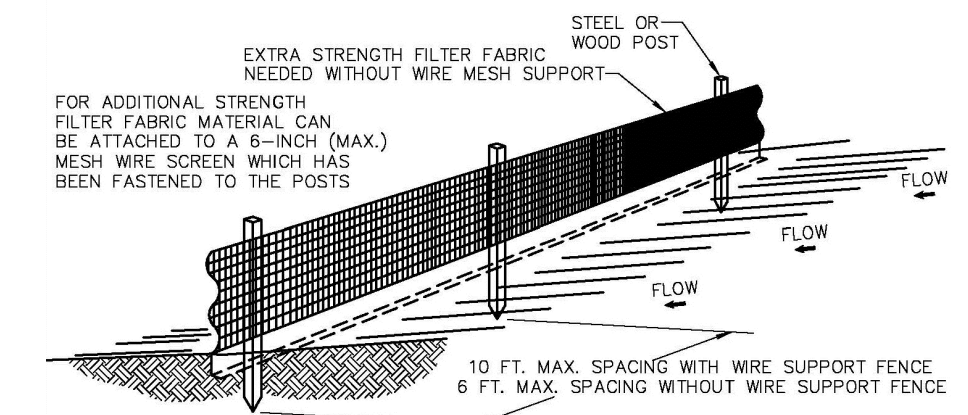
LOCATION MAP
N.T.S.

LEGAL DESCRIPTION:

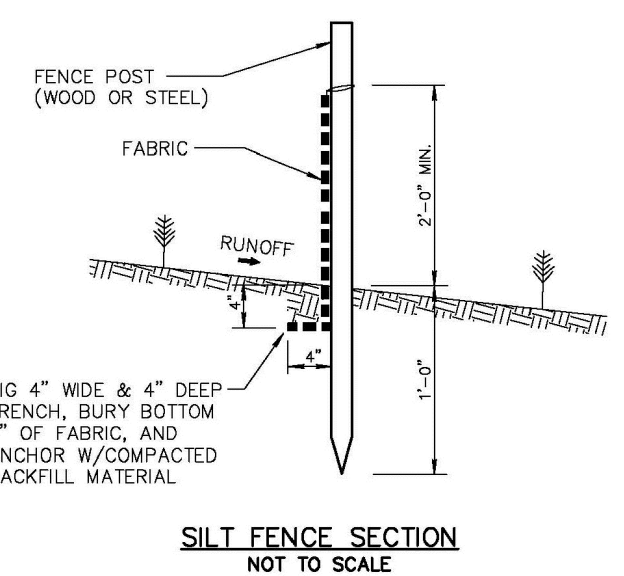
TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 136, PAGE 6, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONCAVE TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46", FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.

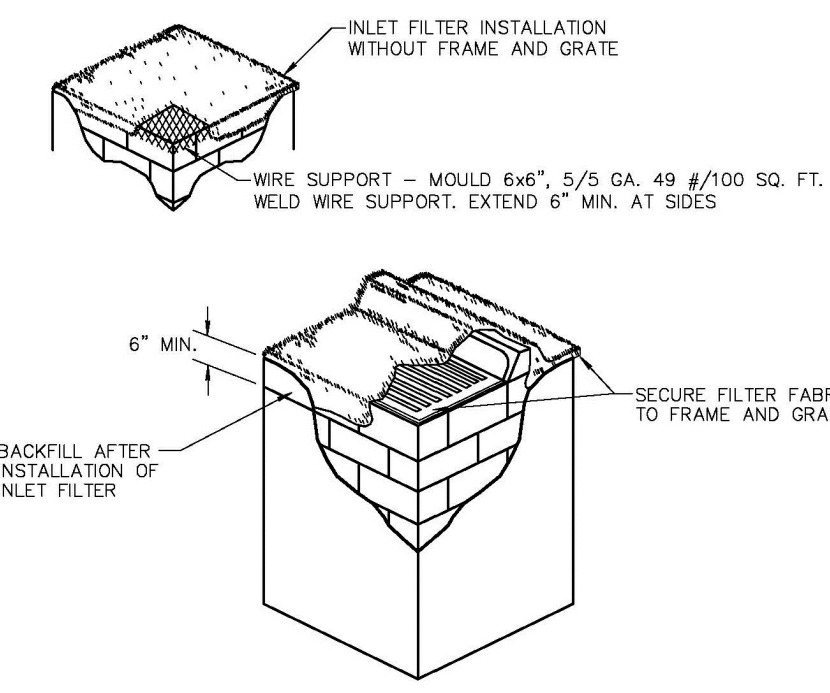
SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.



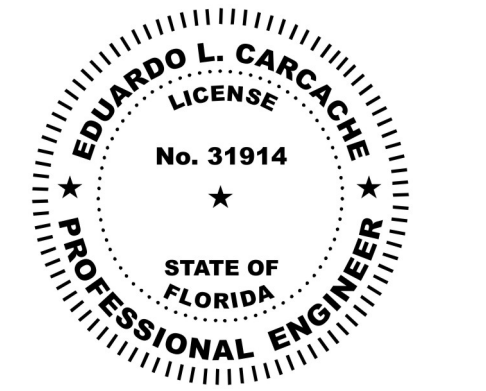
- NOTES:**
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
 2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
 3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
 4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG BINDS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.



SILT FENCE SECTION
NOT TO SCALE



- NOTES:**
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
 2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
- A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.
- STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.



Eduardo L. Carcache, State of Florida, Professional Engineer, License No. 31914.

This item has been digitally signed and sealed by Eduardo L. Carcache on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SILT FENCE INSTALLATION DETAILS

N.T.S.

INLET FILTER DETAIL

N.T.S.

CKE GROUP
INCORPORATED
engineering • architecture • planning
CERTIFICATE OF AUTHORIZATION - #486

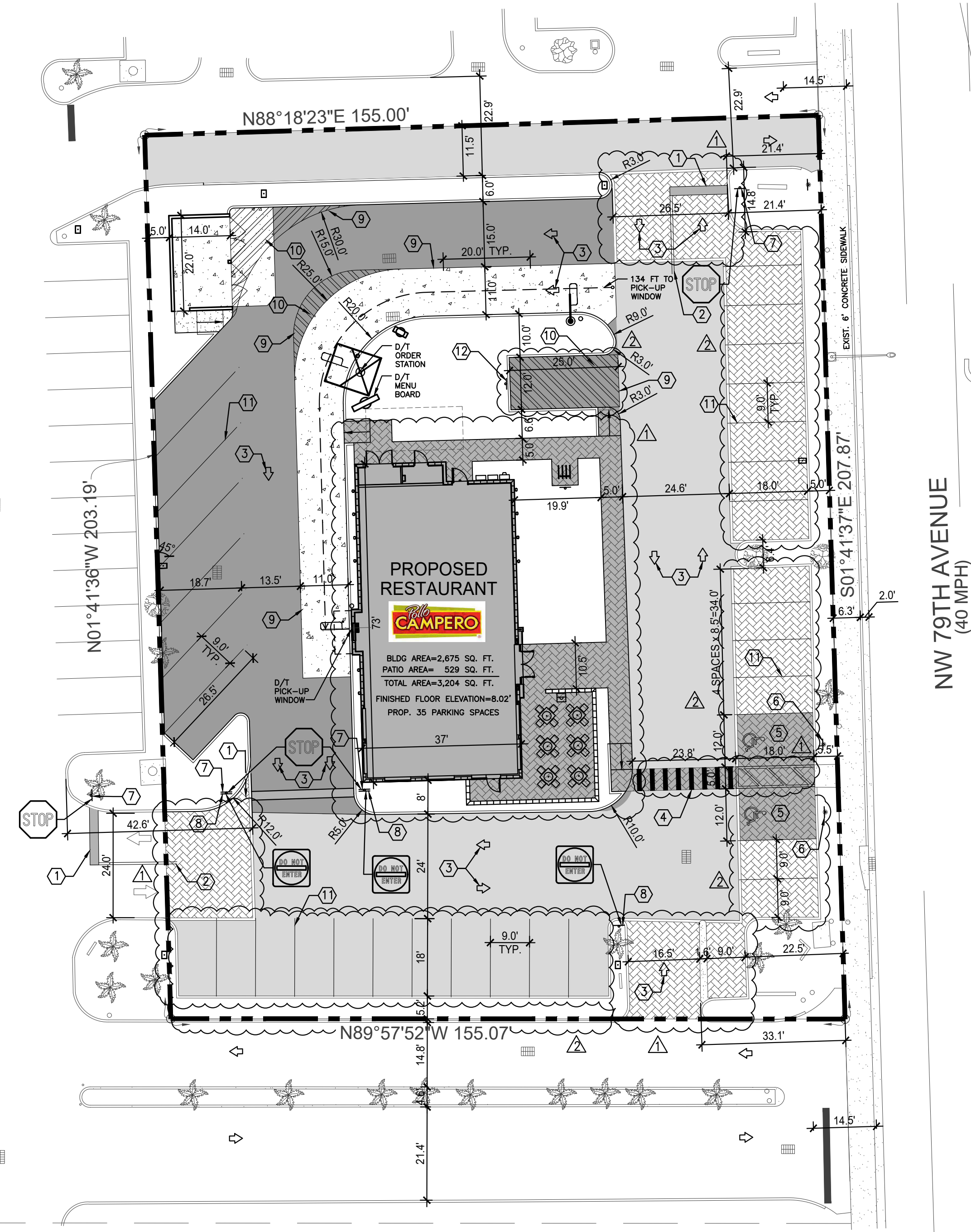
Campero
Roberto CAMPERO
3750 NW 74TH AVE.,
DORAL, FLORIDA 33166

EDUARDO L. CARCHACE
LICENSE
No. 31914
STATE OF FLORIDA
PROFESSIONAL ENGINEER

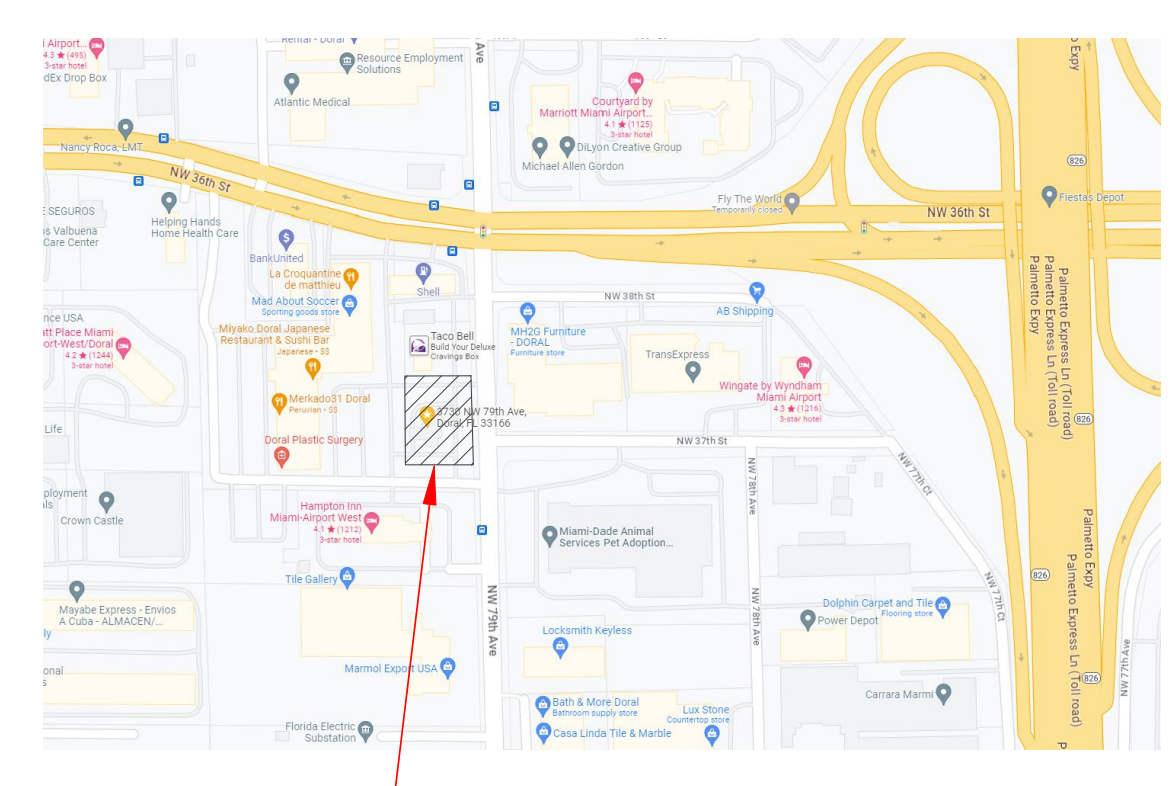
Project no: 18-43
scaler AS SHOWN
date: 05-01-23
drawn by: A.G.

17190 ROYAL PALM BOULEVARD • SUITE 2 • WESTON, FLORIDA 33326 • (305) 558-4124

C-6



- ### CONSTRUCTION NOTES:
- ① 24" STOP BAR WHITE (THERMOPLASTIC)
 - ② 18-LF 6" DOUBLE YELLOW
 - ③ TRAFFIC ARROWS PAINTED WHITE.
 - ④ PEDESTRIAN CROSSING PER F.D.O.T. INDEX No. 17346
 - ⑤ HANDICAP PARKING AS PER DETAIL.
 - ⑥ HANDICAP SIGN 7'-0" A.F.P.
 - ⑦ STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
 - ⑧ STANDARD F.D.O.T. HIGH INTENSITY "DO NOT ENTER" SIGN. R5-1 (30"x30")
 - ⑨ 6" WHITE STRIPE (THERMOPLASTIC)
 - ⑩ 6" WHITE STRIPES 45° @ 4' O.C.
 - ⑪ 4" WHITE STRIPES (TYPICAL AT PARKING SPACES)
 - ⑫ LOADING ZONE SIGN 7'-0" A.F.P.



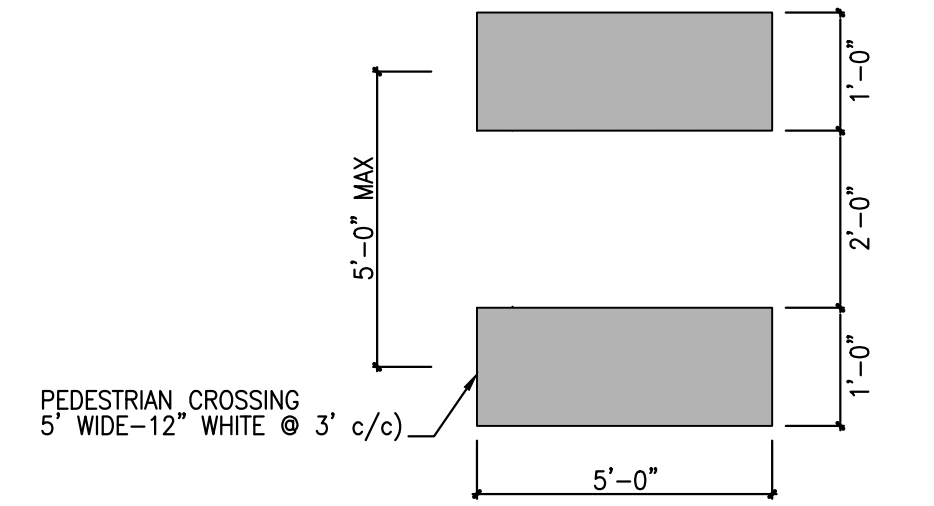
LOCATION MAP
N.T.S.

LEGAL DESCRIPTION:

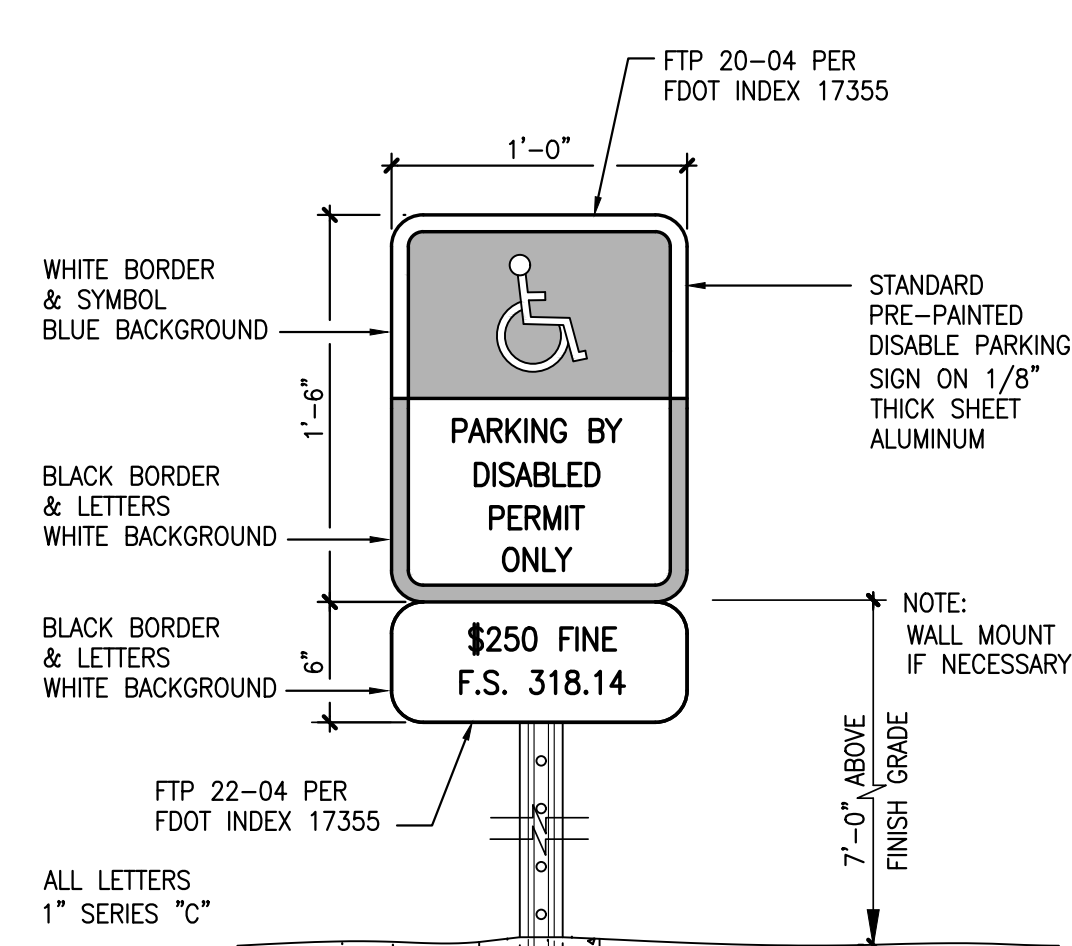
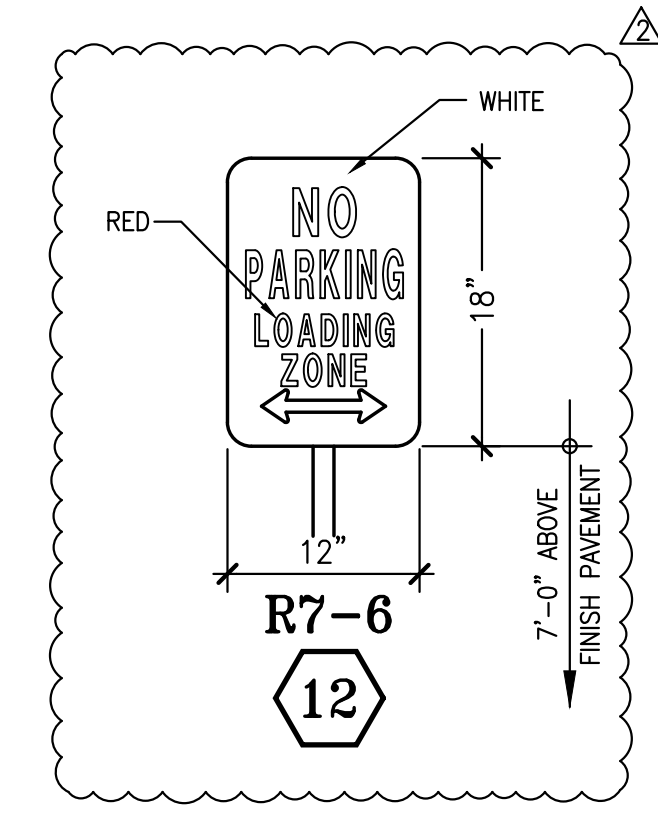
TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 136, PAGE 6, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONCAVE TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46", FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.

