

RESOLUTION No. 18-55

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR THE SHOPPES AT 97 AVE, LOCATED AT THE SOUTHEAST CORNER OF NW 58 STREET AND NW 97 AVENUE, CITY OF DORAL, FLORIDA, 33122; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, on November 2, 2016, the City of Doral (the “City”) adopted Ordinance No. 2016-29 amending the City’s Land Development Code to establish procedures for the Mayor and City Council site plan review and approval process;

WHEREAS, Alejandro J. Arias, Esq, representing 97 Property, LLC (the “Applicant”) has submitted an application for Mayor and Council site plan review and approval for The Shoppes at 97 Avenue site plan, generally located at the southeast corner of NW 58 street and NW 97 Avenue, as legally described in Exhibit “A”; and

WHEREAS, staff recommends approval of the proposed site plan provided in Exhibit “B”; and

WHEREAS, the site plan is consistent with all the requirements and standards set forth in Section 53-184 (3) of the Land Development Code.

WHEREAS, pursuant to law, notice has been given by publication in a paper of general circulation in the City, notifying the public of this proposed Resolution and of the public hearings; and

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, THAT:

Section 1. Recital. The above recitals are confirmed, adopted, and incorporated herein and made a part hereof by this reference.

Section 2. Approval of Site Plan. The site plan for The Shoppes at 97 Avenue provided in Exhibit “B”, which is incorporated herein and made a part hereof by this reference, is hereby approved. The site plan consists of a retail project with approximately 37,845 sq. ft. of retail, service, and restaurant uses and an outparcel consisting of 2,500 sq. ft. drive-in bank. The project will also include 54,080 sq. ft. of open space. In addition, the approval of this site plan is subject to the following conditions:

1. All applicable impact fees shall be paid by the Applicant prior to issuance of a building permit;
2. The proposed project shall be built in substantial conformance with the plans entitled “The Shoppes @ 97th Ave” prepared by Cabrera, Ramos Architects, Inc, consisting of 11 sheets, dated stamped received January 31, 2018;
3. The Property shall be landscaped in accordance with the landscape plan, prepared by Cabrera, Ramos Architects, Inc., date received January 31, 2018, as amended, and included with the site plan submittal;
4. Future identification of a use that requires more parking will result in a site plan modification;
5. In order to minimize the occurrence of two-way flow in a one-way drive (an important safety concern), applicable “Do Not Enter” signage and directional arrows need to be shown on the internal eastbound drive adjacent to the easternmost driveway on NW 58 Street, and at the internal intersection adjacent to the center inbound driveway on NW 58 Street. It is also recommended that a 15’ wide lane be created with pavement striping (within the 20’ curb to curb width shown) to accentuate a single, one-way traffic lane;
6. MDCPW Traffic Division is required in writing prior to the approval of the Paving & Drainage Plans, which will be linked to the Building Permit Process;
7. Left turns into the NW 97 Avenue driveway from the single southbound thru-lane on NW 97 Avenue should not be allowed. Vehicles stacked in the northbound lanes awaiting the green light will block southbound left turn access into the driveway, which will cause unsafe southbound traffic back-ups through the signalized intersection. MDCPW needs to be aware of this issue;
8. The westbound left turn storage lane (to southbound NW 97 Avenue) stacks a significant number of vehicles, especially in the afternoons. The easternmost driveway on NW 58 Street may need to be physically restricted from left out turn movements (with raised concrete “pork chop” islands to force right turns only). Regarding lefts in, the

- westbound left turn stacking lane on NW 58 Street currently backs up beyond the location of this driveway. This concern needs to be carefully evaluated by the developer and MDCPW Traffic Division;
9. Traffic signal modifications may be required. The cost will be the responsibility of the developer;
 10. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law;
 11. Approval from Division of Environmental Resources Management (“DERM”) is required at time of building permit. If DERMs’ requirements result in a modification to the approved administrative site plan, which may include but is not limited to, the layout of proposed parking field, the Applicant will be fully responsible to meet those requirements prior to building permit approval;
 12. Approval from Miami Dade County Fire Department is required at time of building permit;
 13. The applicant shall comply with Ordinance No. 2015-09 “Public Arts Program” requirements;
 14. All applicable local, state and federal permits must be obtained before commencement of the development;
 15. The project should make every effort to incorporate the city’s Low Impact Development Master Plan (LIDMP) and Section 74-881 of the Land Development Code;
 16. Provide compliance with the Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City Land Development Code. Project team should contact the City’s Floodplain Administrator to review the requirements of the Floodplain Management Ordinance;
 17. Applicant shall indicate how the project will meet the requirement of the LDC Sec. 77-195 of the city Land Development Code Solar Reflective Index (SRI) of 28 or greater;
 18. The Applicant shall indicate how the project will meet the City’s Green Ordinance requirements in Chapter 63 of the Land Development Code;
 19. The Applicant shall comply with applicable conditions and requirements provided by Miami-Dade County Public Works Department, Water and Sewer Department, Fire Rescue Department, and Regulatory and Economics Resources (“DRER”) prior to issuance of building permit;
 20. The hours of operation during the construction shall adhere to as per Noise Ordinance No. 2011-01;
 21. The Applicant shall submit a construction staging plan for review and approval prior to commencement of construction. The staging area shall be kept clean at all times, adequately screened and located

- away from view of existing homes located adjacent to the construction site;
22. Access points for construction vehicles shall be identified as part of the construction plan submitted to the City. Construction vehicles with access to the site shall adhere to existing “no thru truck” areas;
 23. The Applicant shall provide a Construction Air Quality Management Plan to the Department prior to the start of construction;
 24. A Stormwater Pollution Prevention Plan (“SPP Plan”) must be submitted by the Applicant at time of building permit. The SPP Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where top soil will be removed and contours of slopes will be cleared. The SPP Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The SPP Plan shall remain on-site for the duration of the construction activity;
 25. The Applicant shall preserve existing trees (including native trees) during the development of the project, wherever possible. If the trees must be removed, the Applicant shall be required to mitigate the impact in accordance with DRER requirements. If the relocated trees do not survive, the Applicant shall be required to replace the trees in compliance with DRER requirements;
 26. The Applicant shall meet the requirements of the Miami-Dade County Water-Use Efficiency Standards Manual, effective January 2009, as may be amended from time to time;
 27. All stormwater shall be retained on site in accordance with applicable law;
 28. All stormwater drainage systems shall be maintained in working conditions at all times in order to avoid localize flooding during and after a storm;
 29. Parking shall be prohibited on top of any drainage inlet or drainage manhole;
 30. Developer shall be responsible for providing the City a certified drainage inspection report prior to the issuance of a certificate of occupancy;
 31. Noncompliance with the approved site plan and the terms of this approval shall be considered a violation of the City Code.

Violation of the conditions may result in a code compliance citation or the revocation of this resolution.

Section 3. **Effective Date.** This Resolution shall become effective upon its passage and adoption by the City Council, is binding on all successors, and assigns.

The foregoing Resolution was offered by Councilmember Cabrera who moved its adoption. The motion was seconded by Vice Mayor Rodriguez and upon being put to a vote, the vote was as follows:

Mayor Juan Carlos Bermudez	Yes
Vice Mayor Ana Maria Rodriguez	Yes
Councilman Pete Cabrera	Yes
Councilwoman Christi Fraga	Yes
Councilwoman Claudia Mariaca	Yes

PASSED AND ADOPTED this 21 day of March, 2018.



JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:



CONNIE DIAZ, CMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



WEISS, SEROTA, HELFMAN, COLE & BIERSMAN, P.L.
CITY ATTORNEY

EXHIBIT “A”

EXHIBIT "A"

LEGAL DESCRIPTION

Folio: 35-3021-001-0311

The West 1/2 of Tract 32, LESS the North 40 feet, in Section 21, Township 53 South, Range 40 East, FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1, according to the Plat thereof, as recorded in Plat Book 2, Page 17, of the Public Records of Miami-Dade County, Florida.

EXHIBIT “B”

"The Shoppes @ 97th Ave"

96XX N.W. 58th Street

Doral, FL. 33178



Index of Drawings- Site Plan Submittal

A-0	COVER SHEET	△△△△
LS-3069	BOUNDARY SURVEY	
A-1.0	OVERALL SITE PLAN	△△△△
A-2.0	FLOOR PLANS - BUILDINGS A,B,C & D	△△
A-3.0	EXTERIOR ELEVATIONS - BUILDINGS A,B,C & D	△△
A-3.1	RENDERINGS	
E-1.0	SITE LIGHTING PLAN W/ PHOTOMETRIC STUDY	
LP-1	LANDSCAPE PLANTING PLAN	△△△△
LP-2	RAIN GARDEN	△△
LP-3	PLANTING DETAILS AND SPECS	△△△△
IR -1	IRRIGATION PLAN	△△

Revisions

△	SITE PLAN COMMENTS	08-24-17
△	PW & ZONING COMMENTS	11-15-17
△	SITE PLAN SUBMITTAL COMMENTS	01-02-18 & 01-10-18
△	LANDSCAPING COMMENTS	02-04-2018

Architect:

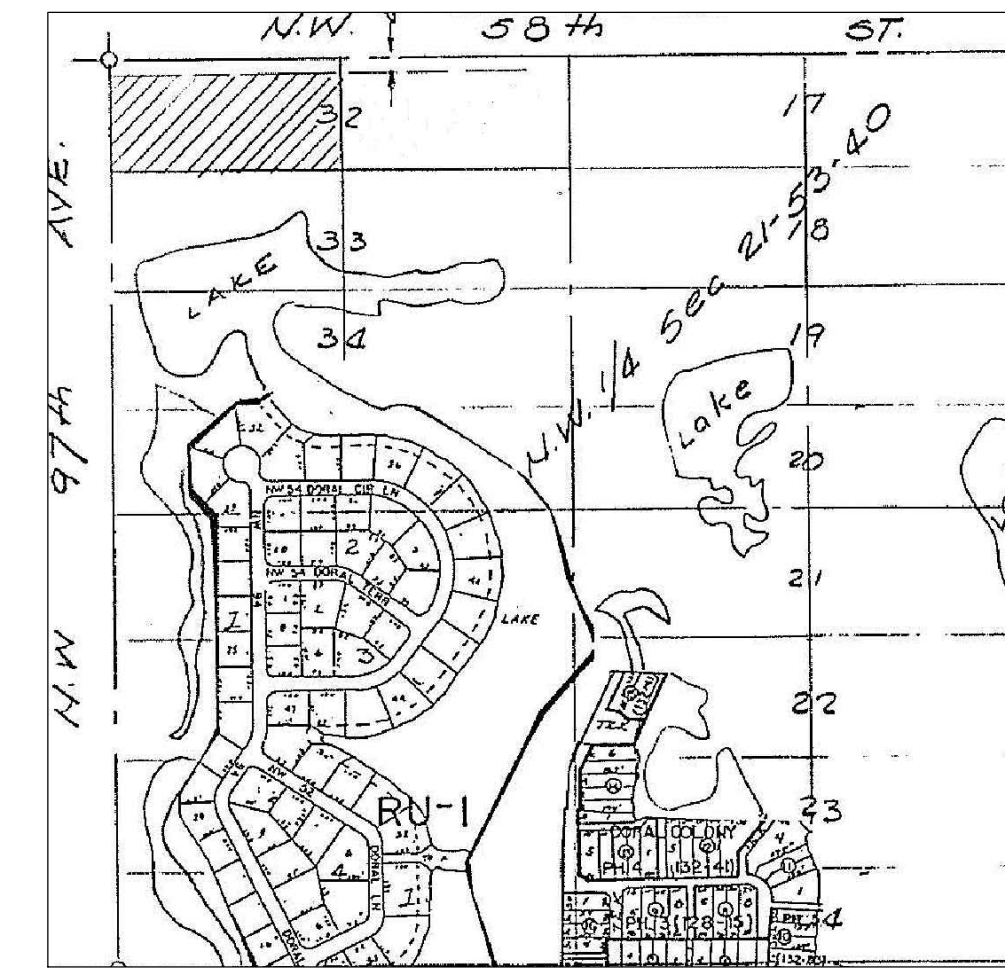
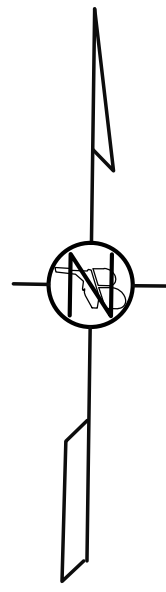


CABRERA RAMOS
Architects, Inc.