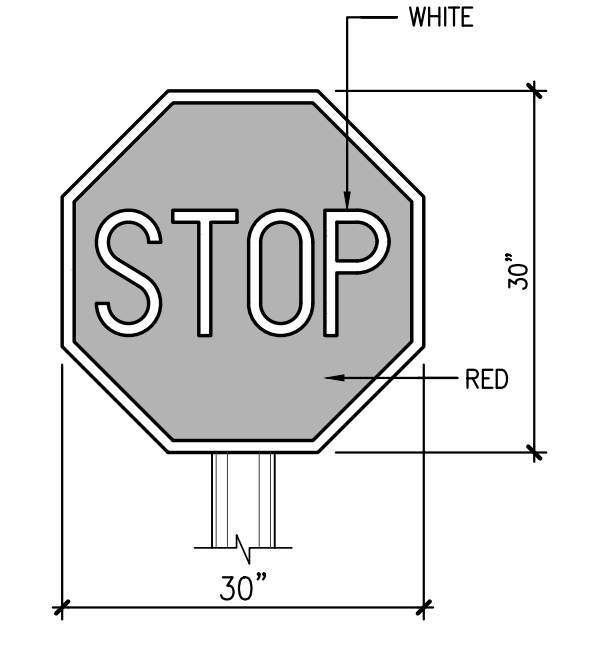
SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.



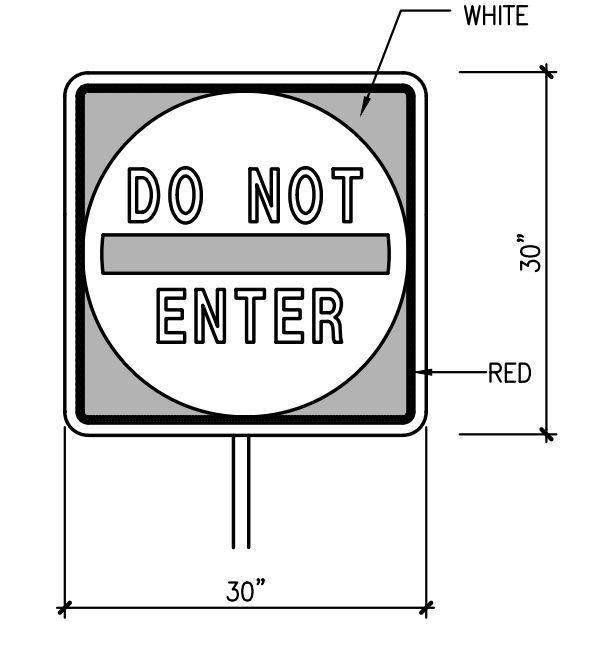
4 PEDESTRIAN CROSSING
(PER FDOT INDEX No.17346) NOT TO SCALE



6 HANDICAP PARKING SIGN
(PER MIAMI-DADE COUNTY PW-R18.3) NOT TO SCALE



7 R1-1



8 R5-1

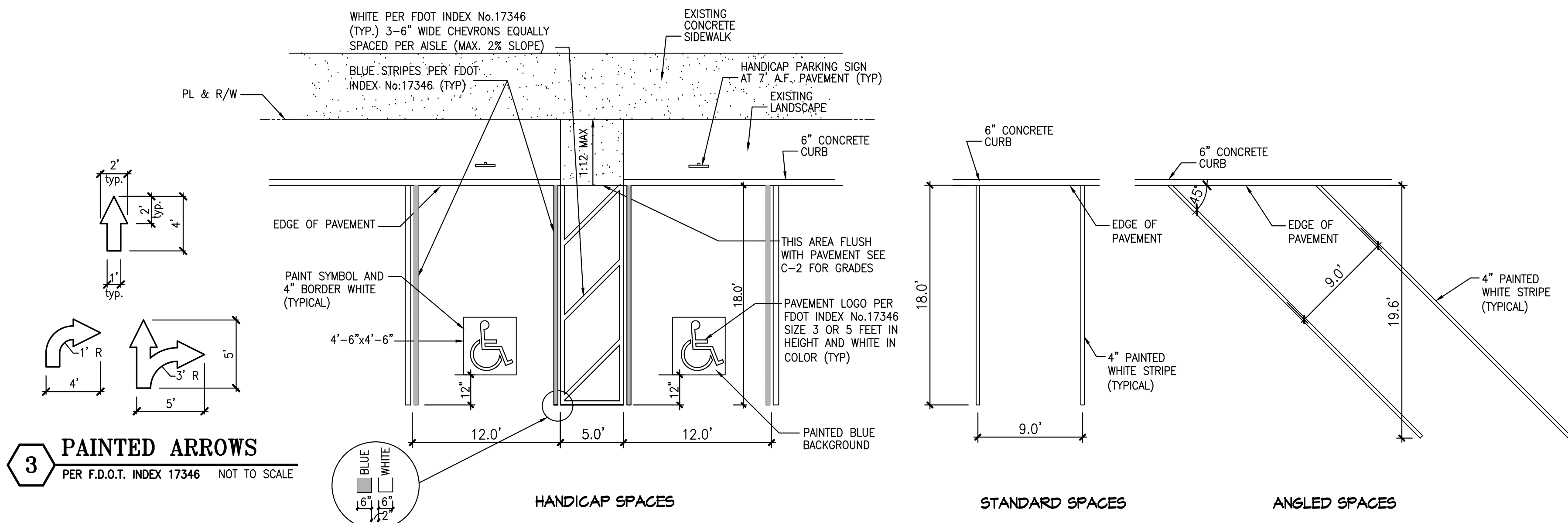
This item has been digitally signed by Eduardo L. Cargache on the date adjacent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

EDUARDO L. CARGACHE
No. 31914
STATE OF FLORIDA
PROFESSIONAL ENGINEER

EDUARDO L. CARGACHE, PE 31914
CKE GROUP, INC. COA-4432

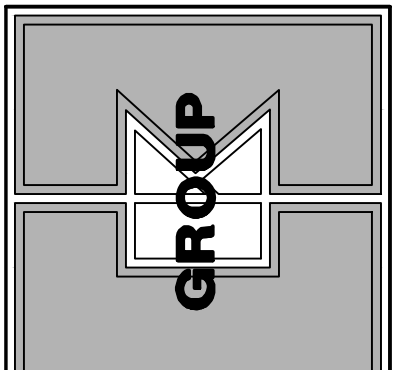


PAVEMENT MARKING & SIGNAGE PLAN
SCALE: 1:20



5 HANDICAP AND STANDARD PARKING DETAILS
NOT TO SCALE

STANDARD F.D.O.T. & MUTCD SIGNAGE DETAILS
SCALE: N.T.S.



CKE GROUP
INCORPORATED
engineering • architecture • planning
CERTIFICATE OF AUTHORIZATION - #486



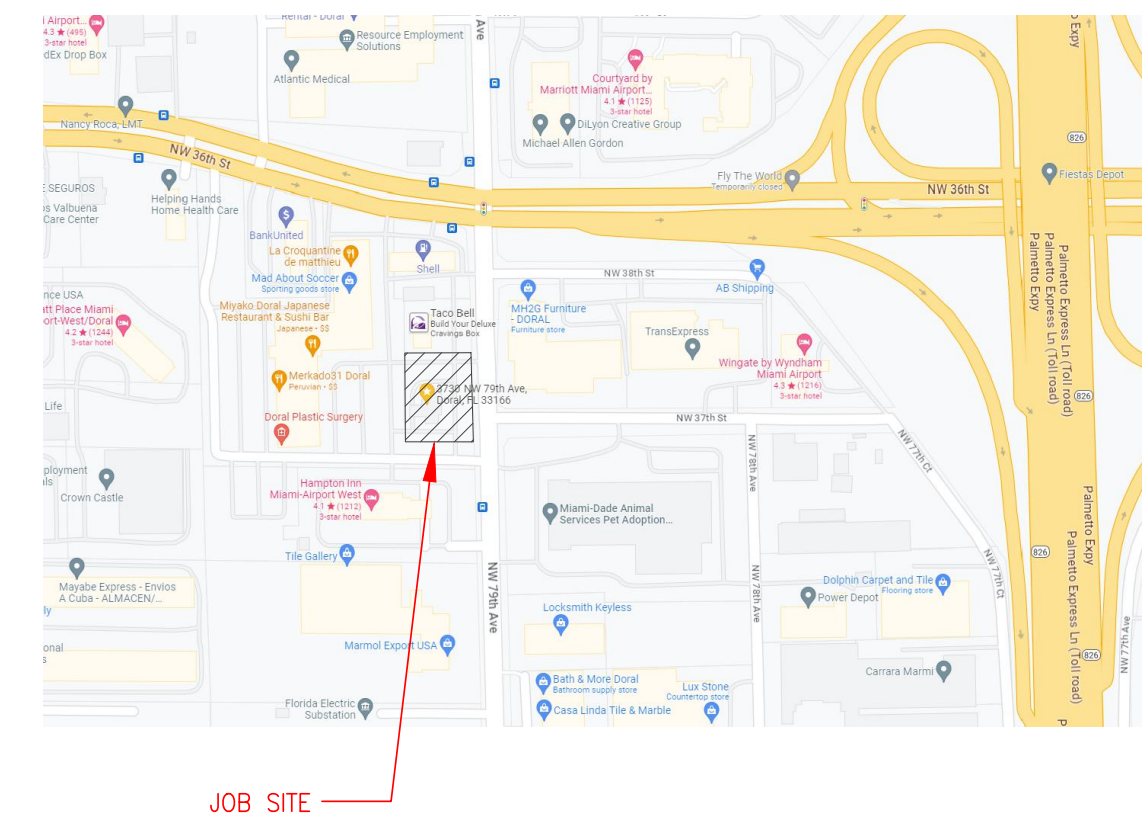
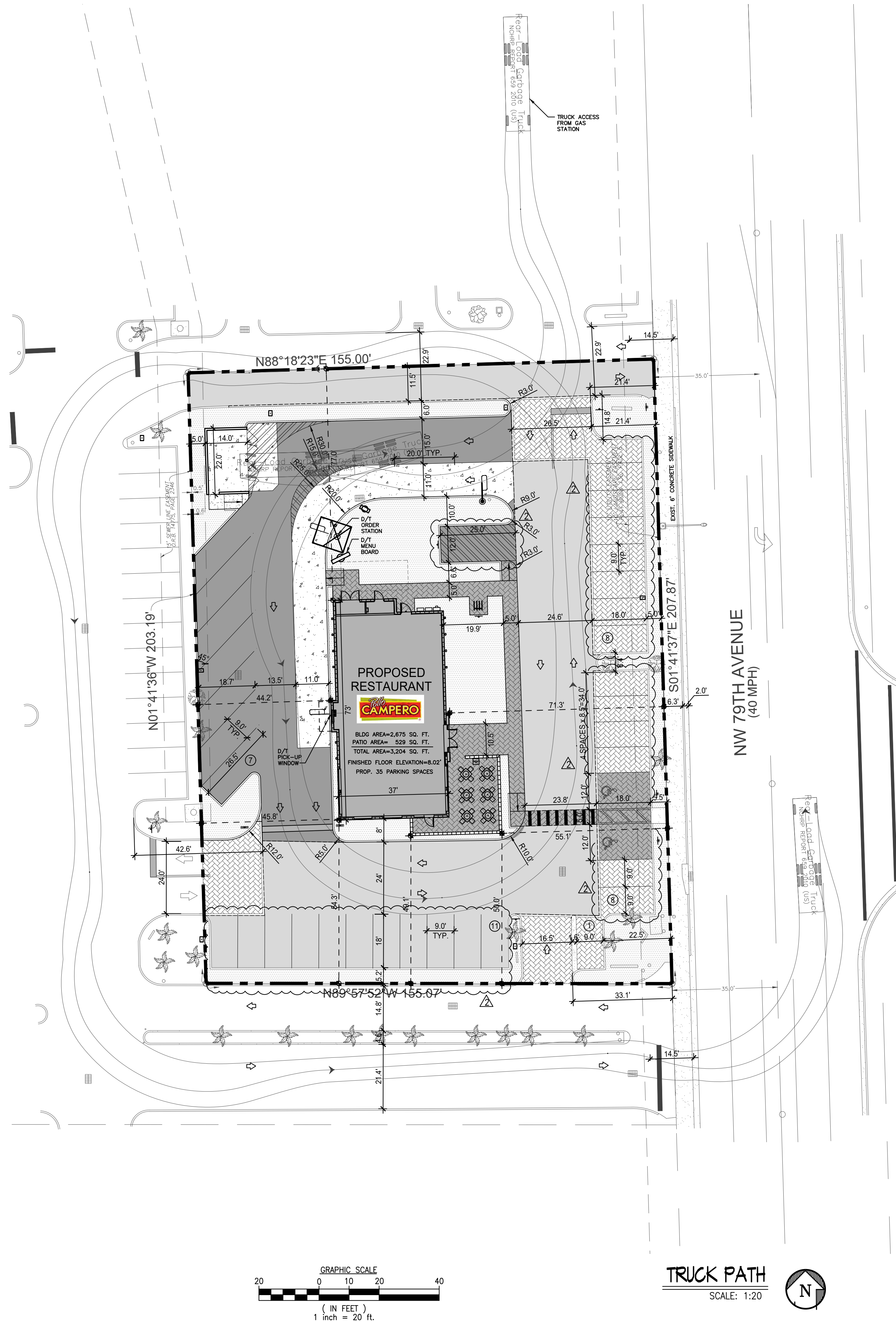
3730 NW 79TH AVE.,
DORAL, FLORIDA 33166

seal
EDUARDO CARGACHE, PE 31914

project no: 18-43
scaler AS SHOWN
date: 05-01-23
drawn by: A.G.

17190 ROYAL PALM BOULEVARD • SUITE 2
WESTON, FLORIDA 33326
[305] 558-4124

C-7



LOCATION MAP
 N.T.S.

LEGAL DESCRIPTION:

TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 136, PAGE 6, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONCAVE TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46", FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.