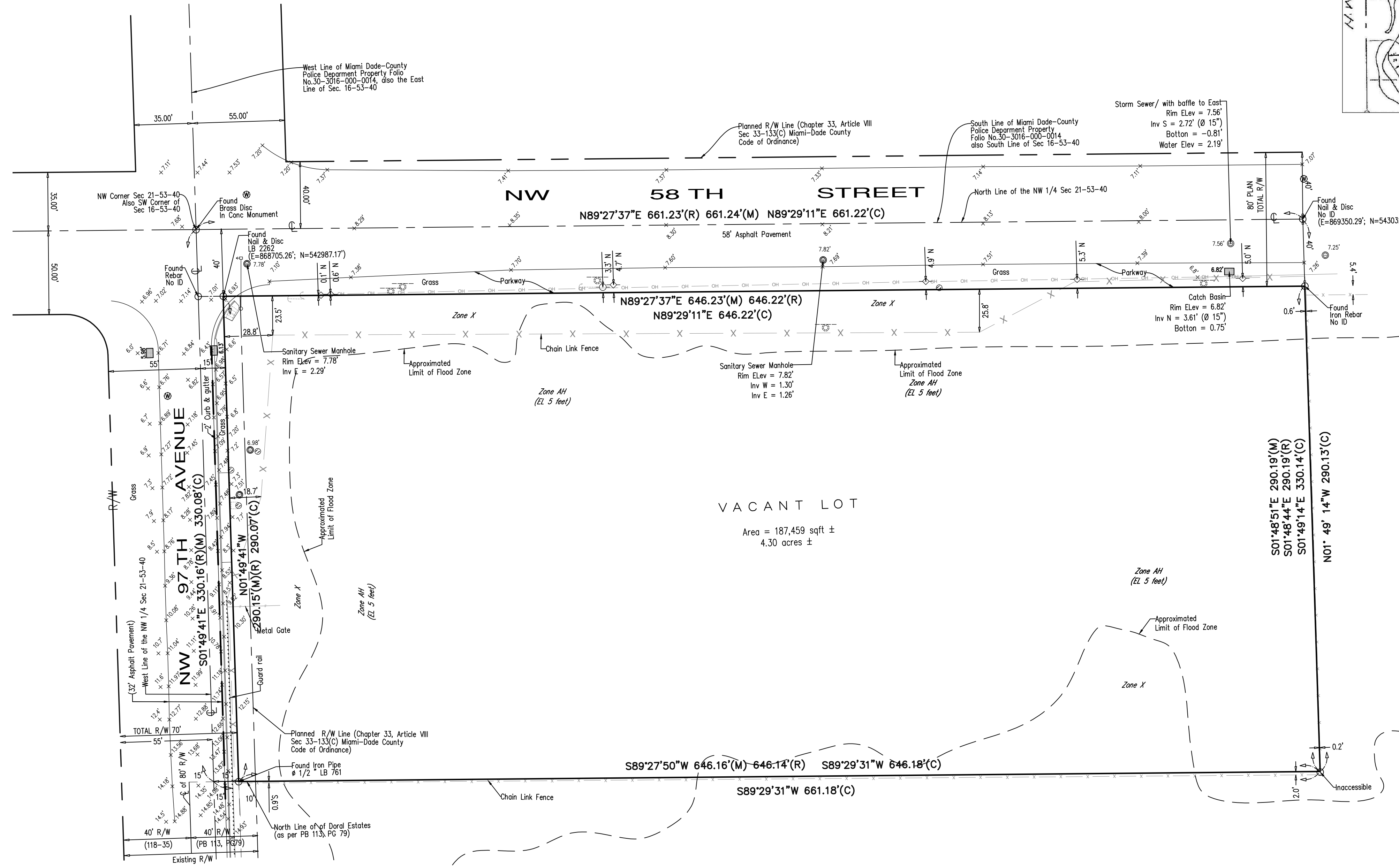
9851 N.W. 58 ST. # 107,
Doral, Florida 33178
tel: (305) 593-0750
fax: (305) 593-8862
AA C001621



SKETCH OF BOUNDARY SURVEY



LOCATION MAP
Not to Scale



VACANT LOT
Area = 187,459 sqft ±
4.30 acres ±

- ABBREVIATIONS:**
- (C) Calculated Dimension
 - (M) Measured Dimension
 - (R) Record Dimension
 - Fnd Found
 - IP Iron Pipe
 - R/W Right of Way
 - CBS Concrete Block Structure
 - PB Plat Book
 - PC Page
 - Centerline Centerline
 - Conc. Concrete
 - sq ft Square feet
 - CPP Corrugated Plastic Pipe

- SYMBOL LEGEND**
- Catch Basin
 - Water Valve
 - Single Support Sign
 - Wire Pullbox
 - Manhole Drainage
 - Manhole Unmarked
 - Centerline
 - Manhole Drainage
 - Concrete Pole
 - Overhead utility line
 - Fiber Optic Witness
 - Property Corner
 - Wood Pole

LEGAL DESCRIPTION:
The West 1/4 of Tract 32, less the North 40 feet in Section 21, Township 53 South, Range 40 East, FLORIDA FRUIT LAND COMPANY'S SUBDIVISION, No. 1, according to the Plat thereof, as recorded in Plat Book 2, at Page 17, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:
Bearings are based on an assumed meridian, where the West line of the Northwest 1/4 of Section 21, Township 53 South, Range 40 East, bears North 01°49'41" West. The original base of bearing used on the Sketch of Boundary Survey prepared by this office on May 07, 1998 with last updated revision on June 01, 2016 was North 00°00'33" West based on the information as it appears on the Plat of DORAL ESTATES as recorded in Plat Book 113 at Page 79 of the Public Records of Miami Dade County, Florida for the West line of the Northwest 1/4 of said Section 21; said base of bearing for the West line of the Northwest 1/4 of said Section 21 was translated and rotated on this new update survey dated May 31, 2017, to match with the recovered alignment and location of said West line of said Section 21 based on Horizontal Coordinates values obtained using State Plane Coordinate System, North American Vertical Datum (NAVD 88 datum), Florida East Zone. All distances as shown are based on the US Survey foot.

The client provided the legal description to the surveyor. The legal description as described herein is based on the Miami-Dade County Property Appraiser's Property Information Map for Tax Folio No. 35-3021-001-0311 and the WARRANTY DEED recorded in Official Record Book 23723, at Page 78 of the Public Records of Miami-Dade County, Florida. No title search has been conducted by nor was a title report provided to the surveyor. There may exist easements, rights of way and/or other encumbrances affecting the subject property not disclosed hereon that a title report would evidence.

This SKETCH OF BOUNDARY SURVEY is based on: (i) recovered monumentation; (ii) the underlying record plat of FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1, recorded in Plat Book 2 at Page 17; (iii) the adjacent plat of DORAL ESTATES, recorded in Plat Book 113 at Page 79; (iv) the adjacent plat of PATIO HOMES OF DORAL PINES FIRST ADDITION, recorded in Plat Book 141 at Page 92; (v) the adjacent plat of DORAL PARK NORTHEAST, recorded in Plat Book 118 at Page 35; and (vi) the Miami-Dade County Township Survey for Township 53 South, Range 40 East.

A comparison between measured (M), record (R) and calculated (C) dimensions is delineated hereon. Measured dimensions (M) are based directly on the recovered monumentation. Record dimensions (R) are based on the Miami-Dade County Township Survey Map for Township 53 South, Range 40 East. Calculated dimensions (C) are a protraction based on the Legal Description; the plat of FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1; the adjacent plats noted above; field measurements and the Miami-Dade County Township Survey for Township 53 South, Range 40 East. Although the information depicted on the Miami-Dade County Township Survey was prepared from the best available information, Miami-Dade County assumes no responsibility for any errors or omissions. The interior tract lines are based on a proportional division of the Northwest 1/4, of said Section 21 prior to applying the 10 foot dedication noted on the said plat of FLORIDA FRUIT LAND COMPANY'S SUBDIVISION, No. 1, as evidenced on the aforementioned right of way map and recovered monumentation.

The Horizontal coordinates as shown hereon were derived using the TopNET GNSS Network, a Network Real Time Kinematic (NRTK) service. The Network broadcasts in NAD 83 and NAVD 88 datums with stated horizontal accuracies to 0.04 and vertical accuracies to 0.07. Horizontal coordinates are based on the State Plane Coordinate system, Florida East Zone.

Elevations are referred to the National Geodetic Vertical Datum, 1929 (NGVD). Elevations are based on Miami-Dade County Benchmark H-331 R, the same being a Brass Disc in concrete monument in the SE corner of Sec 17-53-40, elevation 7.17 feet.

The accuracy obtained for all horizontal control measurements and office calculations of closed geometric figures, meets or exceeds the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter 5J-17.051 of 1 foot in 10,000 feet for Commercial Areas. The elevations as shown are based on a closed level loop to the benchmark noted above, and meets or exceeds the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter 5J-17.051(3)(b)15 a FAC, of a closure in feet of plus or minus 0.05 feet times the square root of the distance in miles.

Right of Way as shown is based on the recorded Plats and the record description. Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not

purport to reflect any recorded instruments or Right-of-Way other than shown on the underlying recorded plat, the adjacent recorded plats or stated in the legal description, as it appears on this drawing. The planned right of way line (Zoned Right of Way) as shown hereon is pursuant to the Code of Ordinances of Miami-Dade County, Florida, Chapter 33, Article VIII, Section 33-133 - Right-of-way plan and minimum width of streets and ways. Under Section 33-133(C) on all section lines, eighty (80) feet shall be the minimum right-of-way width.

Note: There maybe additional right of way required, over and above the minimum right of way width noted above for NW 97th Avenue in order to provide a transition in the East right of way of NW 97th Avenue, North and South of NW 58th Street. Details for the transition were not available from the Miami-Dade County Public Works and Waste Management Department, Right-of-Way Division at time of Survey.

The subject property lies within two flood areas. That portion of the subject property, representing 70% more or less of the total area of the lot lies within a Special Flood Hazard Area (SFHA) as defined by the Federal Emergency Management Agency. The National Flood Insurance Rate Map for City of Doral, Florida, No. 12086C0278 L, Community No. 120041, bearing an effective and revised date of September 09, 2009, delineates that portion of the herein described land to be situated within Zone "AH", base flood elevation 5 feet. The balance, 30% more or less of the herein described lands lies within Zone X, an area of minimal flood hazard and outside of the 0.2% annual chance floodplain.

No encroachments were noted by this survey, except as shown hereon. The ownership of the fences and/or walls as shown hereon was not determined. The Surveyor has performed no subsurface investigation or determined the location of underground footers.

Only the surface indications of the underground utilities have been located in the field. The location of underground utility lines on or adjacent to the property was not secured. The Surveyor has performed no subsurface investigation or determined the location of underground footers. It should be noted that there may be other underground utilities in addition to those evidenced by visible appurtenances shown on this sketch. The owner or his agent should verify all utility locations with the appropriate utility provider before using.

The total area of the Surveyed Parcel as described herein contains 187,459 square feet more or less or 4.30 Acres more or less by calculation.

Note: There is evidence of clearing, grubbing and backfilling within the limits of the property. The location of the actual line of vegetation was not part of this update survey.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital format of this Survey. This map is intended to be displayed at a scale of 1"=40'

SURVEYOR'S CERTIFICATION:

To: 97th Property LLC, 2260 NW 114th Avenue Doral, Florida 33172

This is to certify to the herein named firm and/or persons, that in my professional opinion, this map or plat of the herein described property is true and correct as recently surveyed and platted under my direction. I further certify that this map or plat and the survey on which it is based meets the Standard of Practice, adopted by the Board of Professional Surveyors and Mappers, pursuant to Chapter 472.027 Florida Statutes, as set forth in Chapter 5J-17, Florida Administrative Code, under Sections 5J-17.051 and 5J-17.052 and is a "BOUNDARY SURVEY" as defined in Section 5J-17.050(10)(b).

Dated:
E.R. BROWNELL & ASSOCIATES, INC.

Thomas Brownell, Executive Vice President
Professional Land Surveyor # 2891
State of Florida

The survey map and notes and/or report or the copies thereof are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper. Any Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.