This Item has been digitally signed by Eduardo L. Cargache on the date adjacent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

EDUARDO L. CARGACHE
 LICENSE No. 31914
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

EDUARDO L. CARGACHE, PE 31914
CKE GROUP, INC. COA-4432

SITE PLAN LEGEND	
	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	NEW CONCRETE SIDEWALK
	EXISTING ASPHALT PAVEMENT TO BE SEALCOATED & RE-STRIPED
	4.5"x9" CONCRETE PAVERS OVER CONCRETE. HANOVER ARCHITECTURAL PRODUCTS.
	4.5"x9" CONCRETE PAVERS. HANOVER ARCHITECTURAL PRODUCTS.
	NEW CONCRETE PAVEMENT
	NEW ASPHALT PAVEMENT
	NEW BUILDING
	LANDSCAPE

CKE GROUP
INCORPORATED
 engineering • architecture • planning
CERTIFICATE OF AUTHORIZATION - #4581

Polo CAMPERO
 3730 NW 79TH AVE.,
 DORAL, FLORIDA 33166

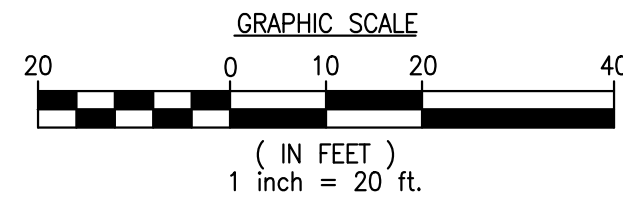
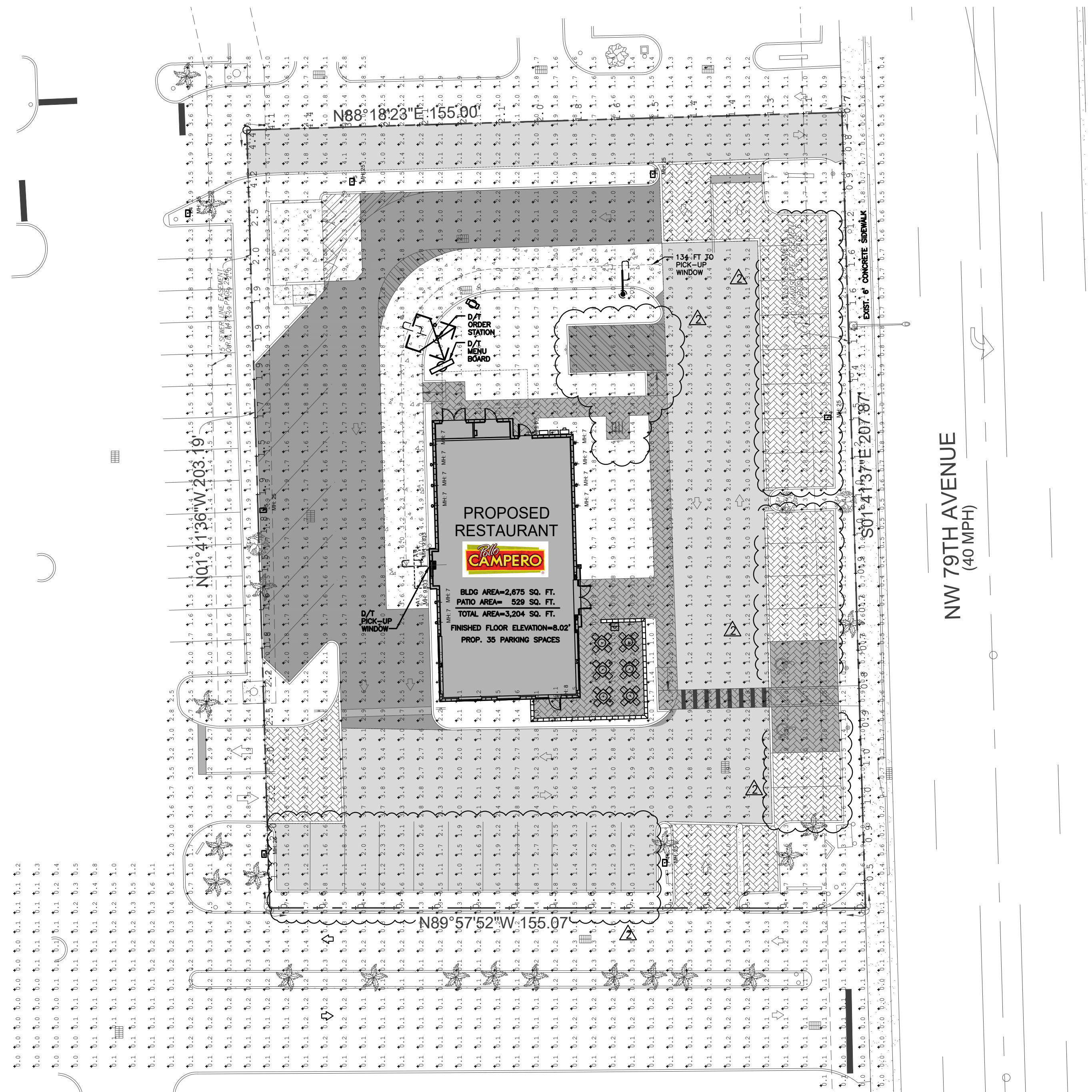
EDUARDO L. CARGACHE, PE 31914
seal

revisions
 10/12/2022 CITY COMMENTS
 08/24/2022 CITY COMMENTS

project no. 1843
scaler AS SHOWN
date 05-01-23
drawn by: A.G.

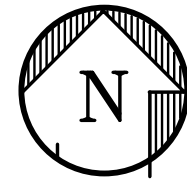
17190 ROYAL PALM BOULEVARD • SUITE 2 • WESTON, FLORIDA 33326 • (305) 558-4124

C-8



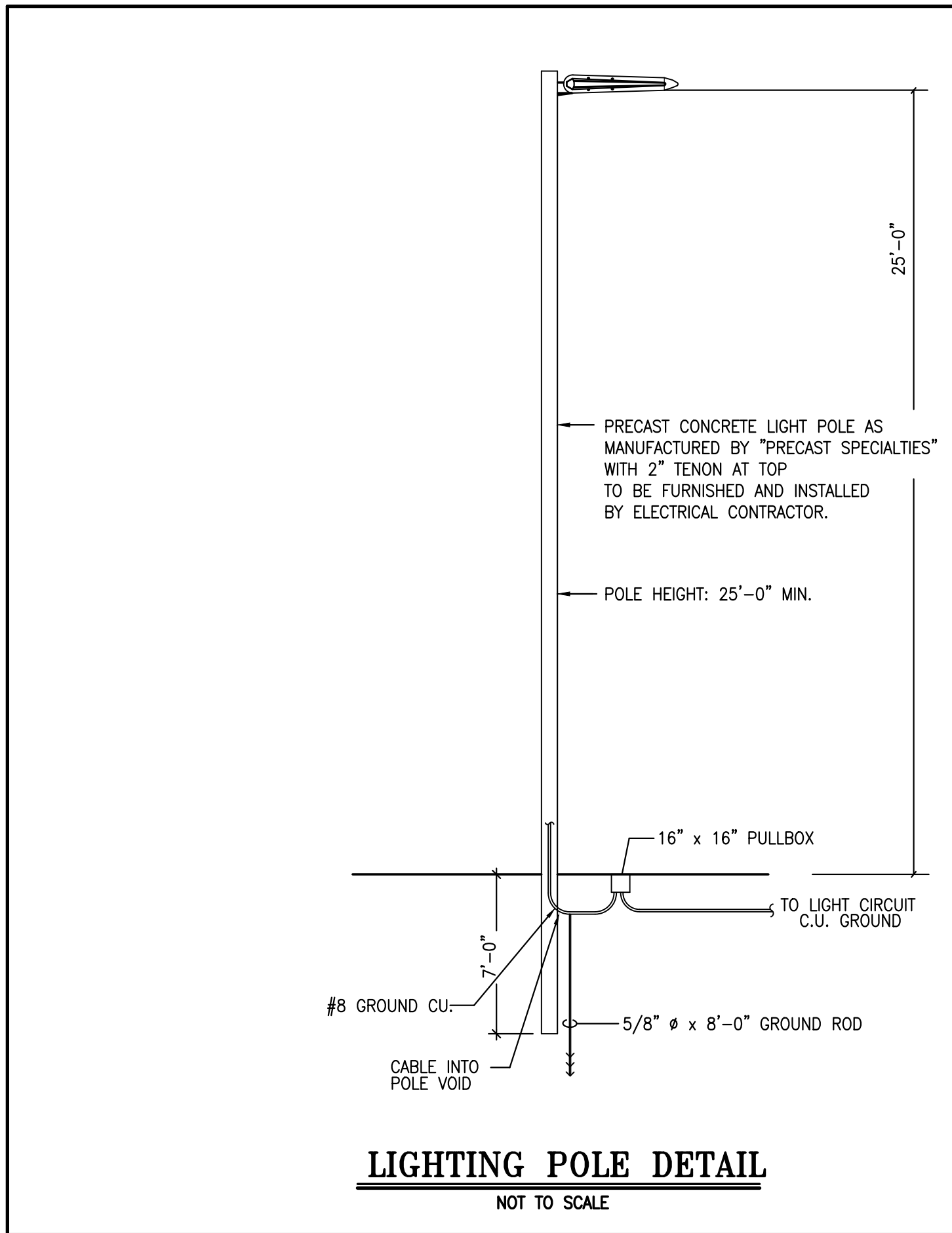
SITE LIGHTING PLAN

1"=20'-0"



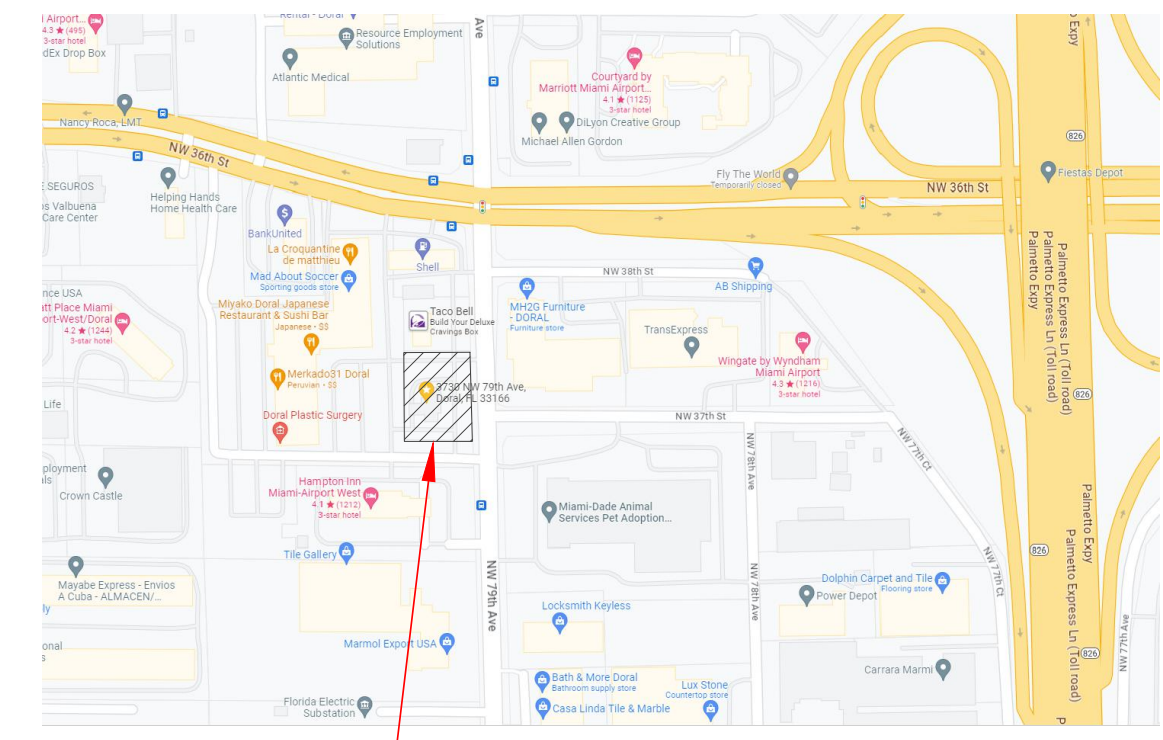
Symbol	Label	Arrangement	Description	LLF	Luminaire Lumens	Total Watts
⊕	A1	Single	EL475CT5DHWEL490ICDXA	0.950	1455	35.6
⊖	F	Single	7000WAST14ZLED930	0.950	1004	137
⊖	H	Single	WPADS15UCSPCEMO	0.950	2058	30.02
⊖	P5	Single	RAR1-160L-115-4K7-5QW-U	0.950	15632	329.1
⊖	P4	Single	RAR1-160L-135-4K7-4W-U	0.950	17568	534

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property line	Illuminance	Fc	1.49	4.4	0.2	7.45	22.00
East Parking + Drive	Illuminance	Fc	2.47	4.4	0.7	3.53	6.29
North Drive	Illuminance	Fc	2.28	4.7	0.7	3.26	6.71
North Drive Thru	Illuminance	Fc	2.05	2.8	1.8	1.14	1.56
Sidewalk	Illuminance	Fc	1.71	2.5	1.1	1.55	2.27
South Parking + Drive	Illuminance	Fc	2.63	4.5	1.0	2.63	4.50
West Parking + Drive	Illuminance	Fc	2.09	16.8	1.4	1.49	12.00



LIGHTING POLE DETAIL
NOT TO SCALE

NOTES
 *POLES / LUMINAIRES SHALL BE RATED FOR 175 MPH.
 *FIXTURE SUPPORT SHALL BE PER NEC 410-15.



LOCATION MAP
N.T.S.

LEGAL DESCRIPTION:

TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 136, PAGE 6, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONCAVE TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46", FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.

Fixture Type	Reference Image	Description	Dimming Interface	Product Registration ID	Lamps, CCT, Lumen, Optics, CRI	Input Voltage	Fixture Wattage	Mounting, Finishes, Remarks & Other Notes
A1		4 INCH RECESSED DOWNLIGHT WET	0-10V	EL475CT5DHWEL490ICDXA	LED MODULE, 1500lm, 3000K, 90 CRI	UNV	18	RECESSED.
F		14 INCH CYLINDER WALL MOUNT	0-10V	7000WAST14ZLED930	LED MODULE, 1028lm, 3000K, 90 CRI	UNV	14	EXTERIOR WALL MOUNTED, MOUNTING HEIGHT TO BE VERIFIED BY ARCHITECT
H		SLIM WALL PACK	0-10V	WPADS15UCSPCEMO	LED MODULE, 2000lm, 3000K, 80 CRI	UNV	15	EXTERIOR WALL MOUNTED, MOUNTING HEIGHT TO BE VERIFIED BY ARCHITECT
P4		LED AREA LIGHT TYPE 4 WIDE DISTRIBUTION	0-10V	CU-RAR1-160L-135-4K7-LED MODULE, 17568lm, T4W-UNV 4000K	UNV	135	135	MOUNTED @ 25'-0" AFG.
P5		LED AREA LIGHT TYPE 5QW DISTRIBUTION	0-10V	CU-RAR1-160L-115-4K7-LED MODULE, 15632lm, SQW-UNV 4000K	UNV	115	115	MOUNTED @ 25'-0" AFG.
CTRL		Controls Package - TBD						

This Item has been digitally signed by Eduardo L. Carcache on the date adjacent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

EDUARDO L. CARCACHE
 LICENSE
 No. 31914
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

EDUARDO L. CARCACHE, PE 31914
 CKE GROUP, INC. COA-4432

CKE GROUP
CKE GROUP INCORPORATED
 engineering • architecture • planning
 (CERTIFICATE OF AUTHORIZATION - #488)

Pollo CAMPERO
 3730 NW 79TH AVE.
 DORAL, FLORIDA 33166

WESTON, FLORIDA 33326

SUITE 2

17190 ROYAL PALM BOULEVARD

project no: 1643
scale: AS SHOWN
date: 05-01-23
drawn by: A.G.

revisions

seal
 EDUARDO CARCACHE, PE 31914

CE-1

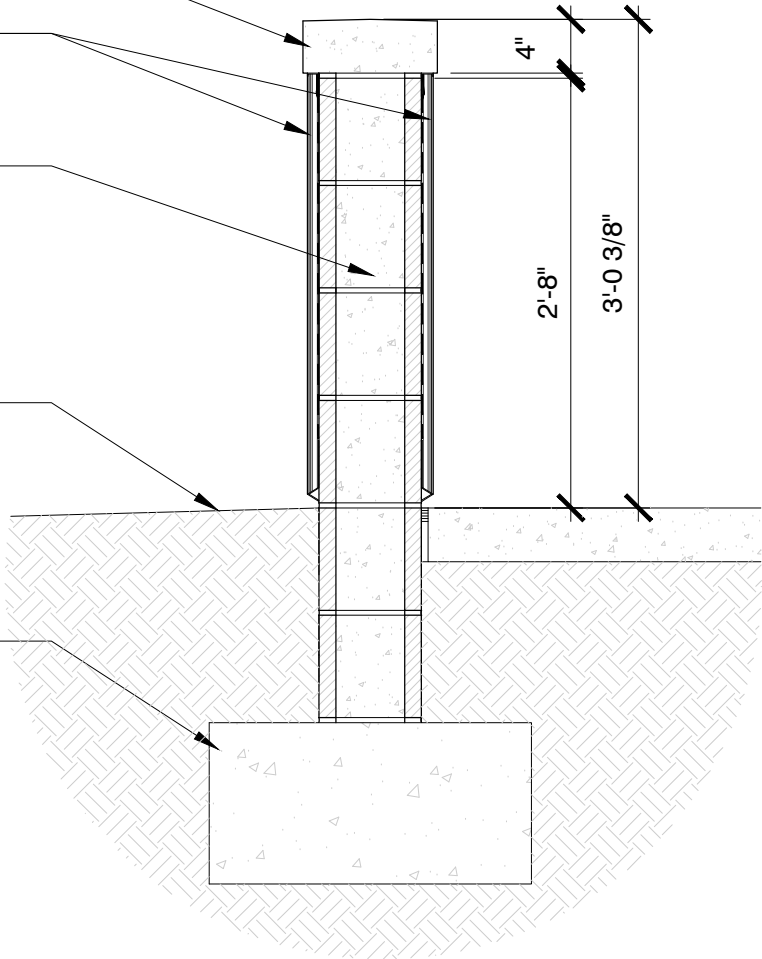
CAST STONE CAP

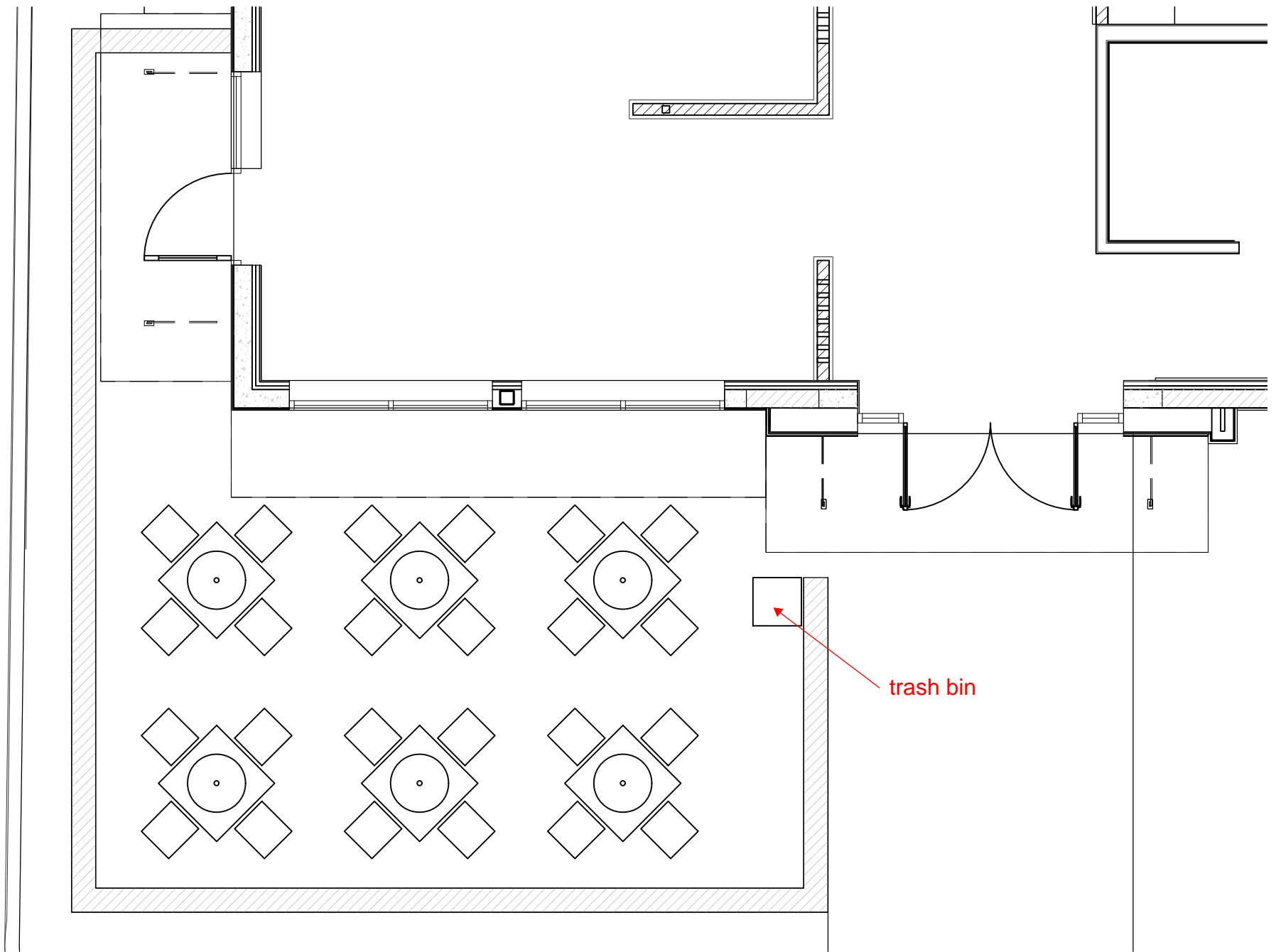
STUCCO FINISH, TO
MATCH EP-4, MALABAR

8"x8"x16" CMU WALL

LINE OF GRADE

FOUNDATION, REF.
STRUCT.





PIPE SLEEVING SCHEDULE

PIPE SIZE	SLEEVE SIZE
1"	2"
1 1/4"	2"
1 1/2"	3"
2"	4"
2 1/2"+	6"

LEGEND

	VALVE
	SPRAY, 360°
	SPRAY, 180°
	SPRAY, 90°
	SIDE STRIP
	END STRIP
	10' NOZZLE
	8' NOZZLE
	6' NOZZLE
	4' NOZZLE
	5' NOZZLE

NOTE: IRR. CONTRACTOR SHALL TIE NEW IRRIGATION EQUIPMENT IN WITH EXISTING SYSTEM WHERE MOST LOGICAL. CONTRACTOR SHALL FIELD VERIFY EXISTING ZONE GPM AND WATER PRESSURE. CONTRACTOR SHALL DETERMINE PIPE SIZE FOR NEW PIPING ONCE ZONES ARE CALCULATED. NO PIPE SIZE SHALL BE UNDER 3/4" IN DIA.

CONTRACTOR SHALL ADD, REMOVE OR REPLACE EQUIPMENT WHERE NEEDED TO ENSURE 100% COVERAGE WITH 100% OVERLAP OF ALL GREEN AREAS. REFER TO SHEET IR-1 AND IR-2 FOR EQUIPMENT DETAILS AND SPECIFICATIONS

CONTRACTOR SHALL UTILIZE EXISTING WATER METER AND BACK FLOW DEVICE. CONTRACTOR SHALL UPSIZE AS NEEDED

NOTE: ALL IRRIGATION EQUIPMENT SHOWN OUTSIDE OF PROPERTY LINES IS FOR GRAPHIC CLARITY ONLY. ALL EQUIPMENT SHALL BE INSTALLED WITHIN THE PROPERTY LINES AND WITHIN LANDSCAPED AREAS WHEREVER POSSIBLE THE IRRIGATION DESIGN IS DRAWN FROM THE INFORMATION SUPPLIED FROM THE SITE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ALL LANDSCAPED AREAS WILL RECEIVE 100% IRRIGATION COVERAGE WITH 50% OVERLAP.

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND CONDITION OF ALL EXISTING IRRIGATION HEADS AND EQUIPMENT. ALL PROPOSED IRRIGATION EQUIPMENT SHALL BE INSTALLED WHERE EXISTING EQUIPMENT DOES NOT MEET CURRENT CODE REQUIREMENTS OR IS IN POOR CONDITION. ALL PROPOSED EQUIPMENT SHALL BE INSTALLED PER THE SPECIFICATIONS NOTED ON THE PLAN.

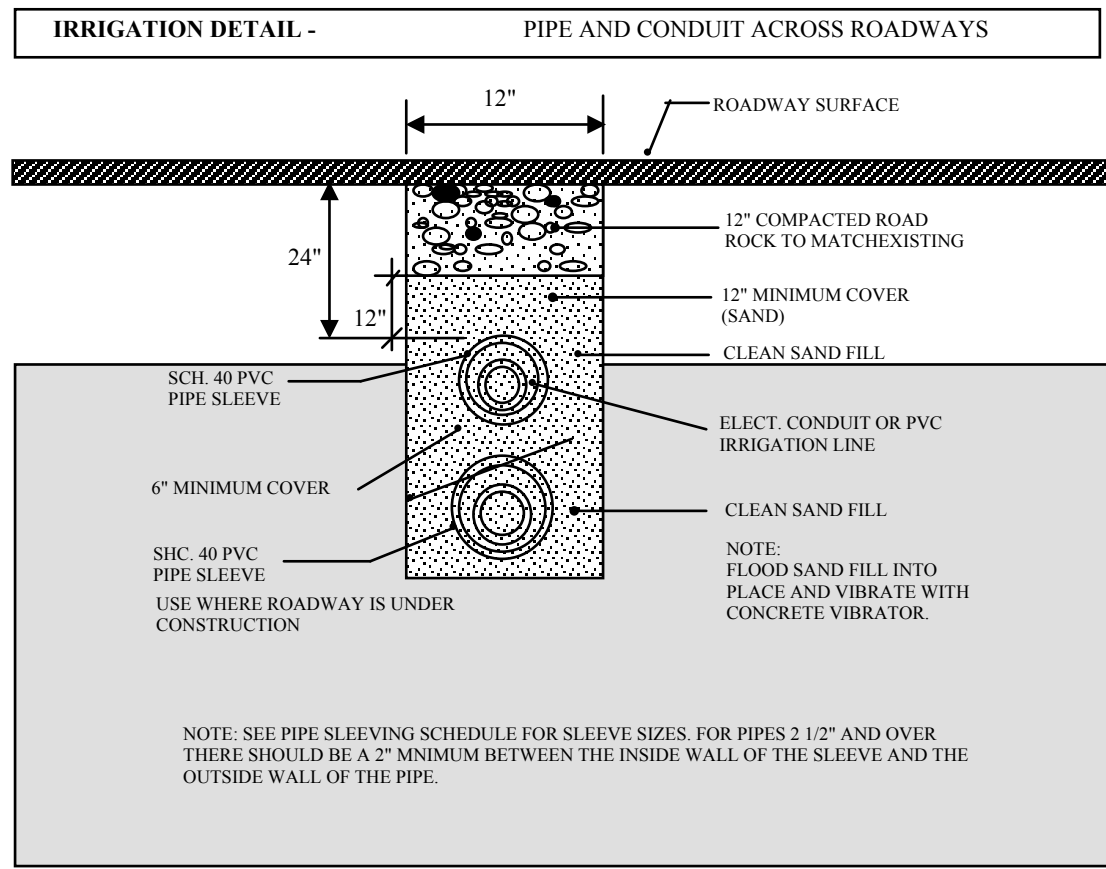
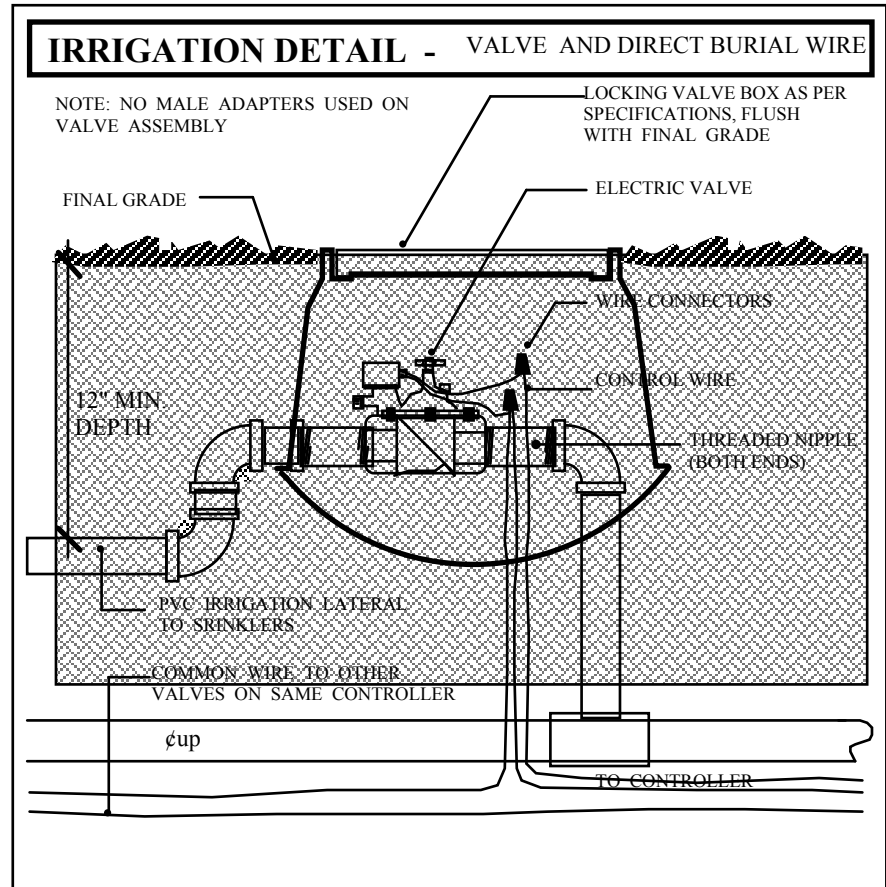
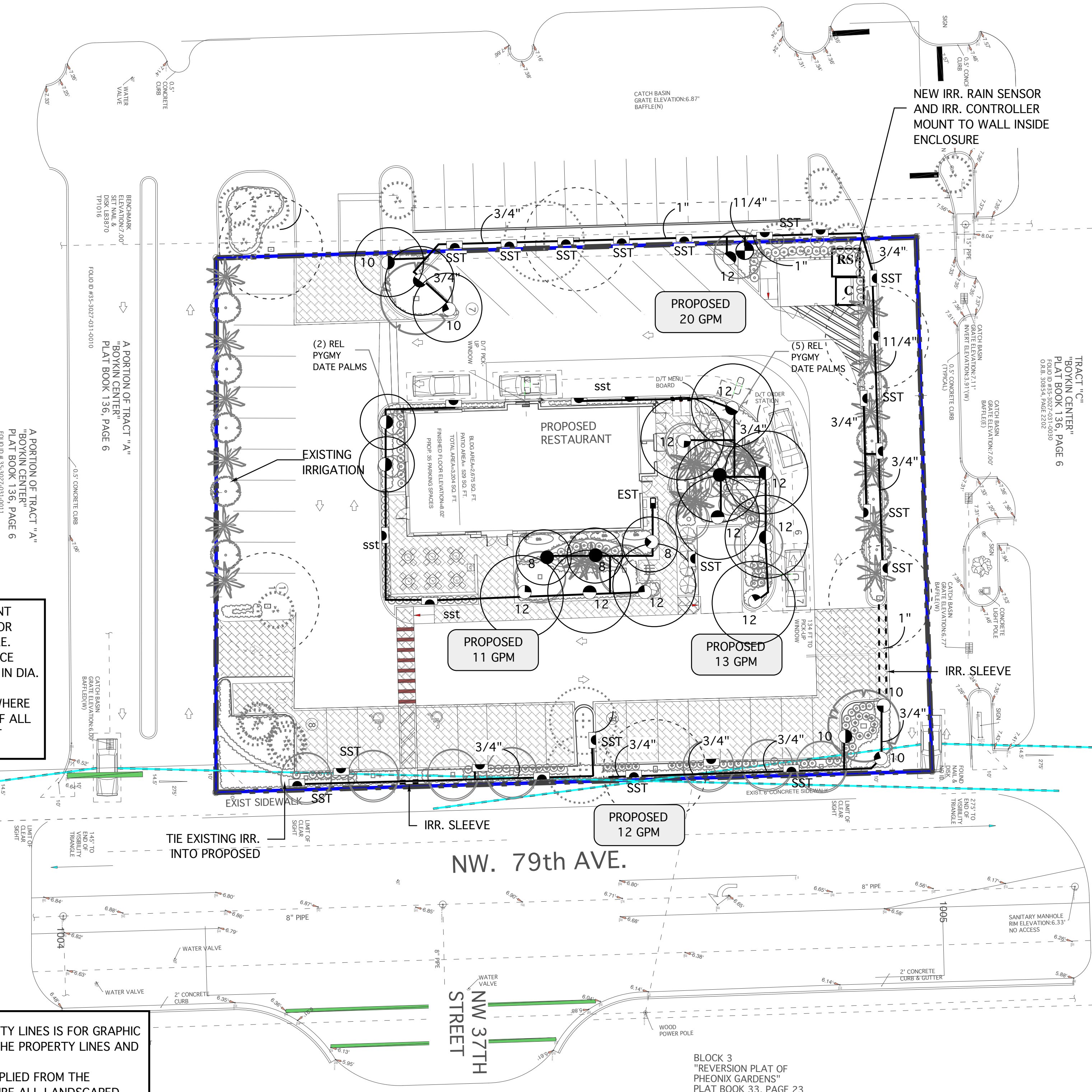
CONTRACTOR SHALL VERIFY ZONES DO NOT EXCEED MAXIMUM GPM OR PRESSURES OF PROPOSED EQUIPMENT.

THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE DONE TO THE LANDSCAPING AS A RESULT OF IRRIGATION INSTALLATION TO EQUAL OR BETTER CONDITION.

CONTRACTOR SHALL VERIFY LOCATION OF EXISTING IRRIGATION METER AND BACK FLOW DEVICE UPGRADE TO NEW SYSTEMS REQUIREMENTS IF NECESSARY.

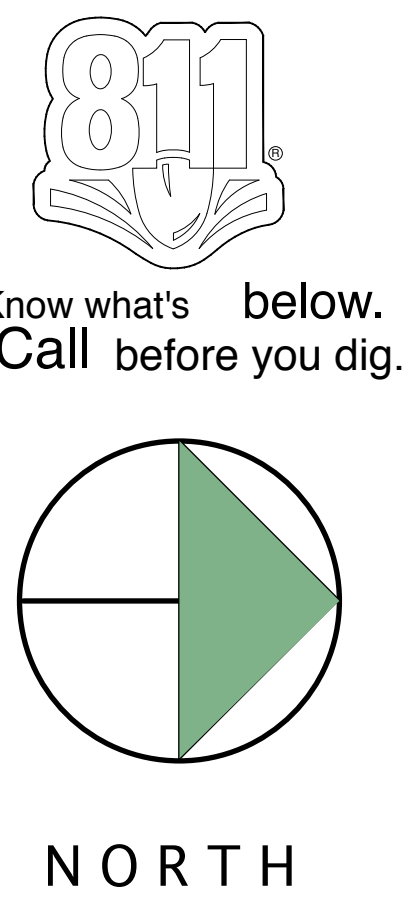
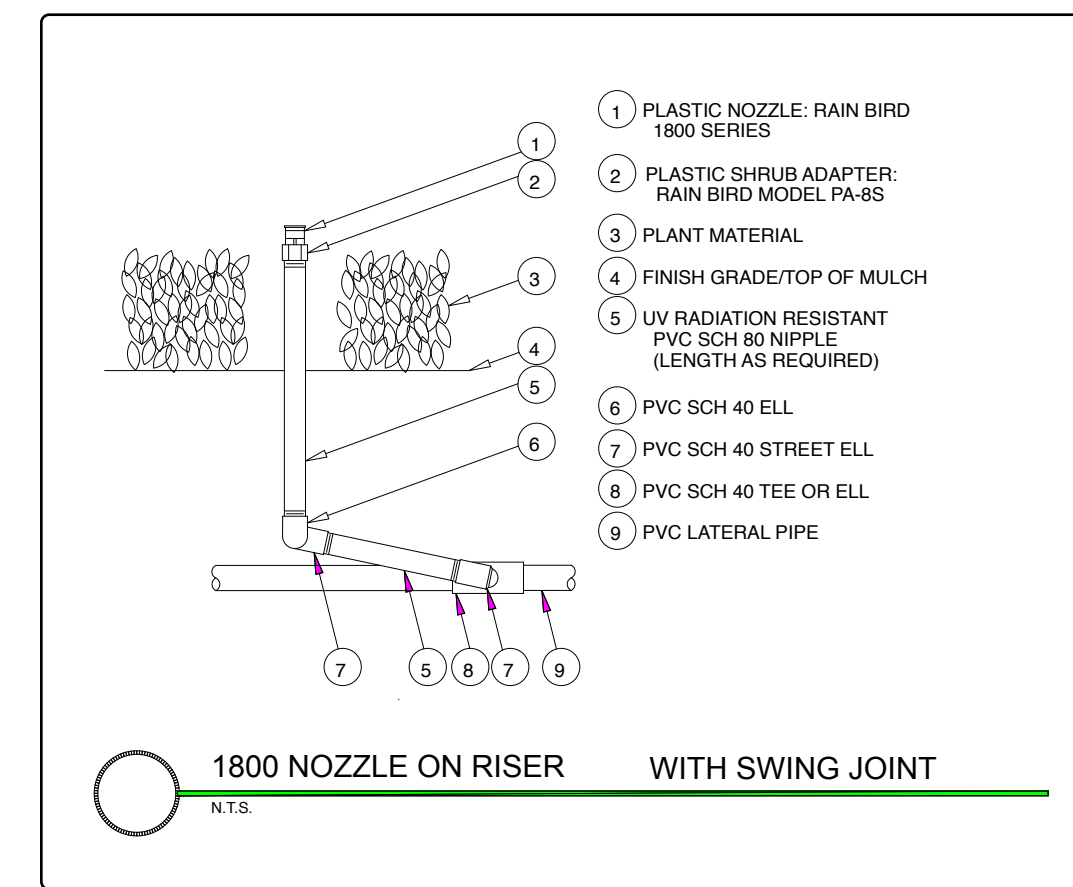
ALL EQUIPMENT SHALL BE INSTALLED PER THE REVISED LATEST SFBC APPENDIX F.