C:\Projs\57820_NW_58_ST_AND_97_AVE\57820_BOUNDARY_SURVEY_NW_58_ST_97_AVE_UPDATED_6-1-2017.dwg

E.R. Brownell & Associates, Inc.
CONSULTING ENGINEERS
LAND PLANNERS
SURVEYORS & MAPPERS
Miami, Florida, 33133
305-860-3870 (FAX)
WWW.ERRBROWNELL.COM

Drawn by: KAB
Checked by: TB:AAP
Ref.: " "=40'
Scale: 1"=40'
F.B. No.:
Date: 05/07/16
Certification No.: LB761

NW 58 STREET & 97 AVE

No.	Date	Appl.	Job No.	Description
1	05/16/14	TB	56201	Update Survey
2	11/05/14	AA	57820	Update Survey
3	06/07/16	AA	57820	Update Survey
4	6/7/17	TB	57820	Update Survey to show cross sections along 97th avenue and invert elevations

Sheet: 1 OF 1
J.N. 57820
Sk. No. LS-3069

ZONING INFORMATION

ZONING CLASSIFICATION CORRIDOR COMMERCIAL (CC)
 GROSS LOT AREA: 187,893 SF ± 4.30 AC
 NET LOT AREA: 180,200 SF ± 4.13 AC

SETBACKS
 CORRIDOR CODE OF ORDINANCES 11-15-17
 FRONT: REQUIRED 20'-0" PROVIDED 27'-5"
 REAR: REQUIRED 5'-0"/15'-0" PROVIDED 15'-0"
 SIDE STREET: REQUIRED 15'-0" PROVIDED 25'-11"
 INTERIOR SIDE: REQUIRED 5'-0"/15'-0" PROVIDED 15'-3"

OPEN SPACE
 CORRIDOR CODE OF ORDINANCES 11-15-17
 TOTAL OPEN SPACE: REQUIRED 30,634 SF. PROVIDED 54,080 SF.
 PERCENTAGE: 17% 30%

BUILDING AREAS

BUILDING A
 RETAIL AREA - GROUND FL. 26,175 SF
 COVERED TERRACE - GROUND FL. 1,510 SF
 COVERED AREA 1 & 2 - GROUND FL. 4,250 SF
 OPEN PARKING GARAGE - SECOND FL. 35,760 SF
 TOTAL BUILDING A: 67,695 SF

BUILDING B
 RETAIL 4,275 SF
 TOTAL BUILDING B: 4,275 SF

BUILDING C
 RETAIL 4,275 SF
 TOTAL BUILDING C: 4,275 SF

BUILDING D
 RETAIL 3,120 SF
 TOTAL BUILDING C: 3,120 SF

FUTURE BANK OUT PARCEL
 FUTURE BANK OUT PARCEL 2,500 SF

TOTAL AREA - GROUND FL. 43,605 SF
 INCLUDING COVERED AREAS
 TOTAL AREA (GARAGE) - SECOND FL. 35,670 SF
 TOTAL OUT PARCEL AREA 2,500 SF
 TOTAL AREA 81,775 SF
 INCLUDING BANK OUT PARCEL

PARKING CALCULATIONS

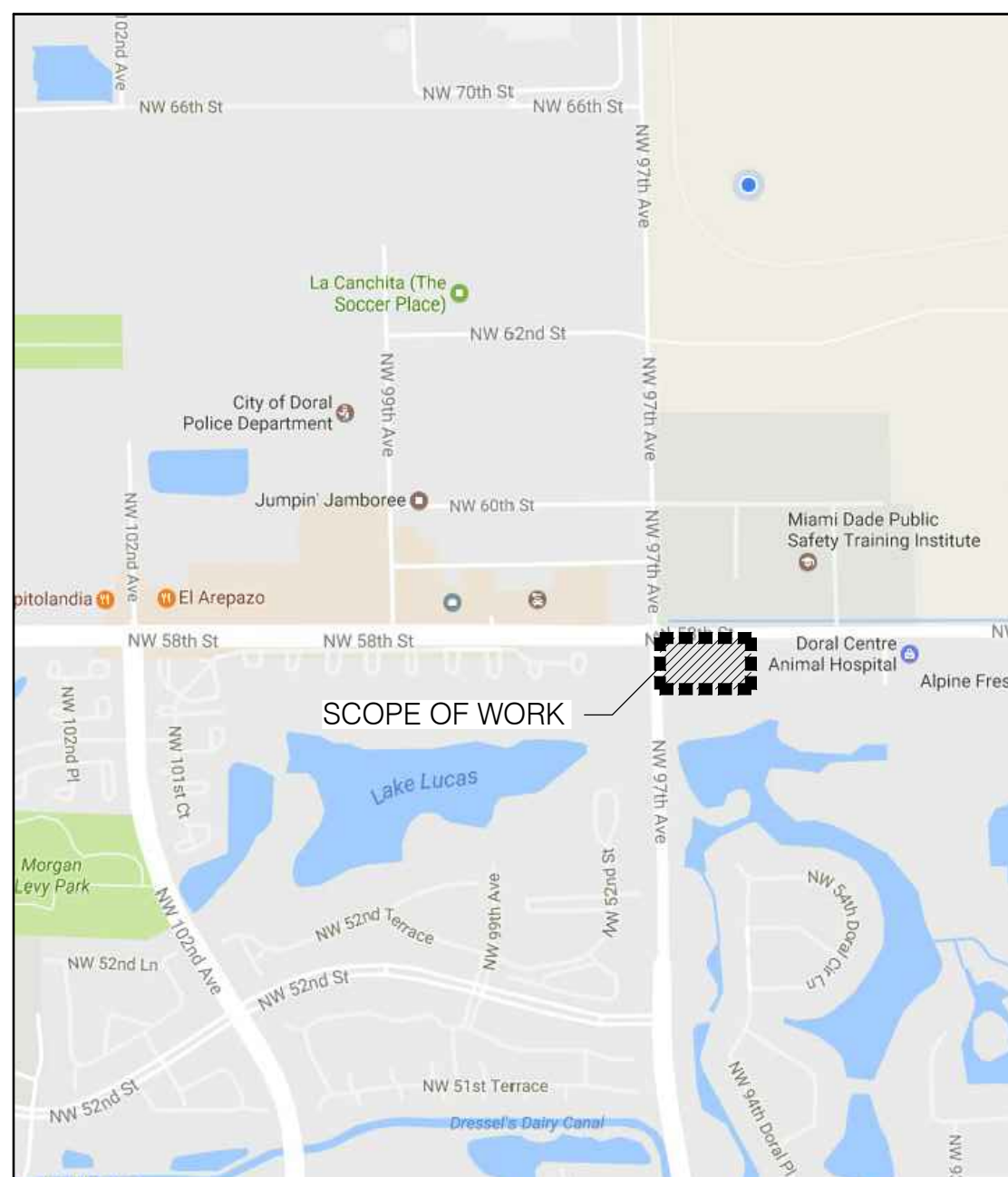
RETAIL: 37,845 SF / 250 SF = 151.38
 OUT PARCEL: 2,500 SF / 250 SF = 10.0
 TOTAL PARKING REQUIRED: 161.38 PS
 PROVIDED: 162 PS
 ROOFTOP PARKING GARAGE: 86 PS
 GRADE LEVEL: 170 PS
 LOADING SPACES: 4 SP
 BICYCLE SPACES: 01 X 162 + 162 = 17
 (INCLUDING 8 TOTAL HC SPACES WHERE 7 ARE REQ'D)
 BABY STROLLER PARKING (100 - 500 SP) 2 2

LOT COVERAGE

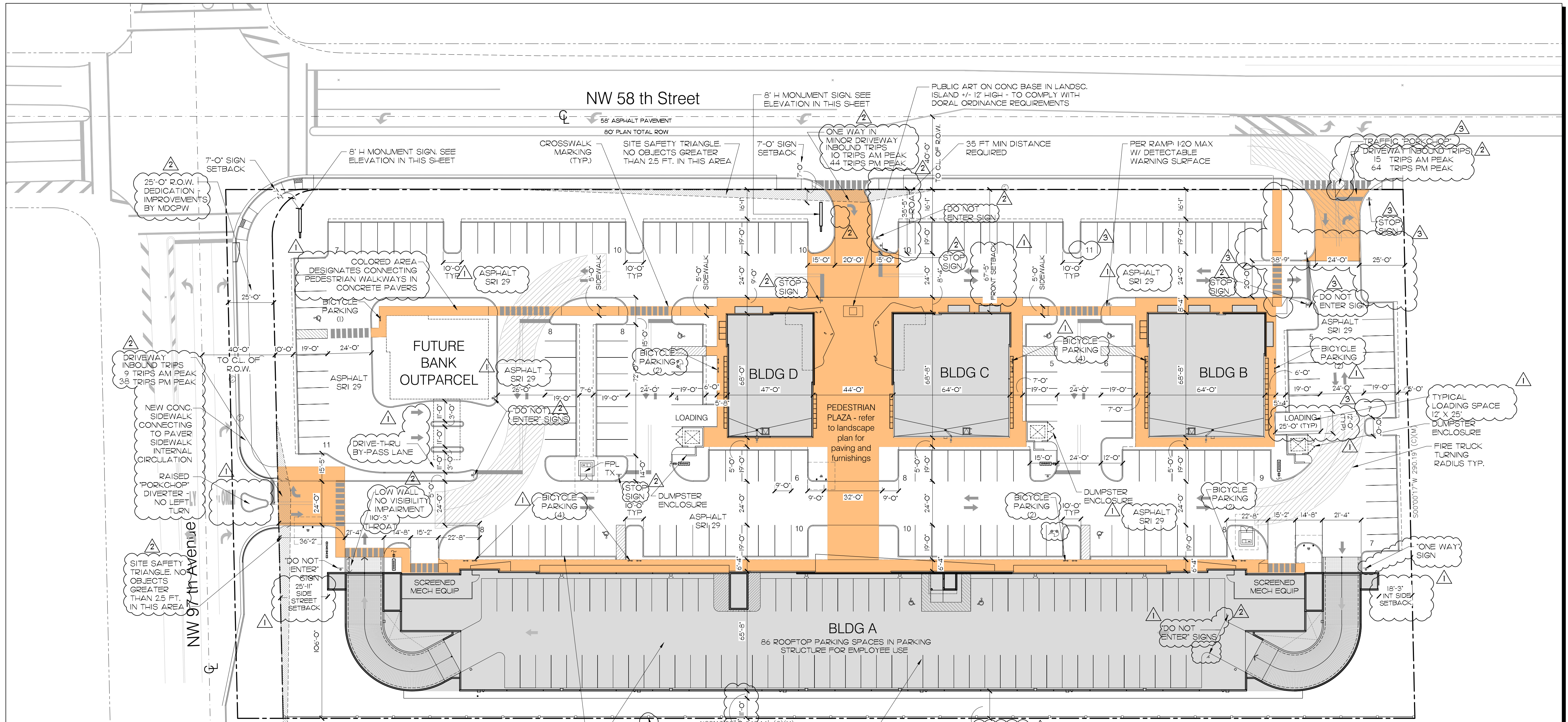
CORRIDOR CODE OF ORDINANCES 11-15-17
 LOT COVERAGE: MAXIMUM 30.100 SF. PROVIDED 47,655 SF. 26.41%
 PERCENTAGE: 50% 20.9%
 (NOT INCLUDING BANK OUT PARCEL)

F.A.R.

CORRIDOR CODE OF ORDINANCES 11-15-17
 F.A.R - GROUND FL. MAXIMUM 90,100 SF. PROVIDED 39,355 SF. 20.9%
 PERCENTAGE: 50% 20.9%
 (NOT INCLUDING BANK OUT PARCEL)



LOCATION SKETCH
 SCALE: N.T.S.



SITE PLAN
 SCALE: 1" = 30'-0"

LANDSCAPE BUFFER YARD DISTANCE TABLE

	DESIGN TYPE	WIDTH REQ'D.	WIDTH PROV.
NORTH BUFFER YARD MIAMI-DADE COUNTY INTENSITY FACTOR CC ZONING INTENSITY FACTOR WIDTH OF R.O.W.	5	7.5-2 REDUCED BY 2 FOR R.O.W. - 0 0 FEET	16'-1"
	7	7-7-0	5'-0"
	3	7-3-4 REDUCED BY 2 FOR R.O.W. + 2 10'-0"	10'-0"
EAST BUFFER YARD MIAMI-DADE COUNTY INTENSITY FACTOR CC ZONING INTENSITY FACTOR WIDTH OF R.O.W.	5	7.5-2 REDUCED BY 2 FOR R.O.W. - 0 0 FEET	16'-1"
	7	7-7-0	5'-0"
	3	7-3-4 REDUCED BY 2 FOR R.O.W. + 2 10'-0"	10'-0"
WEST BUFFER YARD MIAMI-DADE COUNTY INTENSITY FACTOR CC ZONING INTENSITY FACTOR WIDTH OF R.O.W.	5	7.5-2 REDUCED BY 2 FOR R.O.W. - 0 0 FEET	16'-1"
	7	7-7-0	5'-0"
	3	7-3-4 REDUCED BY 2 FOR R.O.W. + 2 10'-0"	10'-0"
SOUTH BUFFER YARD MIAMI-DADE COUNTY INTENSITY FACTOR CC ZONING INTENSITY FACTOR WIDTH OF R.O.W.	5	7.5-2 REDUCED BY 2 FOR R.O.W. - 0 0 FEET	16'-1"
	7	7-7-0	5'-0"
	3	7-3-4 REDUCED BY 2 FOR R.O.W. + 2 10'-0"	10'-0"

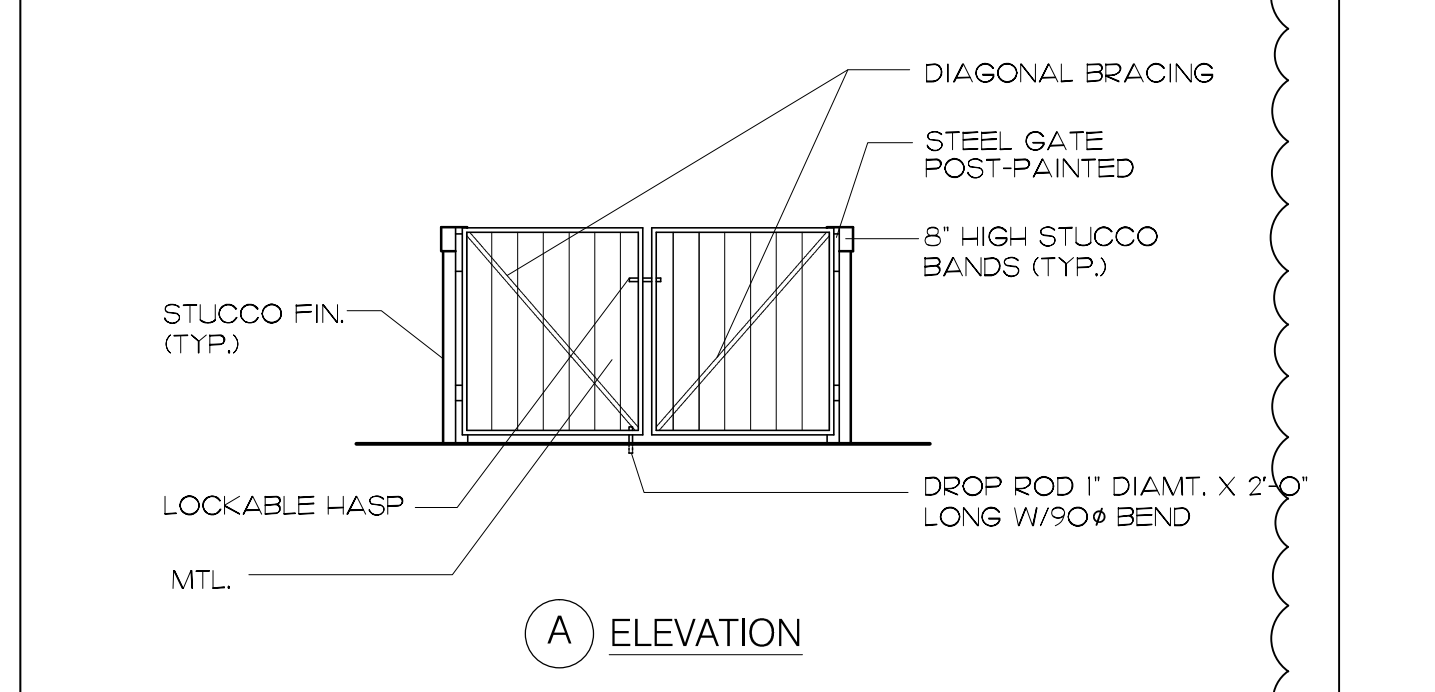
NOTE: REFER TO LANDSCAPE PLANS FOR TREE AND S-RUB CALCULATIONS.

PARKING SURFACES NOTE:

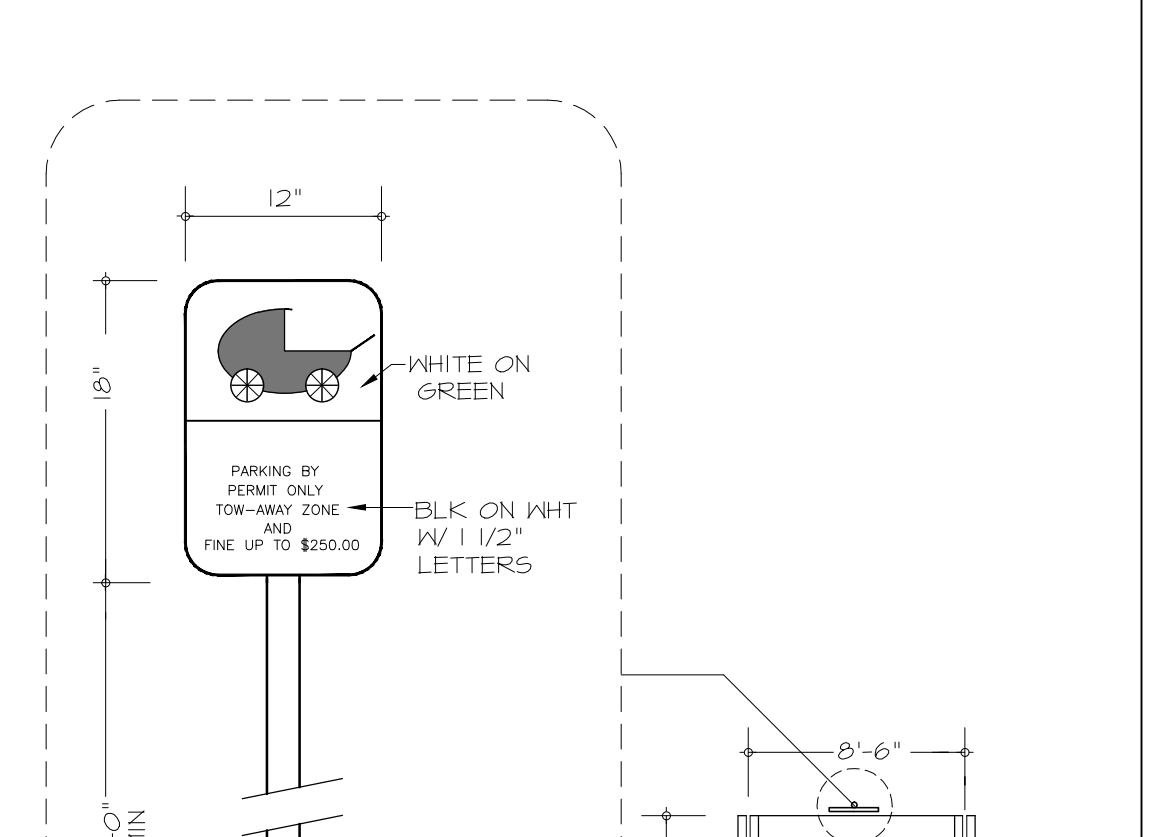
A MINIMUM OF 20 PERCENT OF ALL REQUIRED SURFACE PARKING ON A NON-RESIDENTIAL DEVELOPMENT SITE MUST BE CONSTRUCTED USING PERVIOUS, OR HEAT-REFLECTIVE MATERIAL WITH A SOLAR REFLECTIVE INDEX (SRI) OF 28 OR GREATER, EITHER AS OPEN CELL PAVERS, MANAGED TURF, POROUS PAVING AND/OR OTHER PROVEN MATERIALS AS PER LOCAL CODE OF ORDINANCES SEC. 77.195.
 ALL ASPHALT AREAS WILL BE PROVIDED WITH GAF STREETBOND 50 COATING WITH AN SRI VALUE OF 25. ASPHALT AREAS EXCEED 20 PERCENT OF ALL PERVIOUS AREAS ON THE PROJECT.
 PAVEMENT AREAS WILL BE PROVIDED WITH CONCRETE PAVERS ON SAND AS PER LANDSCAPING PLANS. PAVEMENT AREAS CONSTITUTE LESS THAN 50% OF THE PAVED AREA.

FLOOD PLAIN MANAGEMENT LEGEND

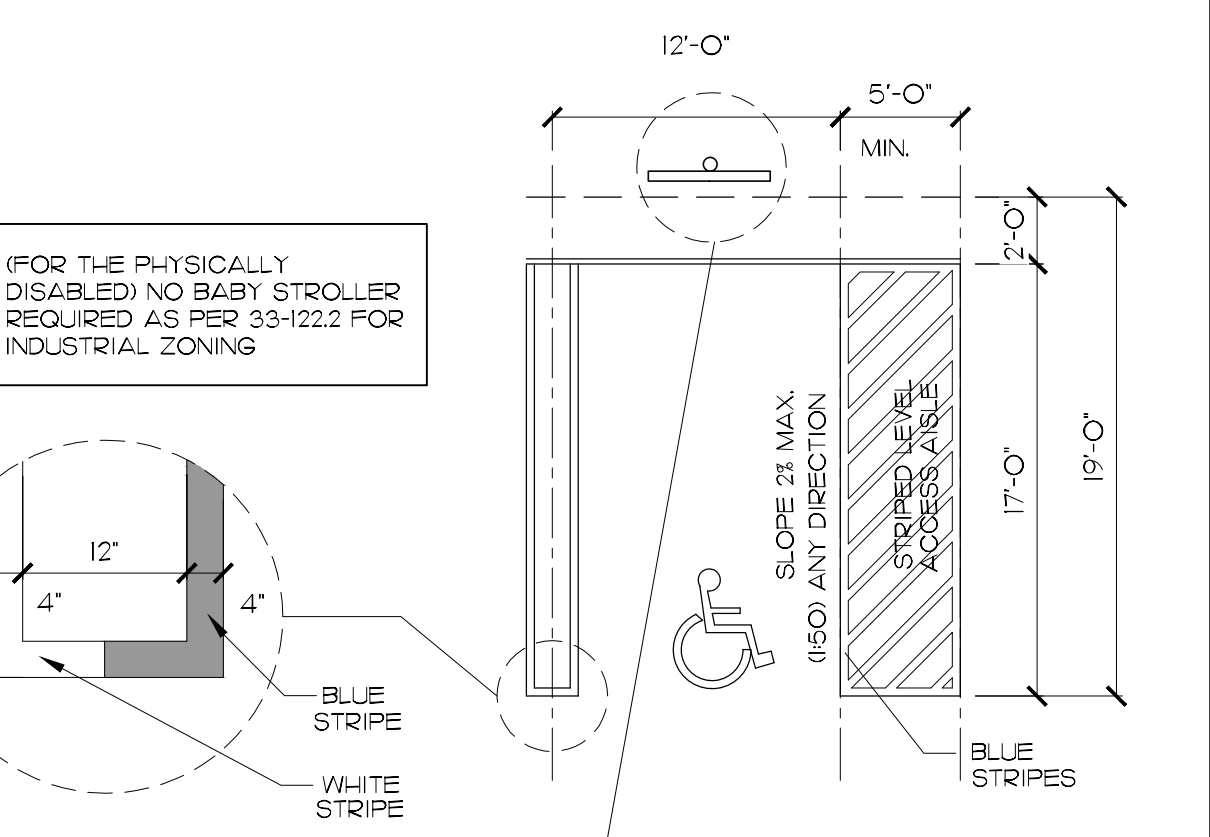
- A 70% MORE OR LESS OF THE TOTAL AREA OF THE LANDS DESCRIBED HEREIN LIES WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAMS (NFIP) FLOOD INSURANCE RATE MAP FOR MIAMI-DADE COUNTY, FLORIDA AND INCORPORATED AREAS MAP NO. 12086C027AL, COMMUNITY NO. 12004, BEARING AN EFFECTIVE/REVISED DATE OF SEPTEMBER 11, 2009 WITHIN ZONE AH, BASE FLOOD ELEVATION 5 FEET. THE MAP Delineates THE BALANCE OF THE HEREIN DESCRIBED LAND TO BE SITUATED WITHIN ZONE X, LYING WITHIN AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 - THE HIGH AND LOW ELEVATIONS OF THE BACK OF THE SIDEWALKS ABUTTING THE PROPERTY NW 97 AVE & NW 58 ST HAVE NOT BEEN INCLUDED BECAUSE THERE ARE NO SIDEWALKS EXISTING (NOT APPLICABLE).
 - THE HIGH AND LOW ELEVATIONS OF THE CROWN OF THE ROADS ABUTTING THE PROPERTY ARE AS FOLLOWS:
 - NW 97TH AVENUE HIGH ELEVATION + 7.34 NGVD
 - NW 97TH AVENUE LOW ELEVATION + 6.59 NGVD
 - NW 58TH STREET HIGH ELEVATION + 8.09 NGVD
 - NW 58TH STREET LOW ELEVATION + 7.50 NGVD
 - THE PROPOSED LOWEST FLOOR ELEVATION OF ALL FUTURE STRUCTURES TO BE CONSTRUCTED IS 8.56 NGVD.
 - THE PROPOSED ELEVATION OF FUTURE MACHINERY SERVICING THE PROPOSED BUILDING IS 8.56 NGVD.
- NOTE: THE PROJECT SHALL MEET THE REQUIREMENTS OF THE CITY'S FLOOD PLAIN MANAGEMENT ORDINANCE.