THERE SHALL BE NO MACHINE TRENCHING WITHIN THE DRIPLINE OF EXISTING TREES. ALL TRENCHES SHALL BE HAND DUG WITHIN THESE AREAS. CONTRACTOR SHALL REFER TO LANDSCAPE PLAN FOR PROPOSED AND EXISTING MATERIALS.



KEY	NO.	CODE	ITEM DESCRIPTION	INSTALLATION SPEC.
		SLV LINE NOTE	SLEEVES IN THIS CONTRACT - Sleeves under roadways and driveways shall be minimum of 24" below the top of paving to the top of the sleeve and under walks at 12" below grade. Irrigation contractor shall supply and place sleeves, and be responsible for their locations. Sleeving shall be installed at the most logical locations to avoid underground utilities and structures. Sleeving locations shall be considered schematic on irrigation plans. The GC shall backfill and pave as required. No rock shall be in contact with PVC sleeves. All Asphalt base compaction and paving shall be made by the Paving Contractor on the job.	
C	00C17	CON	IRRIGATION CONTROLLER RAIN BIRD ESP # Zone Electromechanical controller. Add zone modules as needed. Controller will be installed as part of the pump station within pump enclosure. Contractor shall provide electrical service to pump station. Electrical hook-up provided by GC's electrician on site. Irrigation Contractor to coordinate with GC/ Electrician.	Contractor shall mark stations on the controller panel to correspond with the zone numbers on this plan and set operating sequence to correspond with the numbering.
		CONTR NOTE	IRRIGATION CONTRACTOR UTILITIES ABOVE AND BELOW GROUND.	Contractors shall be responsible for the location and verification of all overhead and underground utilities. Contractor shall coordinate with all of the appropriate agencies to verify utilities in the field. Contractor shall be responsible for the protection and maintenance and any damage to existing utilities and structures that may occur in the implementation of the scope of work within this project. CONTRACTORS MUST USE THE NEW STANDARD SCHEDULE OF COLORS DESIGNATED FOR MARKINGS ON THE GROUND latest edition
X	00V11	VALVE BOX	VALVE COVER BOX - AMETEK Heavy Duty Box with Locking Covers. JVB-10 Box 10" Dia.	All valve assemblies to be installed below grade shall include AMETEK valve boxes with a 2" layer of drainage gravel as clean dry ballast for a bottom. Install top of box flush with surrounding grade, grass or mulch depending on location. Group valve assemblies so they are accessible with the correct size box. Any substitutions must be approved by landscape architect by providing sample or product information for review and written approval.
	70A	Head	RAINBIRD 1800 SERIES, XP and VAN SERIES 1806-PRS 6" POP-UP 1/4 HDS FULL Low Gallon Nozzles 2.5' 4.5', 6', 8', 10', 12', 15' Radius RAINBIRD SPECIAL PATTERN SERIES	All heads in tall shrub beds shall be mounted on sch. 160 12" risers painted krylon jungle green. Contractor shall adjust head spray to eliminate over spray of water onto structure walls, driveways, and walkways.
		HEAD NOTE	GENERAL HEAD NOTE ALL HEAD LOCATIONS SHOWN ON PLANS ARE SCHEMATIC	Contractor to maintain 100% coverage with minimum 50% overlap when minor head location changes are necessary due to field conditions. Install adjustable angle nozzles where needed. All heads in open grass areas to be mounted on poly pipe swing joints. Heads in shrub areas shall be installed on SCH 160 risers raised to 6" above plant height, and with PVC SCH 160 swing joint assemblies below grade. Riser taller than 24" above grade shall be staked for support. All risers shall be fitted with shrub adapters and appropriate nozzles. All risers shall be painted with Krylon Jungle Green or equal.
X	RS	RAIN sensor	"MINI CLIK" RAIN SENSOR MODEL 502 TO BE INSTALLED BY IRRIGATION CONTRACTOR IN AN EASILY ACCESSIBLE POSITION	"MINI CLIK" Mount the Mini Clk PER MANUFACTURER'S SPECIFICATIONS Each system shall have it's own individual rain sensor Contractor is responsible for a fully operational system from timeclock to location of the sensor.
		PIPE GEN NOTE	LATERAL PIPE All New Pipe and Fittings. Size as noted in plans.	3/4" Pipe to be Class 200. All other lateral pipe to be Class 160, except where ground is rocky; in rocky ground SCH 40 pipe will be used. Class 200/160 will be protected on all sides with at least 6" of clean, debris-free builders sand. All laterals to be placed 12" minimum below grade. All lateral pipe under pavement to be sleeved. No lateral installed shall be less than 3/4".
		PIPE GEN NOTE	MAIN & LATERALS MAINLINE SHALL NOT BE UNDER PRESSURE WHILE THE SYSTEM IS NOT IN OPERATION.	Unless specifically detailed All PIPING locations shown on plans are schematic. Contractor to adjust trenching in field for existing conditions, plantings and structures. Install pipes clear of hedge rows and tree rootballs. Irrigation contractor is responsible to adjust lines at his own expense if not coordinated with all other work. All piping shall be bed in clean fill per Florida Building Code 2001 and back fill all trenches free of debris. Mechanical trenchers are acceptable except in drainage swales and utility areas which shall be hand dug and backfilled to original grade. CONTRACTOR ADJUSTMENTS DOES NOT WARRANT ADDITIONAL COSTS BASED ON BASE BID.
		PIPE GEN NOTE	MAIN & LATERALS BACKFILLING	Ground Level Areas: The sub-contractor shall do all necessary excavating and backfilling required for the proper installation of the work. Minimum depth of cover over piping shall be 12 inches. Backfill material shall be clean fill. If existing material has an excess of rock, then clean sand must be used. In rocky areas use SCH 40 PVC or the trenching depth shall be two inches below normal trench depth to allow for a 2 inch bed of sand below the pipe. There shall be NO rock in contact with PVC pipe. The sub-contractor shall use backfilling equipment that will tamp backfill to its original density. He shall backfill or light the excavation to prevent heaving of the pipe. Objectionable materials such as old concrete, asphalt, limestone and bricks that are encountered during trenching operations, shall be removed from the project by the contractor. Sub-contractor shall be responsible to locate any above or underground utilities prior to starting work. If utilities are found to be in conflict with the proposed work, the Owner or owner's agent shall be notified immediately.

CONTRACTOR SHALL REPLACE ANY EXISTING EQUIPMENT IN POOR CONDITION AS SPECIFIED ABOVE



LA-666695 USA 0827A
 1016 W 45th Street
 Oakland Park, FL 33334
 Tel: 904-768-1071
 904-768-1077
 e-mail: info@landscapearchitecture.com
 www.landscapearchitecture.com

REVISIONS:
 SITE MOD: 11/7/23

SHEET TITLE:
IRRIGATION PLAN DETAILS AND SPEC'S

PROJECT:
POLLO CAMPERO
 3730 NW 79TH AVE
 DORAL, FL. 33126

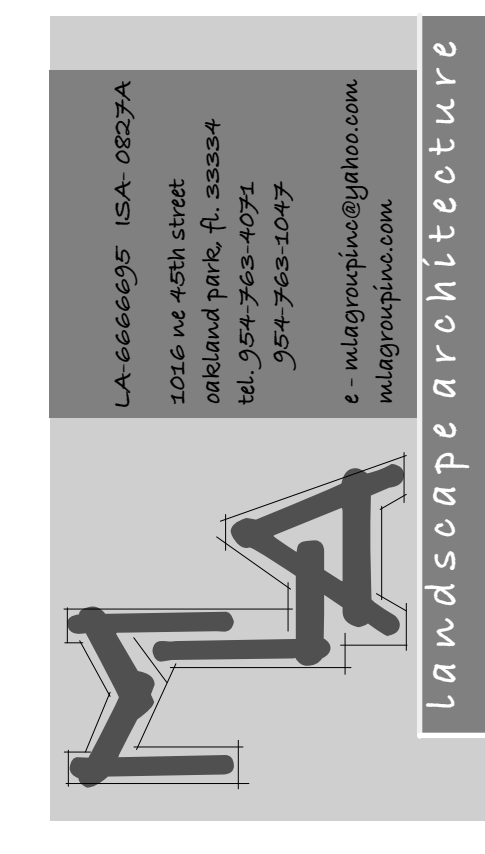
"TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF M&A Group, Inc. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, SCANNED OR COPIED BY ANY OTHER MEANS IN PART OR IN WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF SAME."
 © M&A Group Inc.

SEAL:

 SCALE: 1"=20'
 DATE DRAWN: 4/19/23
 SHEET NO.
IR-1
 of-1

11/7/23

TOTAL LAND AREA 31,857 SF. .731 ACRES
 BUILDING AREA: 3,000 SF.
 LANDSCAPE AREA: 5,869.4 SF. (18.1%)
 PAVED AREA: 26,087.6 SF. (72.28%)
 PERVIOUS AREA: 5,769.40 SF. (18.1%)
 IMPERVIOUS AREA: 26,026 SF. (81.89%)
 TOTAL PARKING = 35 SPACES



11/7/23

LANDSCAPE LEGEND INFORMATION
 CITY OF DORAL

Net Lot Area= 31,857 SF. 73 AC

OPEN SPACE PROVIDED	REQUIRED	PROVIDED
A. Square feet of open space required on site plan Net lot area = 31,857 s.f. x 18% = 5,735 s.f.	5,735	5,419.4
B. Square feet of parking lot open space required as indicated on site plan:		
No. of parking spaces 35 x 10 s.f. per parking space 350 s.f.	350	350
C. Total s.f. of landscaped open space req. A+B=	6,085	5,769.4
LAWN AREA CALCULATION		
A. total s.f. of landscaped open space required	6,085	5,769.4
B. Maximum lawn area (sod) permitted = 6,085 X .20 = 1,217	1,217	1,188
TREES		
A. No. of trees req. per net lot acre (max. avg. spacing of 25' O.C.): 25' linear feet along street = 15 trees x .73 net lot acres = 11	11	11
B. % of palms allowed: No trees required 11 x 30% = 4 % palms permitted to count as street trees on 1:1 basis x 30%	4	4
C. % Natives required: No. trees provided 11 x 50% = 7	7	7
D. Street trees (maximum avg. spacing of 35' o.c.)	4	4
E. Street trees located directly under power lines	6	6
F. (1) tree per 100 SF of parking lot landscaping = 4 trees required Total trees required for site = 19 80% shall be drought tolerant 19 X .80 = 15 Total trees required for site = 19	NA	NA
SHRUBS		
A. No. trees req 19 x 10 = No. of shrubs required = 190 50% required to be native 190 x .50 = 95	190	190
B. No. of shrubs required along parking lot buffers adj. to a street (1) 15' ht. shrub per 30' 20712.5 = 83 required	83	83
C. Native shrubs required 83 x 50% = No. of native shrubs req = 42	42	42

REVISIONS:
 DERM COMMENTS: 8/29/23
 CITY COMMENTS: 9/19/23
 CITY COMMENTS: 9/27/23
 SITE MOD: 11/7/23

SHEET TITLE:
LANDSCAPE PLAN

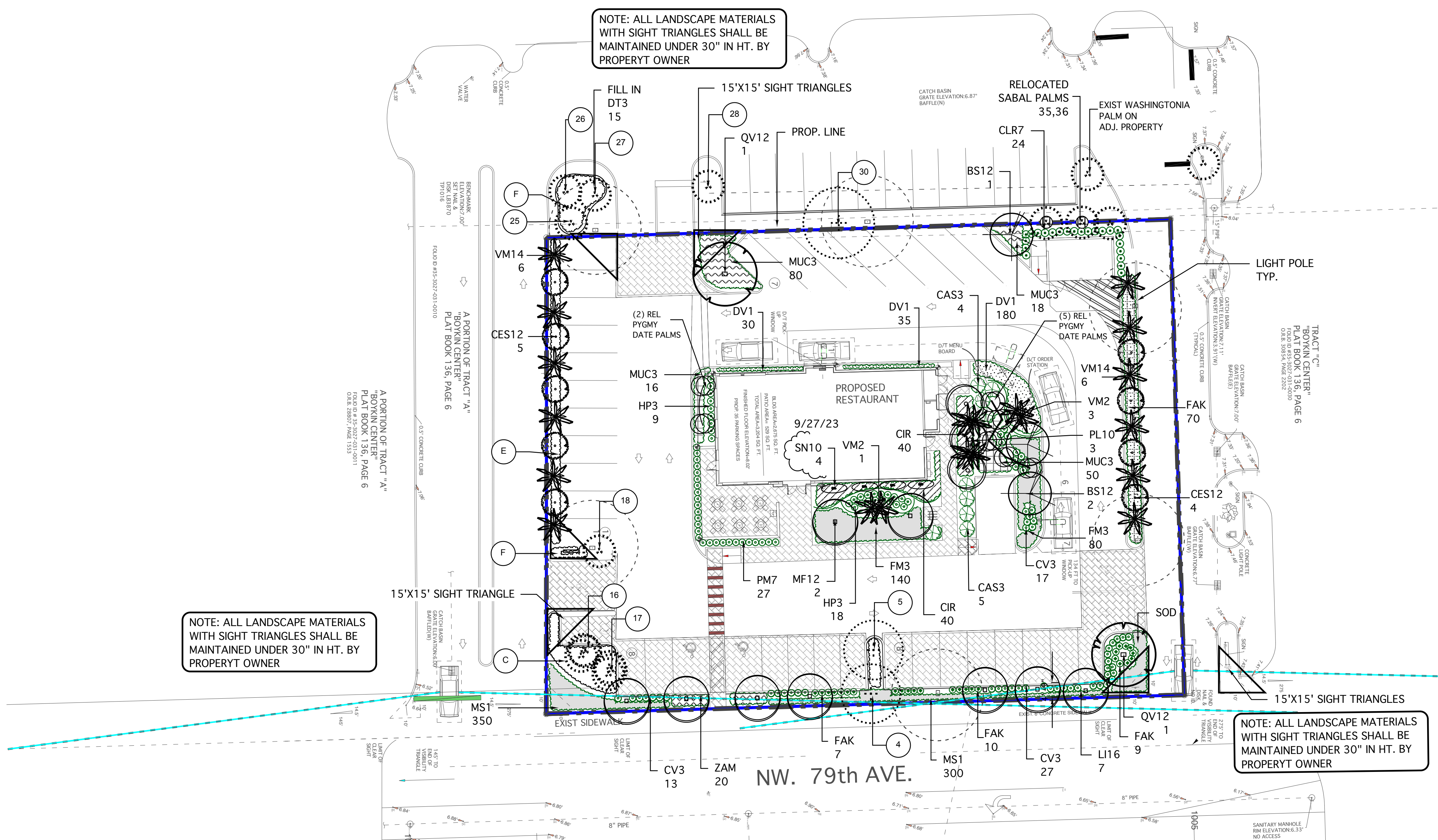
PROJECT:
POLLO CAMPERO
 3730 NW 79TH AVE
 DORAL, FL. 22166

"TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HERETOBY COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF MLAGroup, Inc. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, SCANNED OR COPIED BY ANY OTHER MEANS IN PART OR IN WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF SAME."
 © MLAGroup Inc.

SEAL:

 SCALE: 1"=20'
 DATE DRAWN: 4/19/23
 SHEET NO.

L-1
 of-3



NOTE: ALL LANDSCAPE MATERIALS WITH SIGHT TRIANGLES SHALL BE MAINTAINED UNDER 30" IN HT. BY PROPERTY OWNER

NOTE: ALL LANDSCAPE MATERIALS WITH SIGHT TRIANGLES SHALL BE MAINTAINED UNDER 30" IN HT. BY PROPERTY OWNER

NOTE: ALL LANDSCAPE MATERIALS WITH SIGHT TRIANGLES SHALL BE MAINTAINED UNDER 30" IN HT. BY PROPERTY OWNER

CONTRACTOR SHALL DO TAKE OFF FROM PLANS. PLANS SHALL TAKE PRECEDENCE OVER PLANT LIST QUANTITIES CONTRACTOR SHALL REPLACE ANY EXISTING MATERIALS IN POOR CONDITION OR MISSING. ALL REPLACEMENTS SHALL BE FL. NO1 QUALITY OR BETTER. ANY DAMAGE TO LANDSCAPE CURBING SHALL BE REPLACED. ALL LANDSCAPE BEDS SHALL BE MULCHED WITH 3" OF NON CYPRESS BLEND GRADE B OR BETTER. CONTRACTOR SHALL INSTALL ROOT BARRIER AS NEEDED WHERE TREES AND UNDERGROUND UTILITIES ARE WITHIN 5' OF EACH OTHER ALL EXISTING TREES SHALL BE PRUNED PER ANSI-300 STD'S AS NEEDED. REFER TO SHEET L-2 FOR EXISTING TREE AND VEGETATION INFORMATION REFER TO SHEET L-3 FOR PLANTING DETAILS AND SPECIFICATIONS

CONTRACTOR SHALL REPLACE ANY EXISTING MATERIALS IN POOR CONDITION OR MISSING. ALL REPLACEMENTS SHALL BE FL. NO. 1 QUALITY OR BETTER. ALL LANDSCAPE BEDS SHALL BE MULCHED WITH 3" OF NON CYPRESS BLEND GRADE B OR BETTER. ALL EXISTING TREES SHALL BE PRUNED PER ANSI-300 STD'S AS NEEDED.