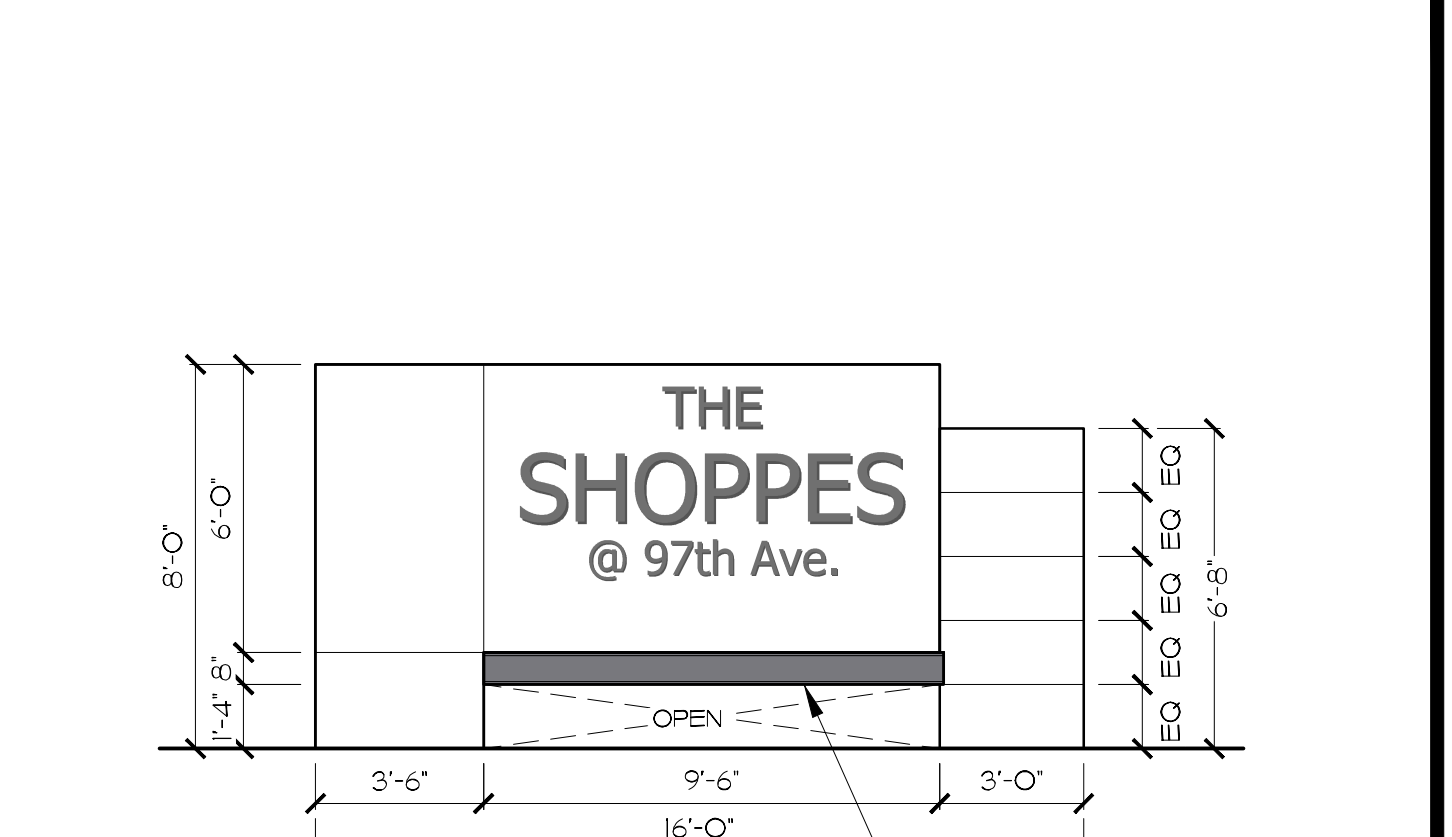
EXTERIOR DUMPSTER ELEVATION
 SCALE: 3/16" = 1'-0"



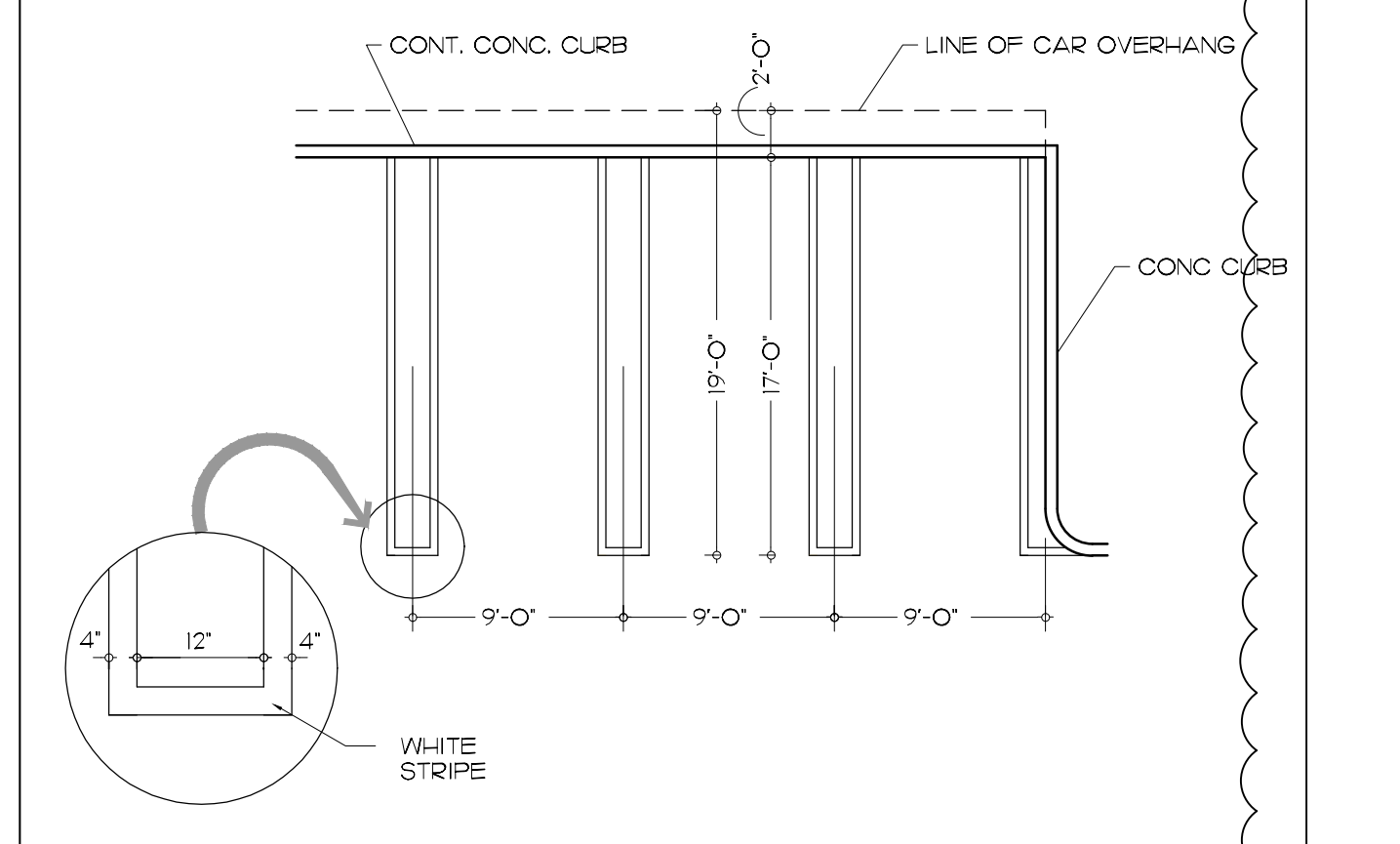
PARKING STALL DETAIL (FOR BABY STROLLERS)
 N.T.S.



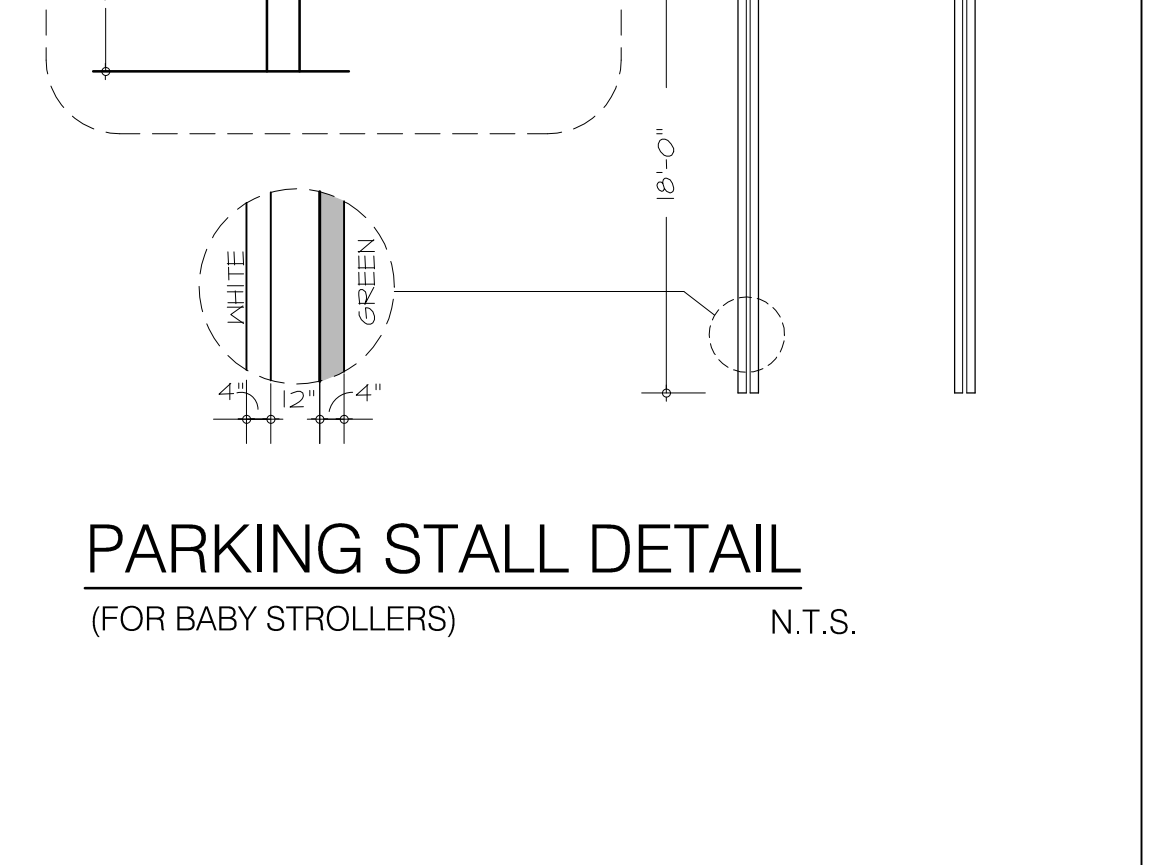
ACCESSIBLE PARKING STALL DETAIL
 N.T.S.



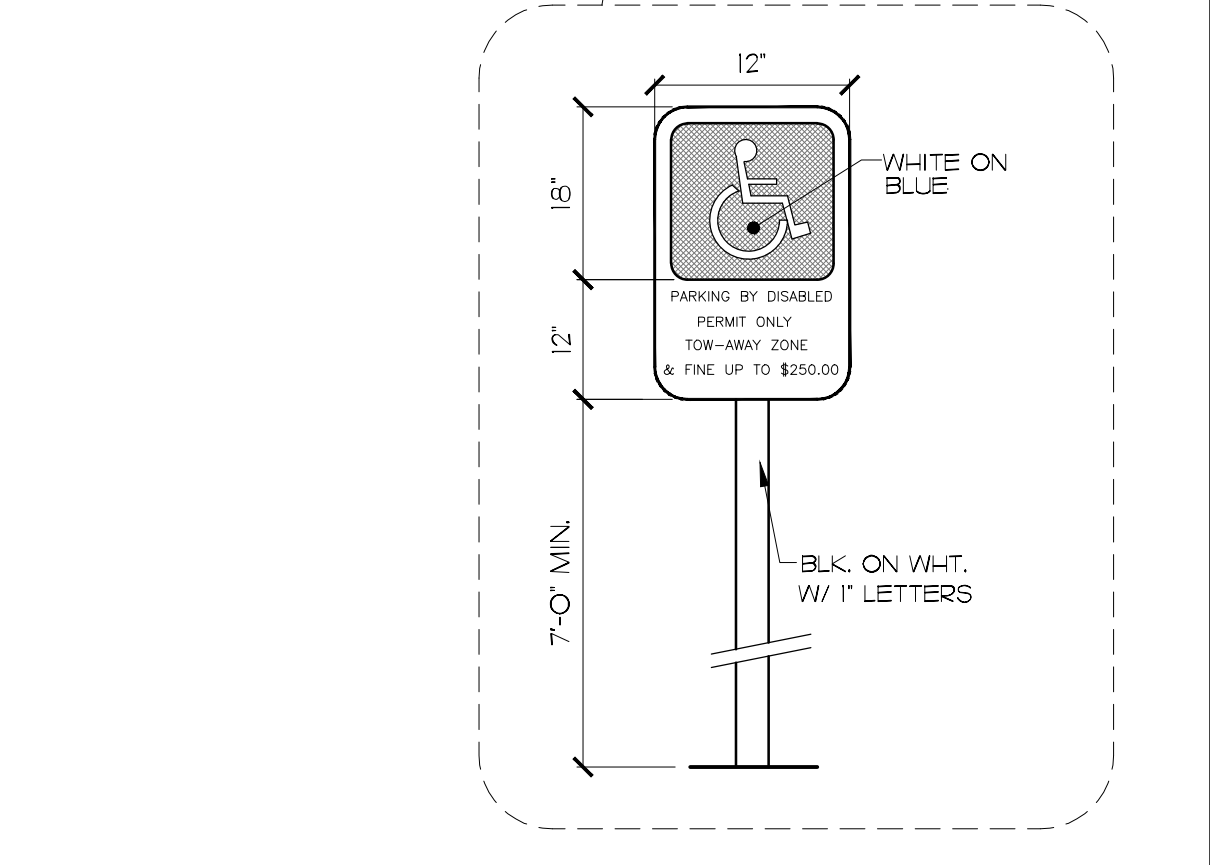
MONUMENT SIGN
 SCALE: 1/4" = 1'-0"



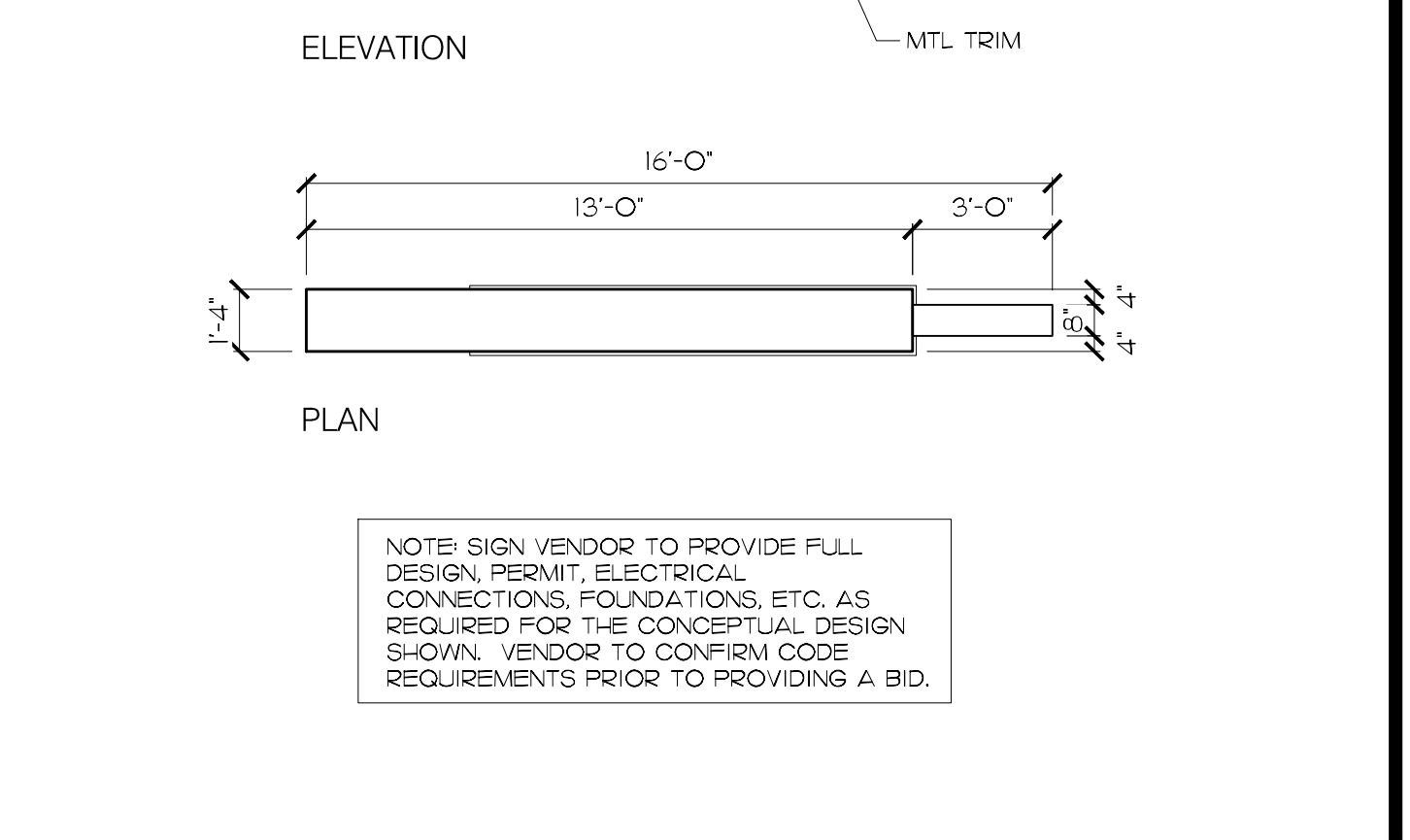
TYP. PARKING STALL DETAIL
 SCALE: N.T.S.



PARKING STALL DETAIL (For baby strollers)
 SCALE: N.T.S.



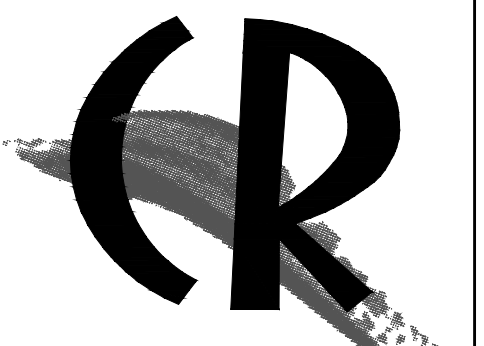
ACCESSIBLE PARKING STALL DETAIL
 SCALE: N.T.S.



MONUMENT SIGN
 SCALE: 1/4" = 1'-0"

- REVISIONS:**
- ▲ SITE PLAN COMMENTS 08-24-17
 - ▲ PW COMMENTS 11-15-17
 - ▲ SITE PLAN SUBMITTAL COMMENTS 01-02-18
 - ▲ SITE PLAN SUBMITTAL COMMENTS 02-04-18

The Shoppes @ 97th Ave
 Owner: 97 Property LLC c/o De la Cruz & Cutler, LLP (a Delaware Company)
 2260 NW 114 Ave, Miami, FL 33172
 Project Location: 96XX NW 58th Street, Doral, FL 33178



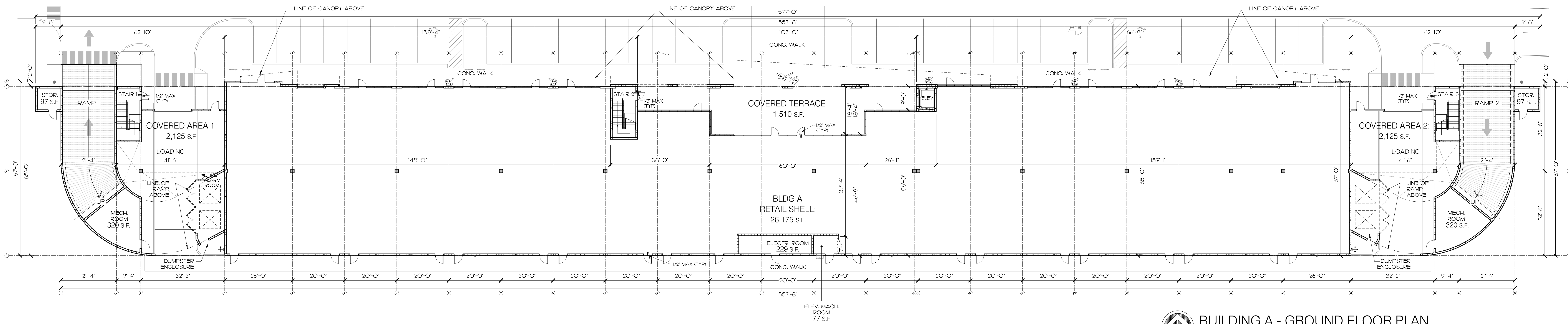
CABRERA RAMOS Architects, Inc.
 9851 NW 58 STREET, #107
 DORAL, FLORIDA 33178
 T: 305.593.0750 F: 305.593.8862
 AA C001621

MIGUEL A. CABRERA, JR., R.A.
 State Reg. No. AR13118
 ROSA E. RAMOS-BOTTA, R.A.
 State Reg. No. AR15209

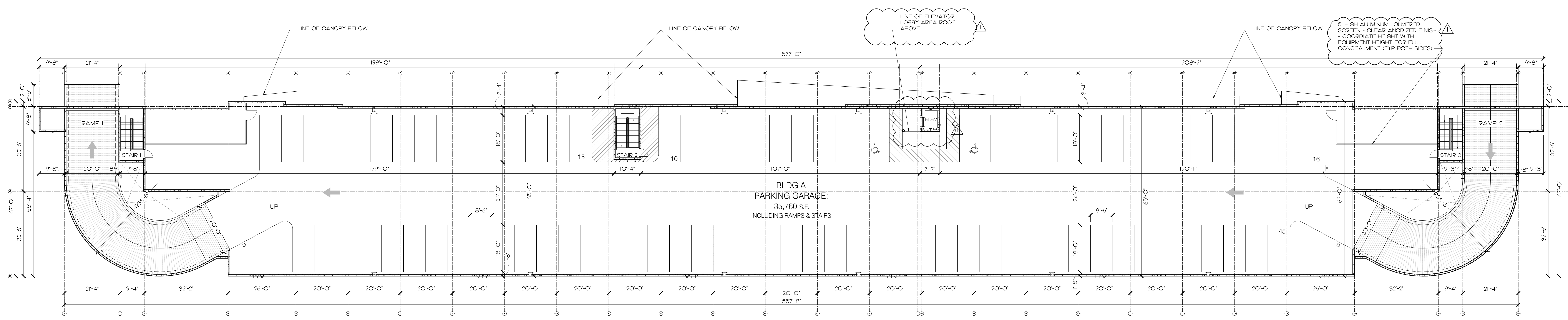
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DATE: 6-30-2017
 DRAWN: DRC
 CHECKED BY: MAC
 JOB NO.: 2136-16