MITIGATION DATA
 TREES TO BE REMOVED = 0
 PALMS TO BE REMOVED = 2
 REPLACEMENT TREES AND PALMS PROVIDED THIS SHEET=2

TOTAL TREES PROPOSED= 25
 TOTAL PALMS PROPOSED = 14

MASTER PLANT LIST

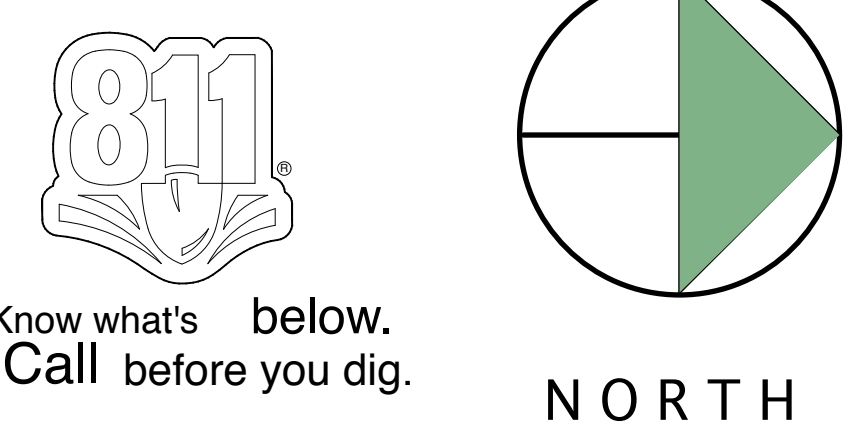
KEY	PLANT NAME	SPECIFICATION	QUANTITY
CAS3	CRINUM ASIATICUM CRINUM LILLY, QUEEN EMMA PURPLE	36" X 30" O.A. 5 PPP MIN. HIGH DROUGHT TOLERANCE	9
CIR	CHRYSOBALANUS ICACO COCOPLUM HEDGE	24" X 24", SPR. 24" O.C. NATIVE MEDIUM DROUGHT TOLERANCE	80
CL7	CLUSIA ROSEA NANA SMALL LEAF PITCH APPLE	36" X 30" X 30" O.C. NATIVE HIGH DROUGHT TOLERANCE	24
CV3	CODIUM VARIEGATUM MAMMY CROTON	30" X 24" SPR. 24" O.C. MEDIUM DROUGHT TOLERANT	57
DV1	DIETES IRIDIODES AFRICAN IRIS	12" X 10" 12" O.C. HIGH DROUGHT TOLERANCE	245
FAK	TRIPSACUM DACTYLOIDES FAKAHATCHEE GRASS	24" X 24" 24" O.C. NATIVE HIGH DROUGHT TOLERANCE	96
FM3	FICUS MICROCARPA 'GREEN ISLAND'	12" X 15" SPR. 18" O.C. MEDIUM DROUGHT TOLERANCE	220
MUC3	MUHLENBERGIA CAPILLARIS MUHLY GRASS	20" X 15" SPR. 15"-18" O.C. NATIVE HIGH DROUGHT TOLERANCE	84
PM7	PODOCARPUS MACROPHYLLA YEW PODOCARPUS	24" X 36" SPR. 24" O.C. NATIVE MEDIUM DROUGHT TOLERANCE	27
SOD	ST. AUGUSTINE FLORITAM	CONTRACTOR TO VERIFY QUANTITY FOR PROPOSED	
MS1	MIMOSA STRIGILLOSA SUNSHINE MIMOSA	1 GAL. 6" X 6", 6" O.C. NATIVE HIGH DROUGHT TOLERANCE	650
HP3	HEMELIA PATENS FIRE BUSH	24" X 24", SPR. 24" O.C. NATIVE MEDIUM DROUGHT TOLERANCE	27

MASTER PLANT LIST

KEY	PLANT NAME	SPECIFICATION	QUANTITY
BS12	BURSERIA SIMARUBA GUMBO LIMBO	12" X 6" SPR. 2.5" DBH. 4.5' CT. NATIVE HIGH DROUGHT TOLERANCE	3
CES12	CONOCARPUS ERECTA SERECIUS SILVER BUTTONWOOD TREE	12" X 5" SPR. 2.5" DBH. 4.5' CT SINGLE TRUNK NATIVE HIGH DROUGHT TOLERANCE	9
LI16	LAGERSTROEMIA INDICA CREPE MYRTLE 'NATACHEZ'	16" X 8" SPR. 3" DBH. 8' CT. SINGLE TRUNK HIGH DROUGHT TOLERANCE	7
QV12	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	12" X 6" SPR. 2.5" DBH 5' CT. NATIVE HIGH DROUGHT TOLERANCE	2
VM14	VEITCHIA MONTGOMERYANA MONTGOMERY PALM	12' CT. SINGLE TRUNK MATCH HTS. 3-4" DBH. HIGH DROUGHT TOLERANCE	10
PL10	PSIDIUM LITTORALE STRAWBERRY GUAVA	10" X 5" SPR. 2.5" DBH. 3' CT. MULTI TRUNK HIGH DROUGHT TOLERANCE	3
VM2	VEITCHIA MONTGOMERYANA MONTGOMERY PALM	12' CT. DBL. TRUNK MATCH HTS. 3-4" DBH. HIGH DROUGHT TOLERANCE	4
MF12	MYRCIANTHES FRAGRANS SIMPSONS STOPPER	12" X 6" SPR. 2.5" DBH 5' CT. NATIVE HIGH DROUGHT TOLERANCE	2
SN10	STRELITZIA NICHOLAI	10" O.A. MIN 5-7 SUCKERS SYMMETRICAL PLANT.	4

KEY

(A) EXISTING SWORD FERN	(F) EXISTING GREEN ISLAND FICUS
(B) EXISTING CROTON SPP.	
(C) EXISTING VAR. ABRORICOLA	
(D) EXISTING GREEN ISLAND FICUS	
(E) EXISTING COCOPLUM HEDGE	



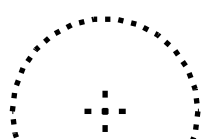
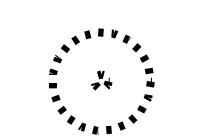
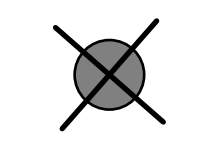
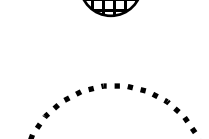
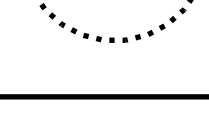
NO TREES SHALL BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT REFER TO SHEET L-1 FOR MITIGATION DATA

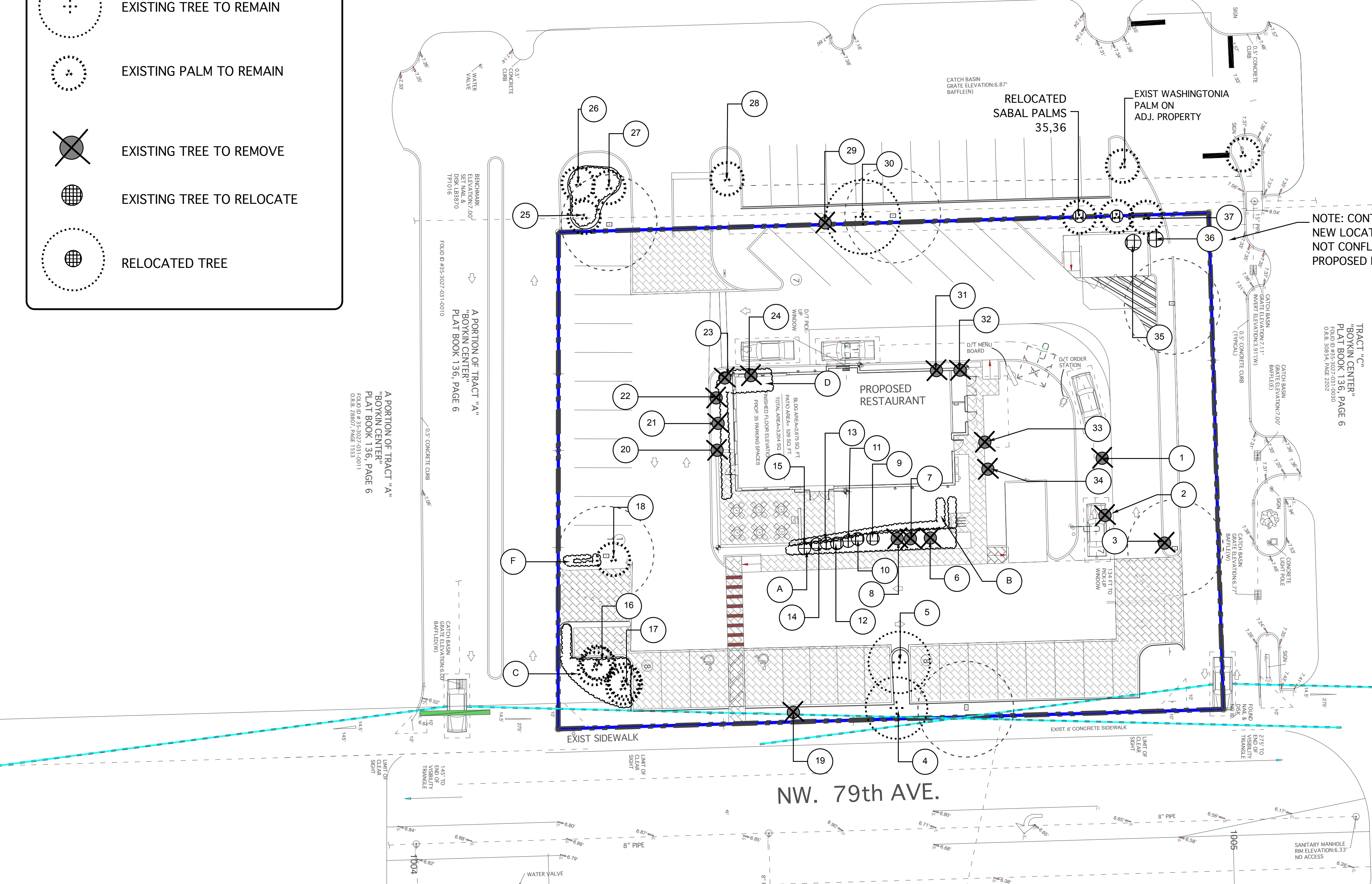
11/7/23

8/29/23

9/27/23

KEY

-  EXISTING TREE TO REMAIN
-  EXISTING PALM TO REMAIN
-  EXISTING TREE TO REMOVE
-  EXISTING TREE TO RELOCATE
-  RELOCATED TREE



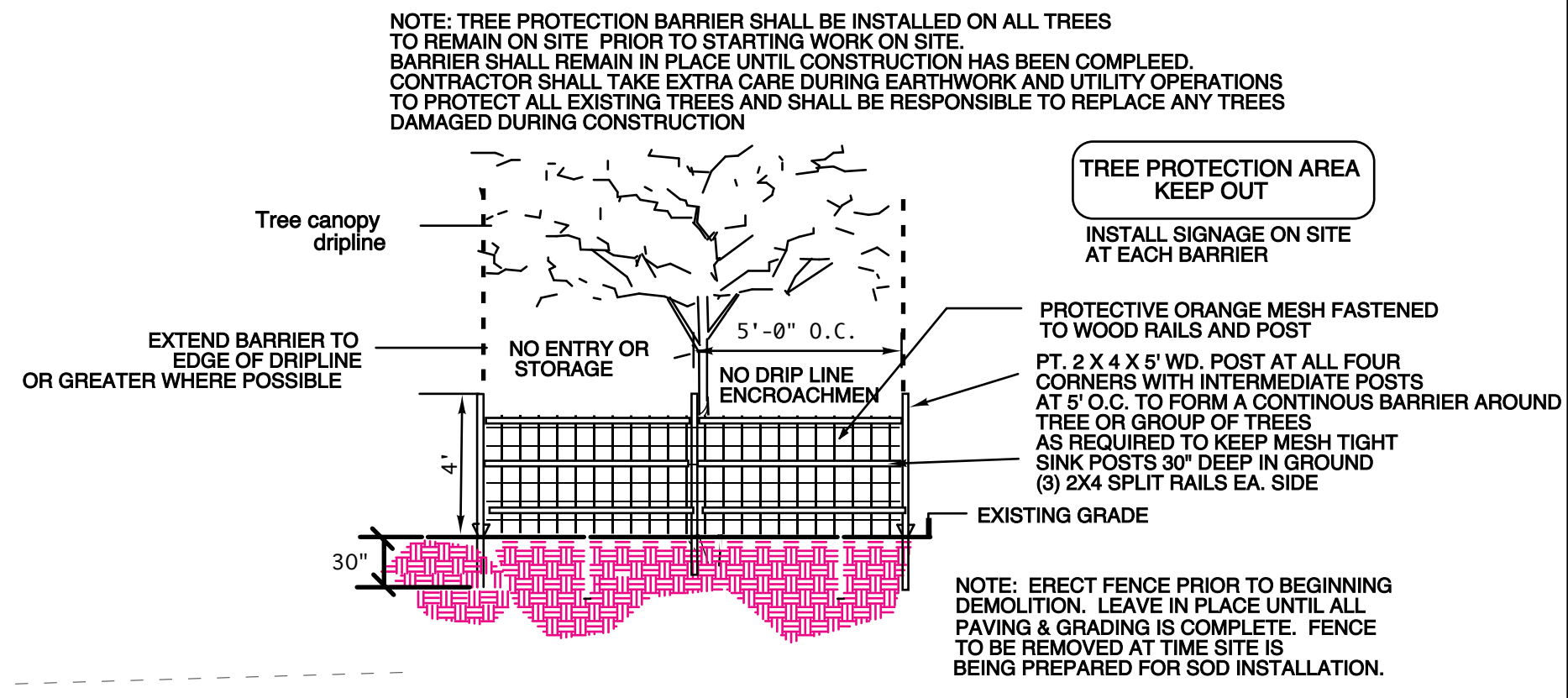
EXISTING TREE INVENTORY

TREE NO.	COMMON NAME	BOTANICAL NAME	SIZE (DBH. HT.X SPR.)	CONDITION	DETERMINATION
1.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	20' CT.	GOOD	REMOVE
2.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMOVE
3.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMOVE
4.	MAHOGANY	SWIETENIA MAHOGANII	25" 30'X35'	GOOD	REMAIN
5.	MAHOGANY	SWIETENIA MAHOGANII	17" 30'X12'	FAIR	REMAIN (CAVITY IN TRUNK)
6.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMOVE
7.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMOVE
8.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMOVE
9-15	PYGYM DATE PALM	PHOENIX ROEBELLINI	5' CT.	GOOD	RELOCATE
16-17	PYGYM DATE PALM	PHOENIX ROEBELLINI	5' CT.	GOOD	REMAIN
18.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMAIN
19.	QUEEN PALM	ARECASTRUM ROMANZOFFIANUM	18' CT.	POOR	REMOVE/MIT
20-21	PYGYM DATE PALM	PHOENIX ROEBELLINI	3' CT.	FAIR	REMOVE
22.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	35' CT.	GOOD	REMOVE
23.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	35' CT.	GOOD	REMOVE
24.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMOVE
25.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMAIN ON ADJ. PROP
26.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMAIN ON ADJ. PROP
27.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMAIN ON ADJ. PROP
28.	QUEEN PALM	ARECASTRUM ROMANZOFFIANUM	16' CT.	FAIR	REMAIN ON ADJ. PROP
29.	QUEEN PALM	ARECASTRUM ROMANZOFFIANUM	7' CT.	POOR	REMOVE/MIT
30.	MAHOGANY	SWIETENIA MAHOGANII	22" 30'X30'	GOOD	REMAIN ON ADJ. PROP
31.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	30' CT.	GOOD	REMOVE
32.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	32' CT.	GOOD	REMOVE
33.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	32' CT.	GOOD	REMOVE
34.	WASHINGTONIA PALM	WASHINGTONIA ROBUSTA	32' CT.	GOOD	REMOVE
35.	SABAL PALMETTO	CABBAGE PALM	16' CT.	GOOD	RELOCATE
36.	SABAL PALMETTO	CABBAGE PALM	16' CT.	GOOD	RELOCATE
37.	SABAL PALMETTO	CABBAGE PALM	26' CT.	GOOD	REMAIN

MITIGATION DATA
 TREES TO BE REMOVED = 0
 PALMS TO BE REMOVED = 2
 REPLACEMENT PALMS PROVIDED ON SHEET L-1

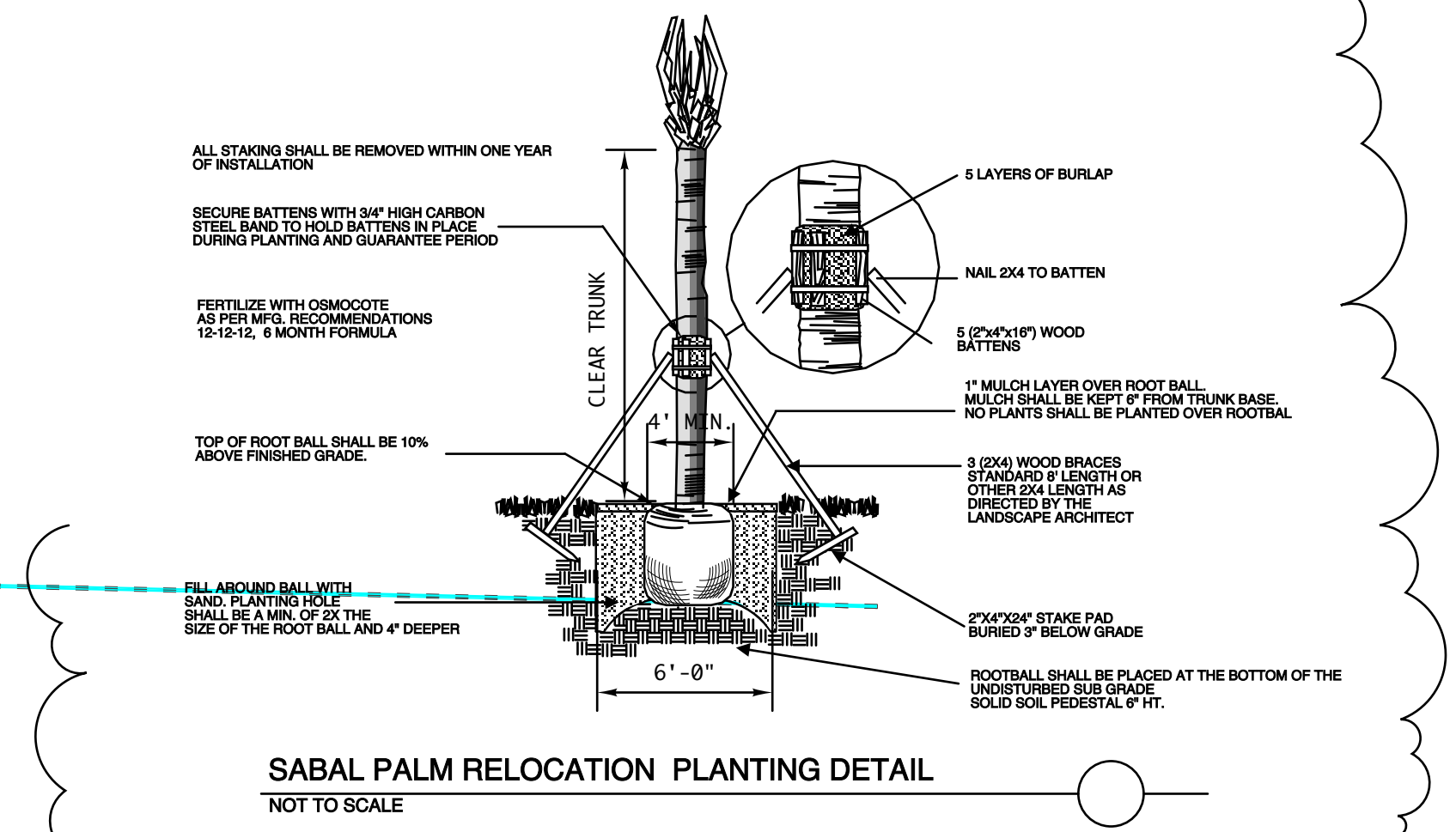
- KEY**
- (A) EXISTING SWORD FERN
 - (B) EXISTING CROTON SPP.
 - (C) EXISTING VAR. ABRORICOLA
 - (D) EXISTING GREEN ISLAND FICUS
 - (E) EXISTING COCOPLUM HEDGE
 - (F) EXISTING GREEN ISLAND FICUS