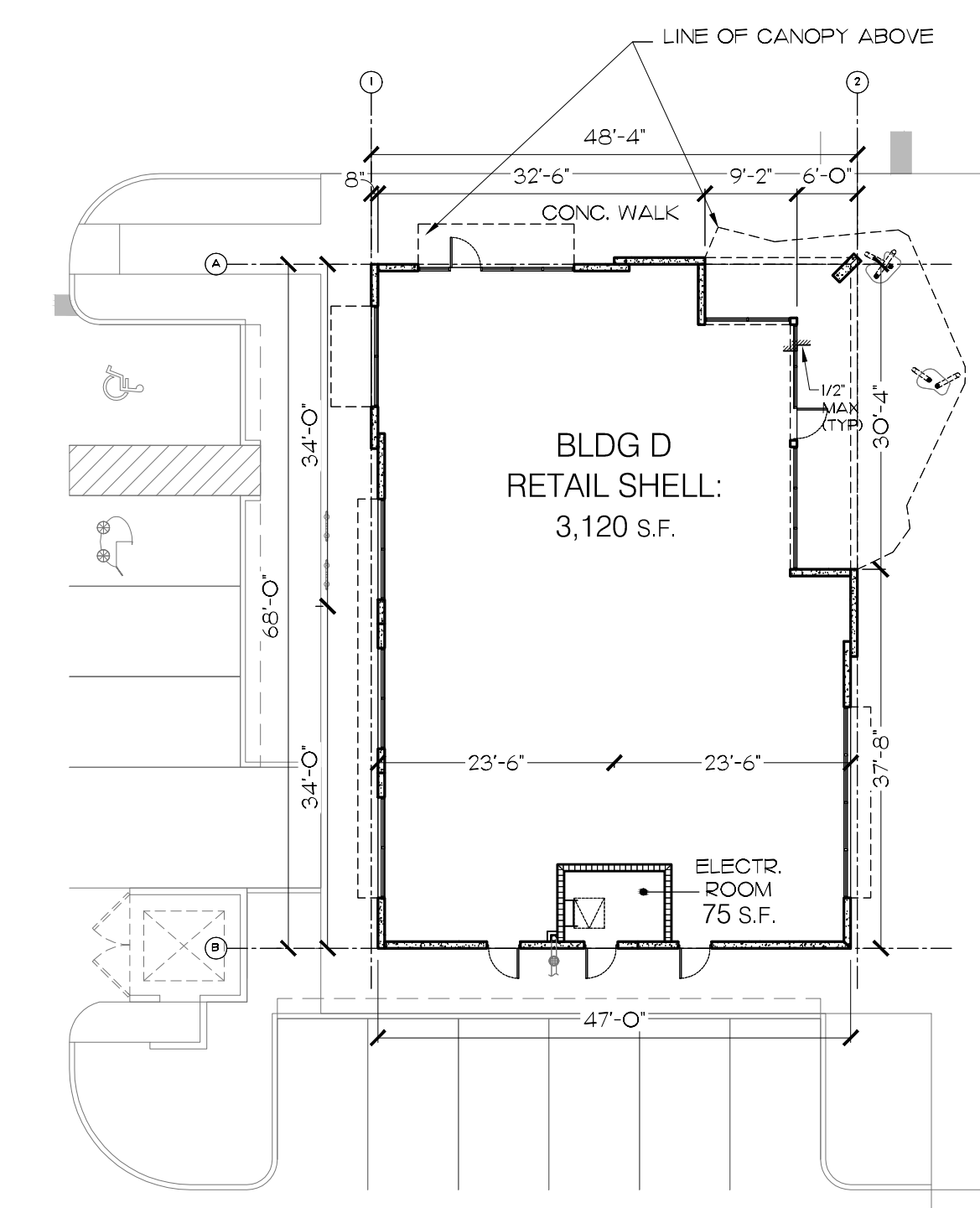
SEAL
 SHEET NO.



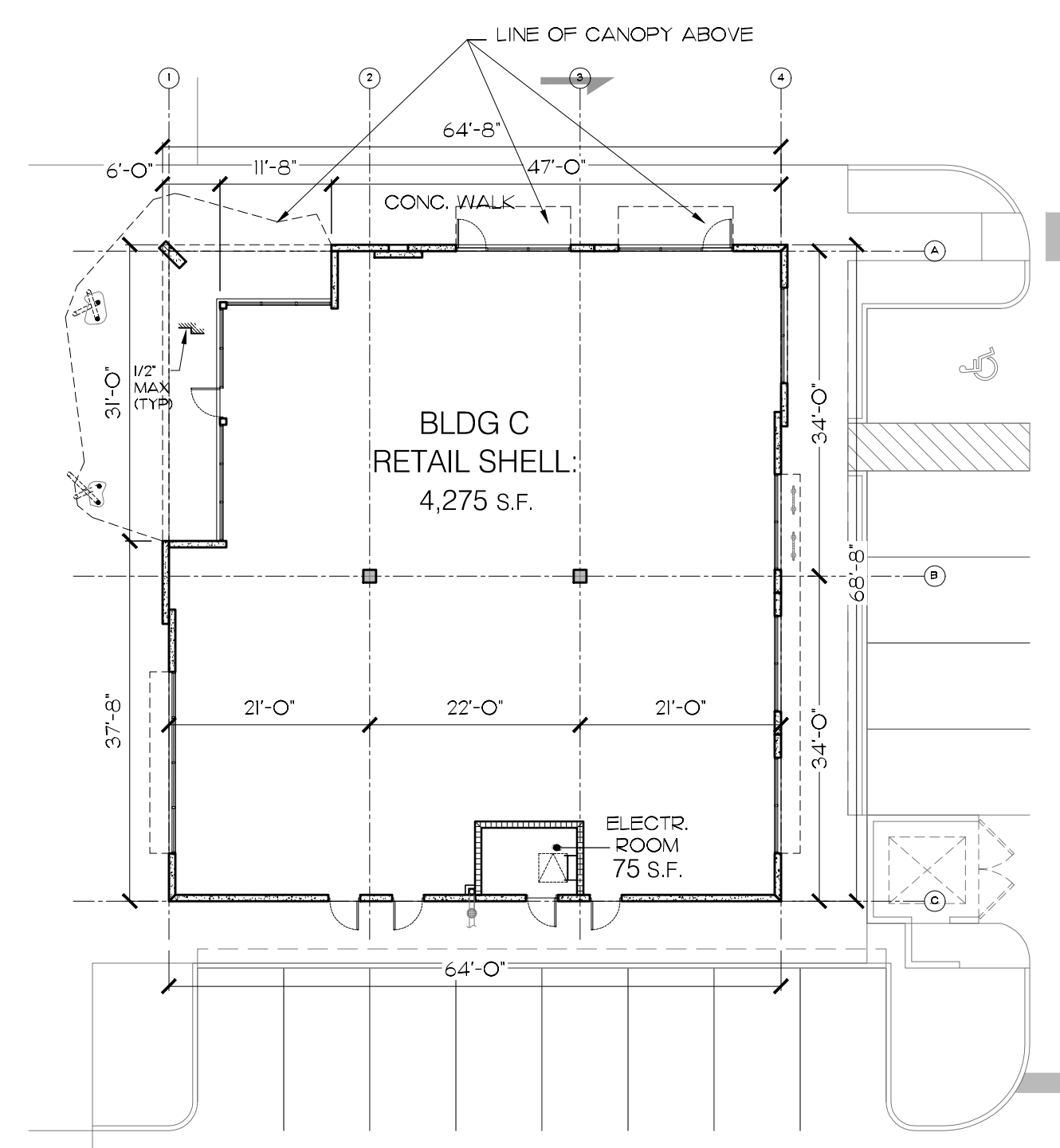
BUILDING A - GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"



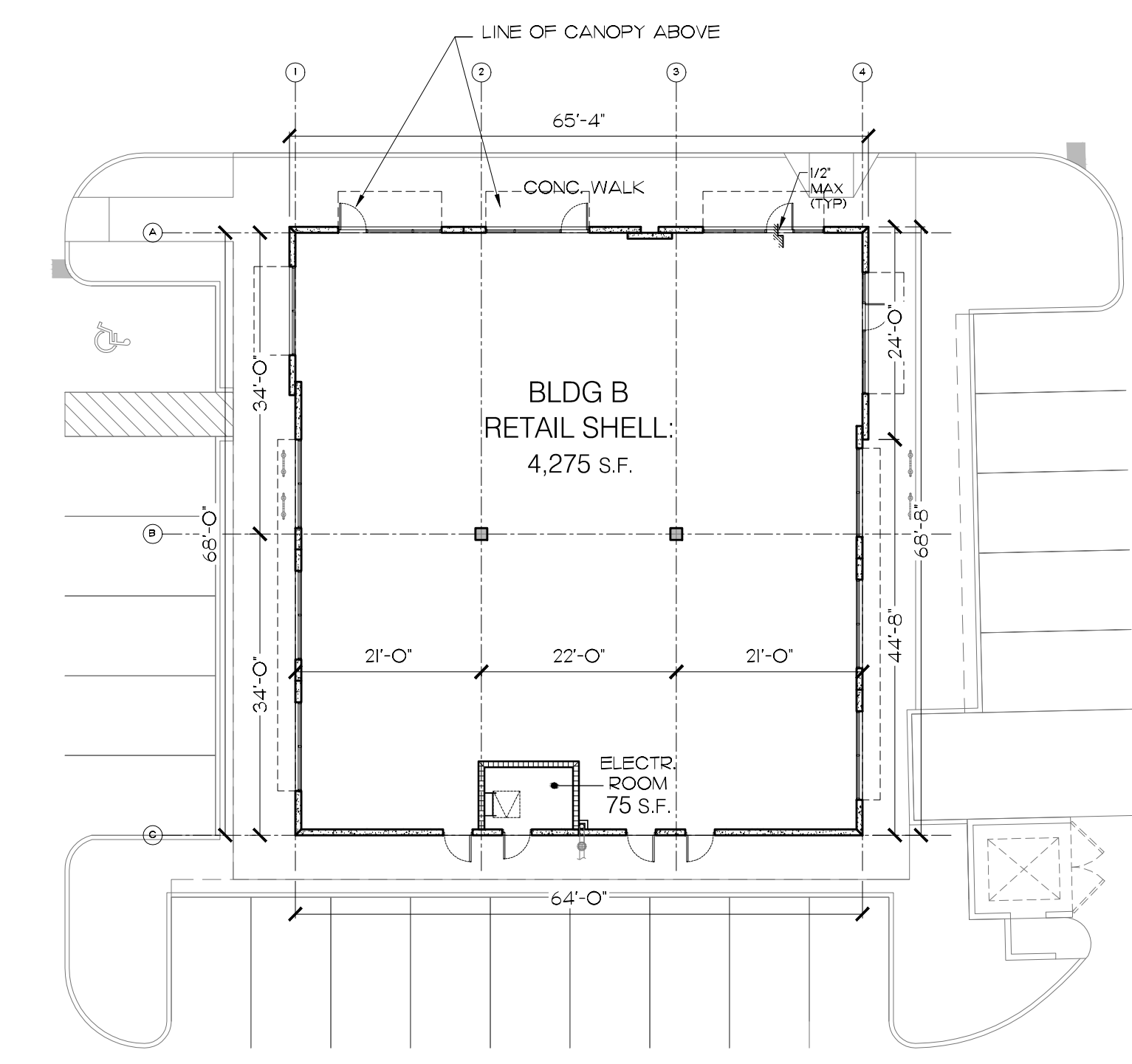
BUILDING A - SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



BUILDING D - FLOOR PLAN
SCALE: 1/16" = 1'-0"



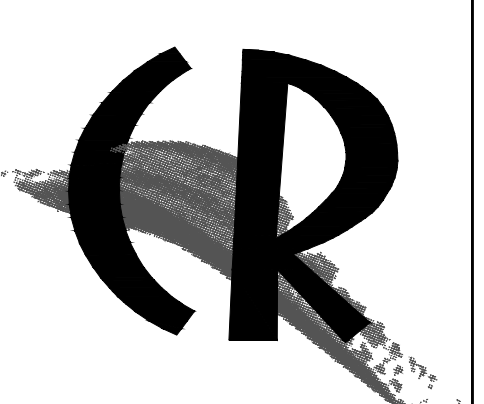
BUILDING C - FLOOR PLAN
SCALE: 1/16" = 1'-0"



BUILDING B - FLOOR PLAN
SCALE: 1/16" = 1'-0"

REVISIONS:
SITE PLAN COMMENTS
08-24-17

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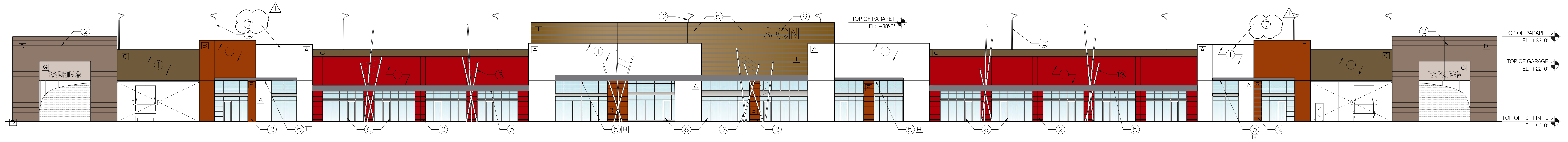
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CHECKED BY: MAC
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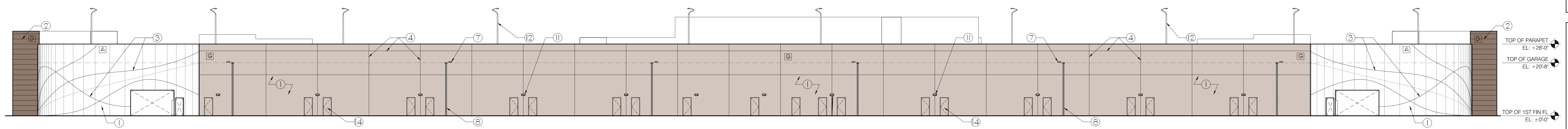
SEAL

SHEET NO.