NO TREES SHALL BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT REFER TO SHEET L-1 FOR MITIGATION DATA

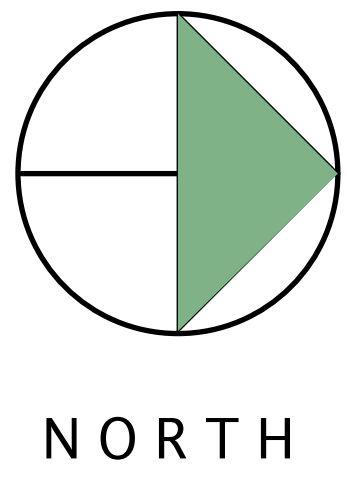


TREE PROTECTION/TEMPORARY BARRIER DETAIL
NOT TO SCALE

WATERING/RELOCATION NOTES:
 CONTRACTOR SHALL HAND WATER NEWLY INSTALLED PALMS DAILY FOR A PERIOD OF 2 WEEKS OR UNTIL NEW ROOT GROWTH IS ESTABLISHED THE AUTOMATIC IRRIGATION SYSTEM SHALL BE USED FROM THAT POINT FORWARD. CONTRACTOR SHALL FIELD CHECK RELOCATED PALMS 30 DAYS AFTER INSTALL TO VERIFY HEALTH AND CONDITION.
 PALMS SHALL BE ROOT PRUNED LIFTED WITH A TREE STRAP AND PLANTED SAME DAY. REMOVE DEAD FRONDS PRIOR TO RELOCATION



SABAL PALM RELOCATION PLANTING DETAIL
NOT TO SCALE



REVISIONS:

DERM COMMENTS: 8/29/23
TREE PERMIT COMMENTS: 9/4/23
CITY COMMENTS: 9/19/23
SITE MOD: 11/7/23

SHEET TITLE:
EXISTING TREE DISPOSITION PLAN

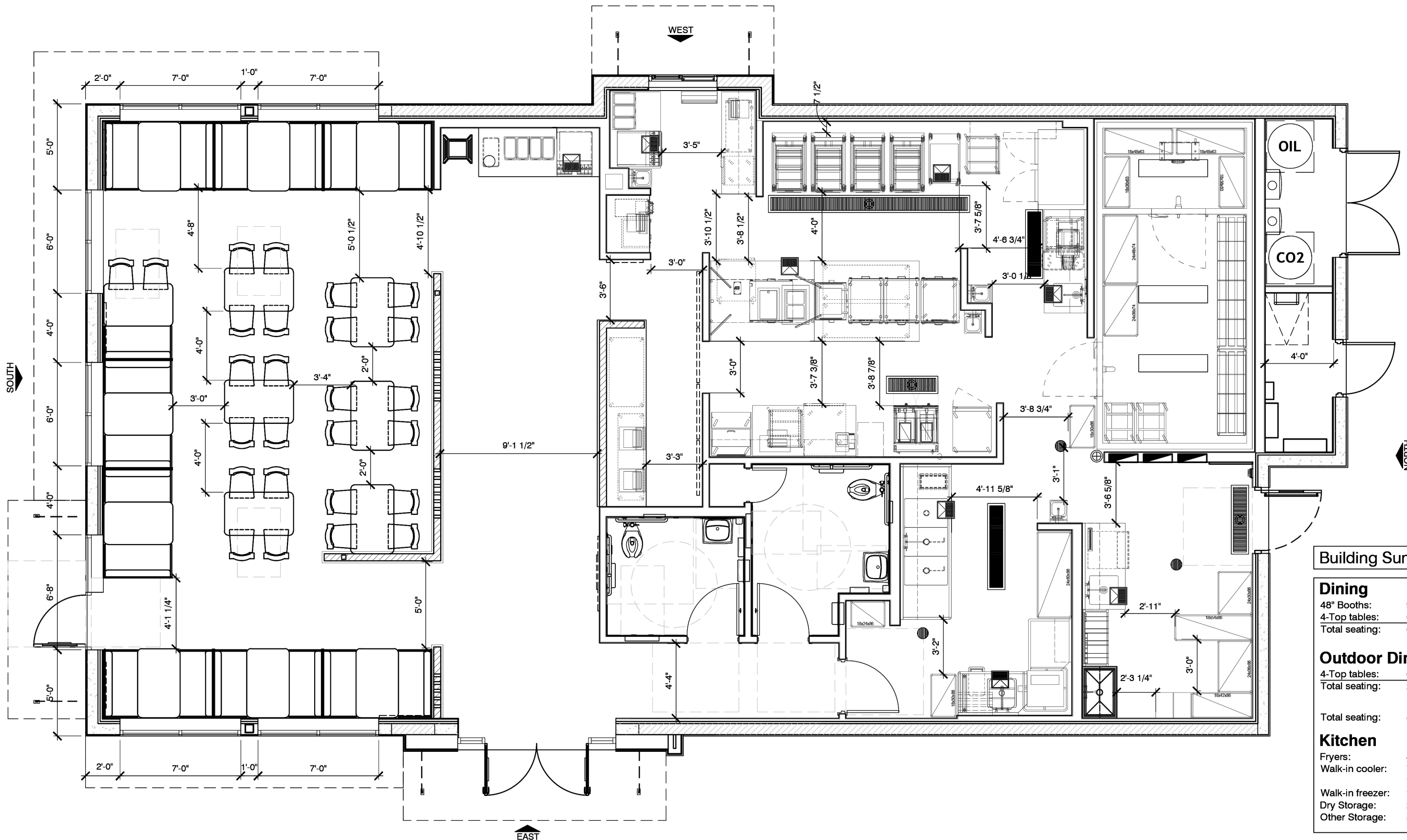
PROJECT:
POLLO CAMPERO
 3730 NW 79TH AVE
 DORAL, FL. 33166

"TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF MLA Group, Inc. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, SCANNED OR COPIED BY ANY OTHER MEANS IN PART OR IN WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF SAME."
 © MLA Group Inc.

SCALE: 1"=20'
DATE DRAWN: 4/19/23
SHEET NO.

L-2

LA 6666695 USA 0827A
 1016 W 45th Street
 Doral, FL 33334
 Tel: 954-763-4071
 954-763-1071
 e: mlalandscape@mla.com
 mlalandscape.com

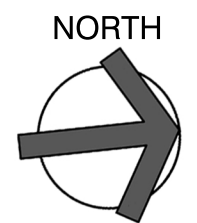


Building Summary	
Dining	
48" Booths:	9
4-Top tables:	6
Total seating:	60 Seats
Outdoor Dining	
4-Top tables:	6
Total seating:	24 Seats
Total seating:	84 Seats
Kitchen	
Fryers:	4
Walk-in cooler:	7LF + 2 Speed Racks
	12.75 LF Dunnage racks
Walk-in freezer:	14LF x 4 Shelves
Dry Storage:	29 LF
Other Storage:	5.5 LF



PRINCIPAL IN CHARGE: RICK CIVITARESE
 PROJECT MANAGER: ALLISON GREEN
 DRAWINGS BY: A.G.
 DATE: 08-14-23
 SCALE: 3/16" = 1'-0"
 PROJECT NUMBER: 104-XX

POLLO CAMPERO - DORAL, FL
 3730 NW 79TH AVE
 DORAL, FL 33166
 PROTOTYPE VERSION 3.1





POLLO CAMPERO - DORAL, FL





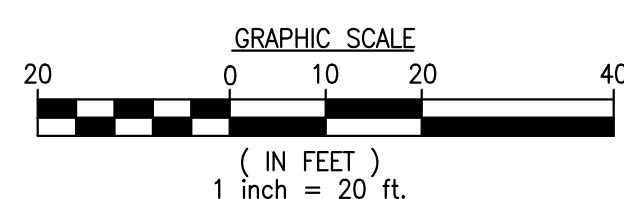
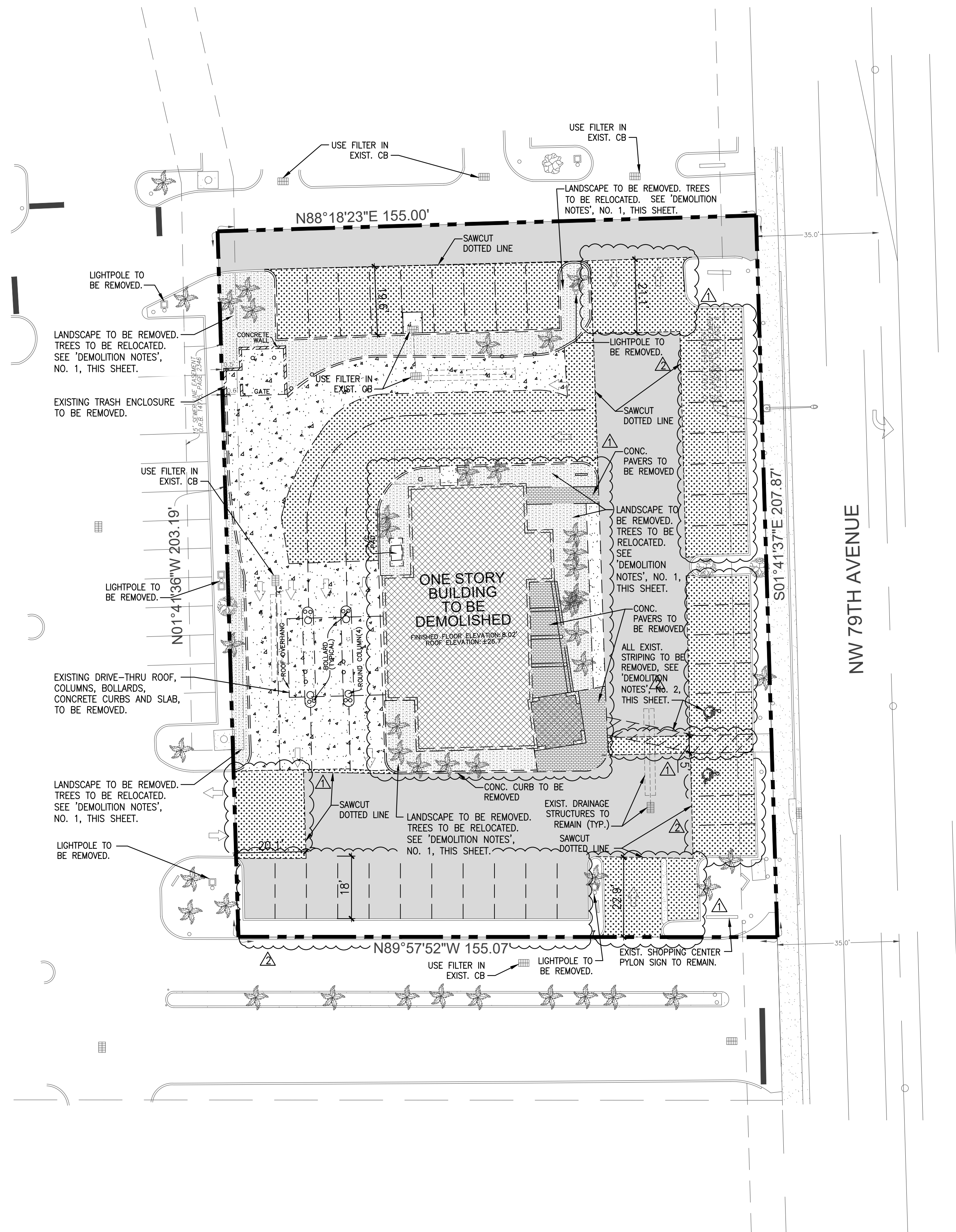
POLLO CAMPERO - DORAL, FL





POLLO CAMPERO - DORAL, FL





SITE DEMOLITION PLAN

SCALE: 1:20



GENERAL NOTES

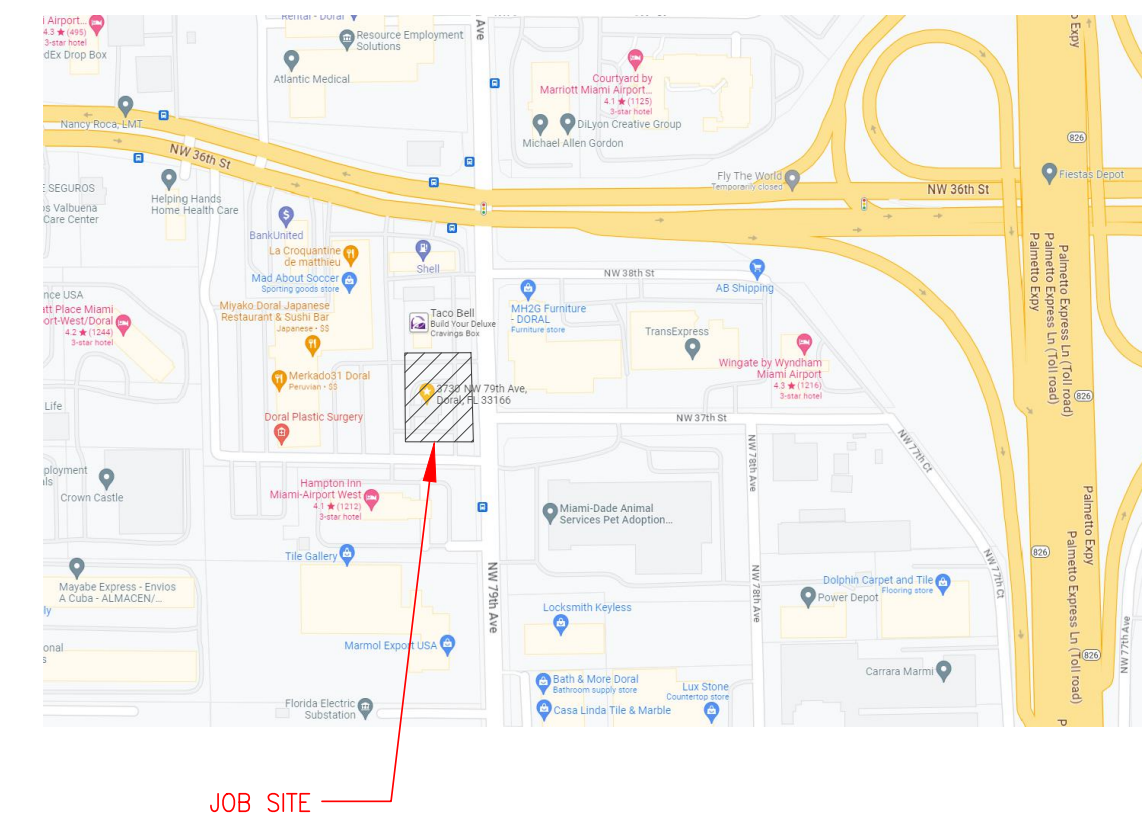
- SEE SURVEY FOR DESCRIPTION OF EXISTING FEATURES WITHIN SITE.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DEMOLITION OF EXISTING ON SITE FACILITIES ABOVE AND UNDERGROUND. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE SITE OF ALL DEMOLISHED MATERIALS, THE FILLING OF ALL DEPRESSIONS CAUSED BY DEMOLITION, AND THE GRADING OF THESE AREAS SO AS TO BE OBJECTIONABLE TO VIEW. THE CONTRACTOR SHALL OBSERVE ALL REQUIRED SAFETY PRECAUTIONS IN THE PERFORMANCE OF HIS WORK.
- REMOVE ALL VEGETATION, ROLL AND COMPACT AREAS BEFORE REPLACING FILL. FILL SHALL BE PLACED IN 12" LAYERS LOOSE MEASURE AND COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO-T180-78. FILL SHALL BE LOCALLY ACCEPTABLE AND SUITABLE FOR FILL PURPOSES. THE TOP 12" OF FILL OR CUT UNDER PAVEMENT BASE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO-T80-78.
- THE CONTRACTOR SHALL BE REQUIRED TO STABILIZE SLOPED AREAS. THE CONTRACTOR SHALL GRADE AND SEED OR SOD THE AREA WITH THE PROVISION THAT HE SHALL MAINTAIN THE SEEDED OR SODDED AREAS AS REQUIRED UNTIL SUCH TIME THAT THERE IS SUITABLE GROWTH TO ADEQUATELY PROTECT THE EMBANKMENT. THE MAXIMUM ALLOWABLE SLOPE SHALL BE 2:1. CONTRACTOR SHALL MATCH EXISTING GRADES AT ALL PROPERTY LINES AROUND SITE, UNLESS OTHERWISE SHOWN ON GRADING PLAN. FINISHED GRADING AND LANDSCAPING BY LANDSCAPE CONTRACTOR. GENERAL CONTRACTOR IS TO GRADE ALL LANDSCAPED AREAS TO WITHIN 4" (0.33') OF FINISHED GRADES. ALL GRADES SHOWN ON GRADING PLAN ARE FINISHED GRADES.
- DIMENSIONS, BUILDING LOCATION AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT TIME OF LAYOUT. DEVIATION MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
- ALL CONSTRUCTION OF UTILITIES TO BE IN ACCORDANCE WITH LOCAL BUILDING CODES.
- IT IS THE CONTRACTOR'S FULL RESPONSIBILITY TO FURNISH AND INSTALL WATER SERVICES AS REQUIRED. LINES TO BE INSTALLED SHOULD BE EXTENDED FROM THE CLOSEST WATER MAIN CAP PLUGGED AT BUILDING. SEE C-3 FOR REQUIRED WATER SERVICE SIZE.
- LOCATION OF UNDERGROUND UTILITIES, EXISTING OR PROPOSED, ARE APPROXIMATE OR SCHEMATIC. LOCATION OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.
- GENERAL CONTRACTOR IS TO INCLUDE IN BID ALL UTILITY COSTS ARE APPROXIMATE OR SCHEMATIC. LOCATION OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL BE REQUIRED TO EXTEND AND CONNECT SANITARY SEWER TO THE EXISTING SEWER SYSTEM. IF SEWER IS NOT ADJACENT TO SITE, THE CONTRACTOR SHALL BE REQUIRED TO EXTEND THE SANITARY SEWER SERVICE TO THIS SITE IN ACCORDANCE WITH THE PLANS. SANITARY SEWER LINE TO BE CONNECTED AT A MINIMUM 2% SLOPE USING A MINIMUM PIPE, MATCHING EXISTING PIPE MATERIAL, UNLESS OTHERWISE SPECIFIED.
- CONCRETE SIDEWALKS TO BE 3,000 P.S.I. CONCRETE, 4" THICK, WITH 6x6 - W1.4 x W1.4 WELDED WIRE MESH REINFORCED UNLESS OTHERWISE NOTED.
- ALL CONCRETE CURB TO BE CONSTRUCTED OF 3,000 P.S.I. CONCRETE.
- COMMERCIAL DRIVEWAYS TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITY, COUNTY, OR STATE HIGHWAY DEPARTMENT, WHICHEVER APPLIES.
- ALL WORK TO BE PERFORMED THAT IS NOT COVERED BY THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE STATE, COUNTY, OR LOCAL CODES. ALL WORK IN PUBLIC RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
- THE CONTRACTOR IS ADVISED THAT THE SOILS REPORT IS A PART OF THE BIDDING DOCUMENTS. IF THE SOILS REPORT IS NOT RECEIVED WITH THE BID SET, IT IS THE BIDDER'S RESPONSIBILITY TO OBTAIN AND REVIEW THE SOILS REPORT PRIOR TO SUBMITTING FINAL BID.
- SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO C.K.E. GROUP, INC. AND TO THE CITY OF DORAL PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO ORDERING THE MATERIALS.

DEMOLITION NOTES

- FOR TREES AND/OR LANDSCAPE REMOVAL AND/OR RELOCATION, REFER TO LANDSCAPE DRAWINGS.
- ALL EXISTING PAVEMENT MARKINGS WITHIN PROPERTY LINES TO BE REMOVED AND SIGNS TO BE RELOCATED OR REPLACED AS NEEDED.
- EXISTING ASPHALT PAVEMENT WITHIN PROPERTY LINES TO BE SEALCOATED AND RE-STRIPED.

SITE PLAN LEGEND

	PROPERTY LINE
	EXISTING BUILDING TO BE DEMOLISHED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING LANDSCAPE AREA TO BE REMOVED
	ASPHALT PAVEMENT TO BE SEALCOATED, & RE-STRIPED
	EXISTING DRAINAGE STRUCTURE TO REMAIN
	DENOTES TO BE REMOVED
	DENOTES TO REMAIN



LOCATION MAP
N.T.S.

LEGAL DESCRIPTION:

TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 136, PAGE 6, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONCAVE TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46", FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.

This Item has been digitally signed by Eduardo L. Cargache on the date adjacent to the seal. Printed copies of the document are not considered signed and sealed and the signature must be verified on any electronic copies.

EDUARDO L. CARGACHE, PE 31914
LICENSE
No. 31914
STATE OF FLORIDA
PROFESSIONAL ENGINEER

EDUARDO L. CARGACHE, PE 31914
CKE GROUP, INC. COA-4432

CKE GROUP
INCORPORATED
engineering • architecture • planning
CERTIFICATE OF AUTHORIZATION - #488

WESTON, FLORIDA 33326

17190 ROYAL PALM BOULEVARD

SUITE 2

3730 NW 74TH AVE.,
DORAL, FLORIDA 33166

(305) 558-4124

project no: 1843
scaler AS SHOWN
date: 05-01-23
drawn by: A.G.

10/12/2022 CITY COMMENTS
08/24/2022 CITY COMMENTS

revisions

seal
EDUARDO CARGACHE, PE 31914

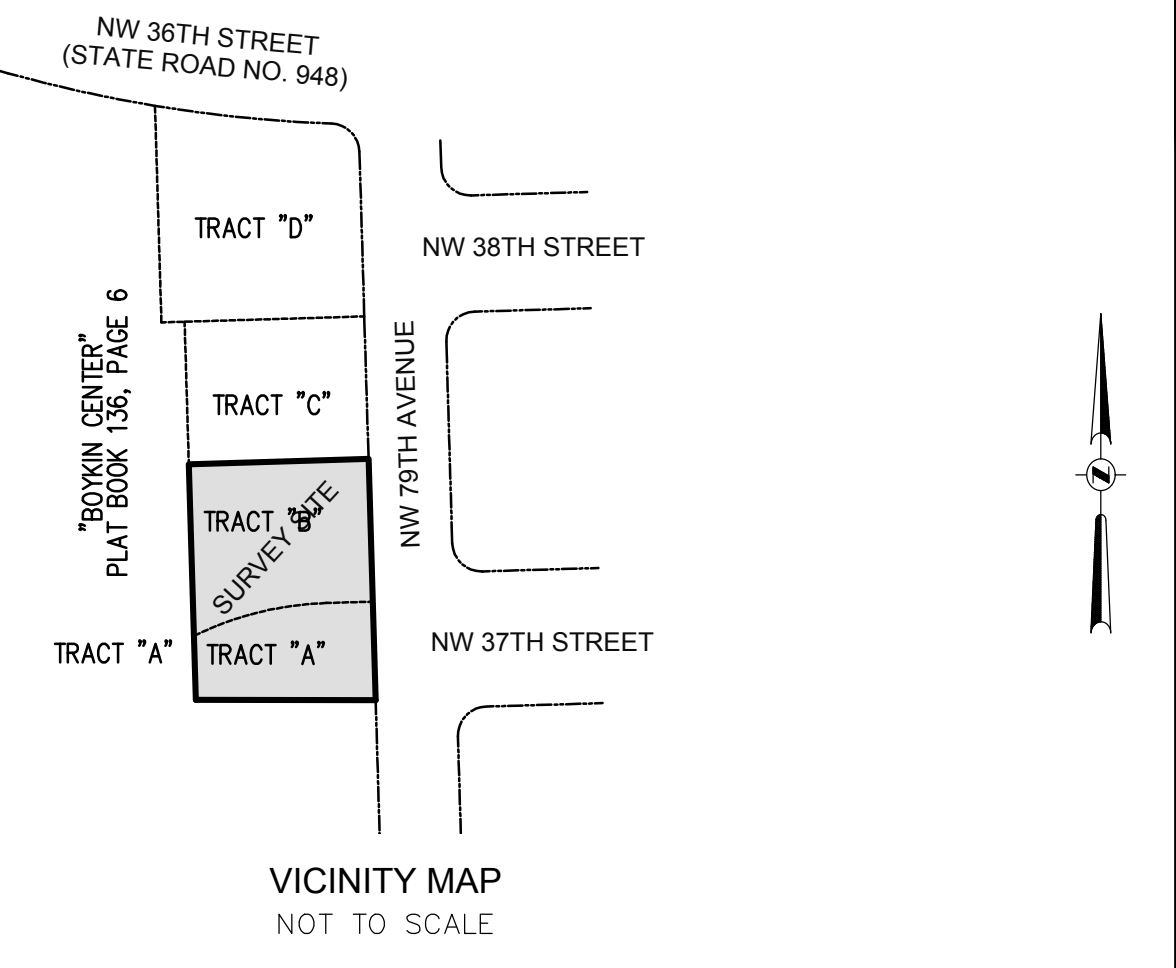
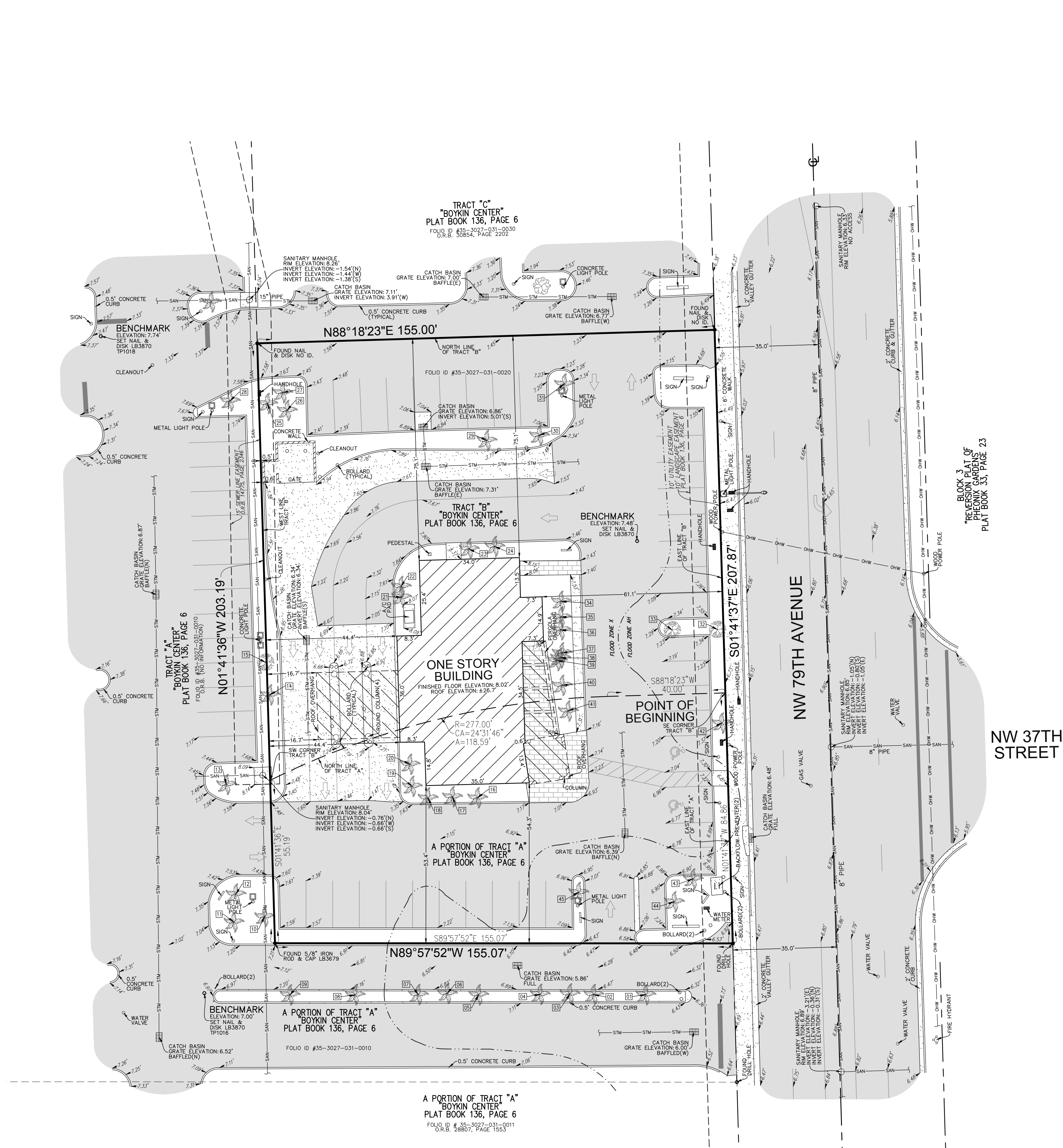
SD-1

LEGEND & ABBREVIATIONS

- CONCRETE
- ASPHALT PAVEMENT
- BRICK PAVERS
- ELEVATION
- OVERHEAD WIRES
- UNDERGROUND STORM SEWER LINE
- UNDERGROUND SANITARY SEWER LINE
- CENTERLINE
- R= RADIUS
- CA= CENTRAL ANGLE
- A= ARC LENGTH
- FPL FLORIDA POWER & LIGHT COMPANY
- LB LICENSED BUSINESS
- O.R.B. OFFICIAL RECORDS BOOK
- TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
- TREE NUMBER
- MAHOGANY TREE
- PALM TREE
- UNIDENTIFIED TREE

TREE TABLE

Tree Number	Common Name	DBH (inches)	Height (feet)	Canopy (feet)
1	FOXTAIL PALM	8"	30'	10'
2	FOXTAIL PALM	8"	20'	10'
3	FOXTAIL PALM	12"	16'	10'
4	FOXTAIL PALM	10"	25'	10'
5	FOXTAIL PALM	10"	20'	10'
6	FOXTAIL PALM	10"	20'	10'
7	FOXTAIL PALM	10"	20'	10'
8	FOXTAIL PALM	10"	20'	10'
9	FOXTAIL PALM	8"	10'	30'
10	CABBAGE PALM	15"	40'	12'
11	CABBAGE PALM	15"	40'	12'
12	CABBAGE PALM	15"	40'	12'
13	CABBAGE PALM	24"	40'	12'
14	UNIDENTIFIED PALM	12"	20'	12'
15	MAHOGANY	24"	40'	30'
16	UNIDENTIFIED PALM	6"	40'	12'
17	UNIDENTIFIED PALM	6"	40'	12'
18	UNIDENTIFIED PALM	12"	40'	12'
19	UNIDENTIFIED PALM	12"	40'	12'
20	UNIDENTIFIED PALM	12"	40'	12'
21	UNIDENTIFIED PALM	18"	40'	12'
22	UNIDENTIFIED PALM	18"	40'	12'
23	UNIDENTIFIED PALM	18"	40'	12'
24	UNIDENTIFIED PALM	18"	40'	12'
25	CABBAGE PALM	15"	30'	12'
26	CABBAGE PALM	12"	30'	12'
27	CABBAGE PALM	15"	30'	12'
28	CABBAGE PALM	15"	40'	12'
29	CABBAGE PALM	12"	35'	12'
30	CABBAGE PALM	12"	40'	12'
31	CABBAGE PALM	15"	40'	12'
32	MAHOGANY	24"	40'	30'
33	MAHOGANY	15"	35'	20'
34	CABBAGE PALM	15"	40'	12'
35	CABBAGE PALM	15"	40'	12'
36	CABBAGE PALM	15"	40'	12'
37	UNIDENTIFIED PALM	8"	40'	12'
38	UNIDENTIFIED PALM	8"	40'	12'
39	UNIDENTIFIED PALM	8"	40'	12'
40	UNIDENTIFIED PALM	8"	40'	12'
41	UNIDENTIFIED PALM	8"	40'	12'
42	FOXTAIL PALM	12"	25'	10'
43	UNIDENTIFIED PALM (CLUSTER)	4"	10'	5'
44	UNIDENTIFIED PALM (CLUSTER)	4"	10'	5'
45	CABBAGE PALM	15"	40'	12'



LEGAL DESCRIPTION:
 TRACT "B" OF "BOYKIN CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 136, PAGE 6, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PLUS THAT PORTION OF TRACT "A", OF SAID "BOYKIN CENTER", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID TRACT "B"; THENCE SOUTH 88°18'23" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT "B" FOR 40.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CIRCULAR CURVE TO THE LEFT BEING CONCAVE TO THE SOUTH HAVING A RADIUS OF 277.00 FEET AND A CENTRAL ANGLE OF 24°31'46"; FOR AN ARC DISTANCE OF 118.59 FEET TO THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE SOUTH 01°41'37" EAST ALONG THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID TRACT "B" FOR 55.19 FEET; THENCE SOUTH 89°57'52" EAST FOR 155.07 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER"; THENCE NORTH 01°41'37" WEST ALONG THE EAST LINE OF SAID TRACT "A" OF "BOYKIN CENTER" FOR 84.86 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 31,857 SQUARE FEET (0.7313 ACRES), MORE OR LESS.

- NOTES:**
- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. MIAMI-DADE COUNTY BENCHMARK N-314, ELEVATION: 6.76 FEET.
 - FLOOD ZONE: AH/X; BASE FLOOD ELEVATION: 7 FEET/NONE; PANEL #12086C02B7L; COMMUNITY #120041; MAP DATE: 9/11/09.
 - THIS SITE LIES IN SECTION 27, TOWNSHIP 53 SOUTH, RANGE 40 EAST, MIAMI-DADE COUNTY, FLORIDA.
 - BEARINGS ARE BASED ON STATE PLANE COORDINATES AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT, FL-E ZONE, WITH THE NORTH LINE OF TRACT "B" BEING N88°18'23" AS SHOWN ON PLAT.
 - REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
 - THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: POLLO CAMPERO OF FLORIDA LLC..
 - THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.1'.
 - THIS SITE CONTAINS 36 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (34 REGULAR & 2 DISABLED).
 - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. ONLY PLATTED OR KNOWN EASEMENTS ARE DEPICTED HEREON.
 - ALL RECORDED DOCUMENTS ARE PER MIAMI-DADE COUNTY PUBLIC RECORDS.
 - THE FLOOD ZONE DESIGNATION LINES DEPICTED HEREON ARE PLACED IN APPROXIMATE LOCATIONS, AS SCALED FROM THE IMAGE FROM THE FEMA.ORG WEBSITE.
 - THE TREE SYMBOLS DEPICTED HEREON ARE NOT SCALED TO TREE CANOPY.

CERTIFICATION:
 I HEREBY CERTIFY: THAT THIS MAP OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290

NO.	REVISIONS	BY

PROPOSED POLLO CAMPERO SITE
 3730 NW 79TH AVENUE
 DORAL, FLORIDA 33166
 (CITY OF DOAL, MIAMI-DADE COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY

PLS

PULICE LAND SURVEYORS, INC.
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA 33351
 TELEPHONE: (954) 572-1777
 FAX: (954) 572-1778
 E-MAIL: surveys@pulicelandsurveyors.com
 WEBSITE: www.pulicelandsurveyors.com
 CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: L.H.
CHECKED BY: J.F.P.

SCALE: 1" = 20'
SURVEY DATE: 03/29/23

CLIENT: POLLO CAMPERO OF FLORIDA LLC
ORDER NO.: 71213