REVISIONS:
 ▲ SITE PLAN COMMENTS 08-24-17



BUILDING A - FRONT ELEVATION - NORTH
 SCALE: 1/16" = 1'-0"



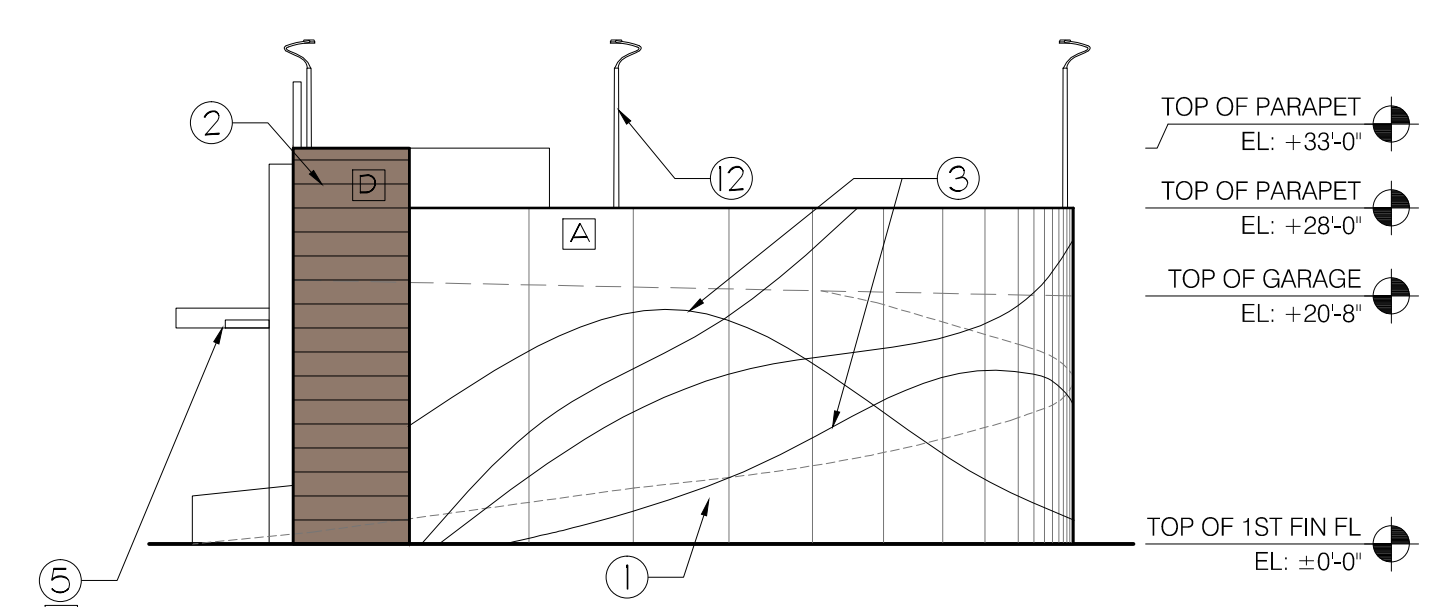
BUILDING A - REAR ELEVATION - SOUTH
 SCALE: 1/16" = 1'-0"

ELEVATIONS KEY NOTES

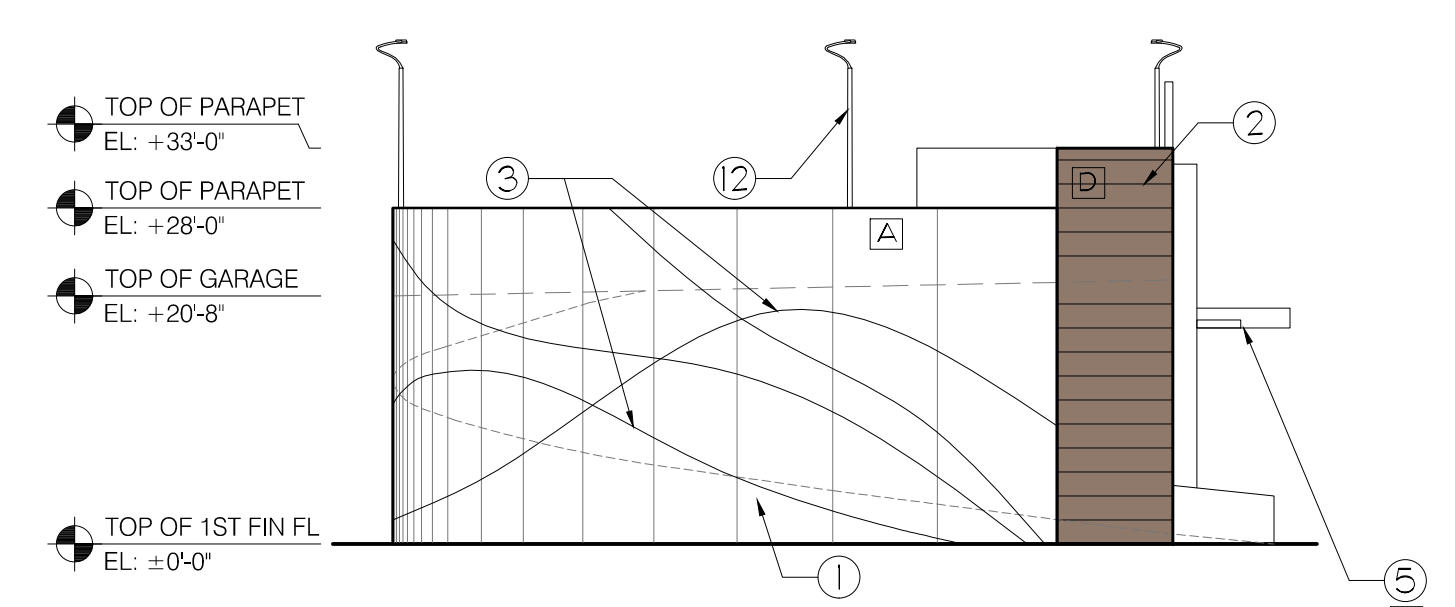
1 TILT PANEL WITH LIGHT TEXCOTE FINISH	5 ALUMINUM SCREEN	9 TENANT SIGN - N.I.C.	13 DECORATIVE POLES
2 SCORE LINE TYPE A	6 IMPACT STOREFRONT	10 STORE FRONT ALUMINUM SCREEN	14 7'X3' EXT. METAL DOOR
3 SCORE LINE TYPE B	7 OVERFLOW SCUPPER	11 WALL MOUNTED EXT. LIGHT FIXTURE	15 INTAKE LOUVER
4 SCORE LINE TYPE C	8 DOWNSPOUT PAINTED TO MATCH WALL	12 ALUMINUM POLE FOR PARKING AREA LIGHT	16 ALUMINUM EYEBROW
			17 CONCRETE PARAPET OR ALUMINUM SCREEN WALL TO CONCEAL ALL MECH. EQUIPMENT

BUILDING FINISHES and PAINT COLORS

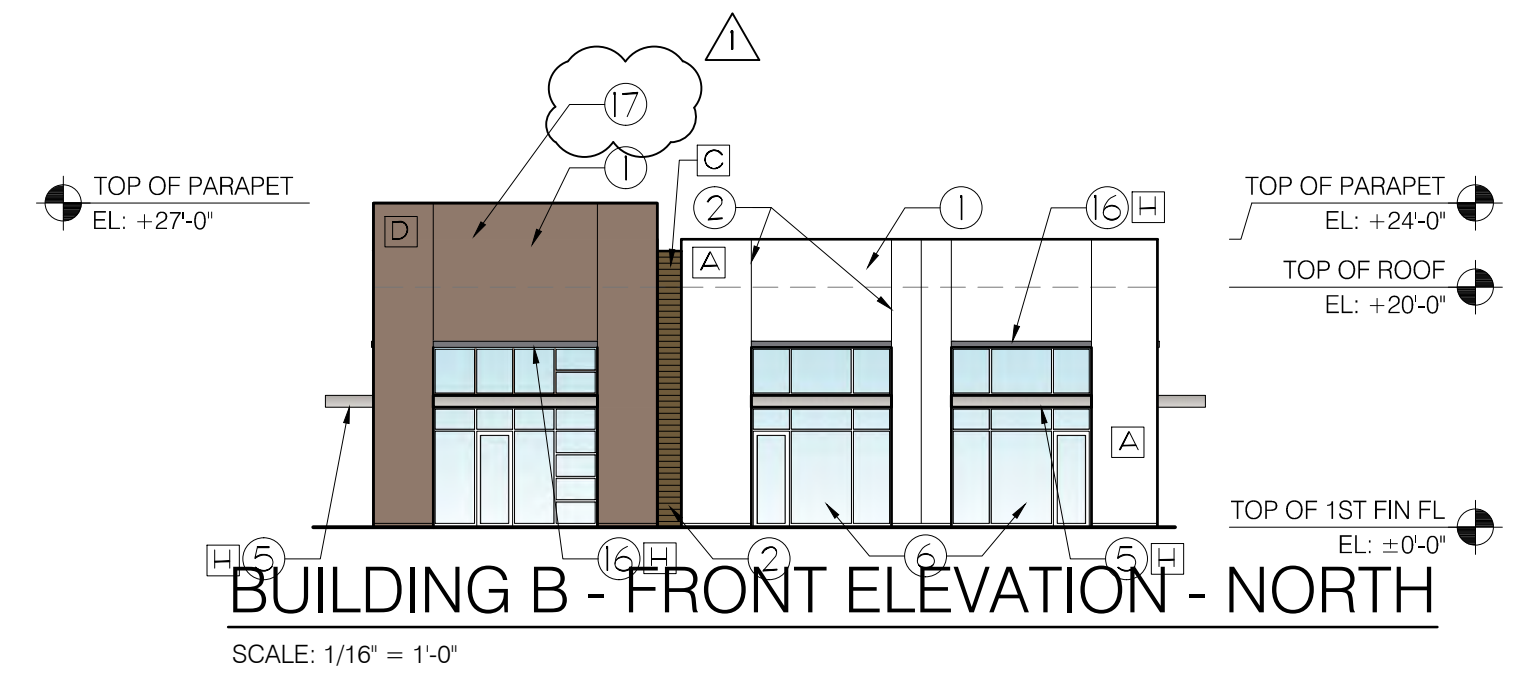
A DELICATE WHITE PPG 100H	H SILVER CLEAN ANODIZED ALUMINUM TRIM OR CANOPY	PPG 15-25
B GINGER SPICE PPG 1070-6	I PERFORATED ALUMINUM SCREEN-POWDER COATED	METALLIC GLAZE PT-250
C GHOST SHIP PPG 15-20	J BENJAMIN MOORE STUDIO FINISHES	
D RAPID ROCK PPG 15-19	FINISHES:	
E RUM PUNCH PPG 1190-7	TILT WALLS: LIGHT TEXCOTE FINISH	
	STUCCO SAND FINISH	
	PAINTED ALUMINUM SCREEN	
	DECORATIVE SCREEN BY IMAGEWALL SYSTEMS OR EQUAL	



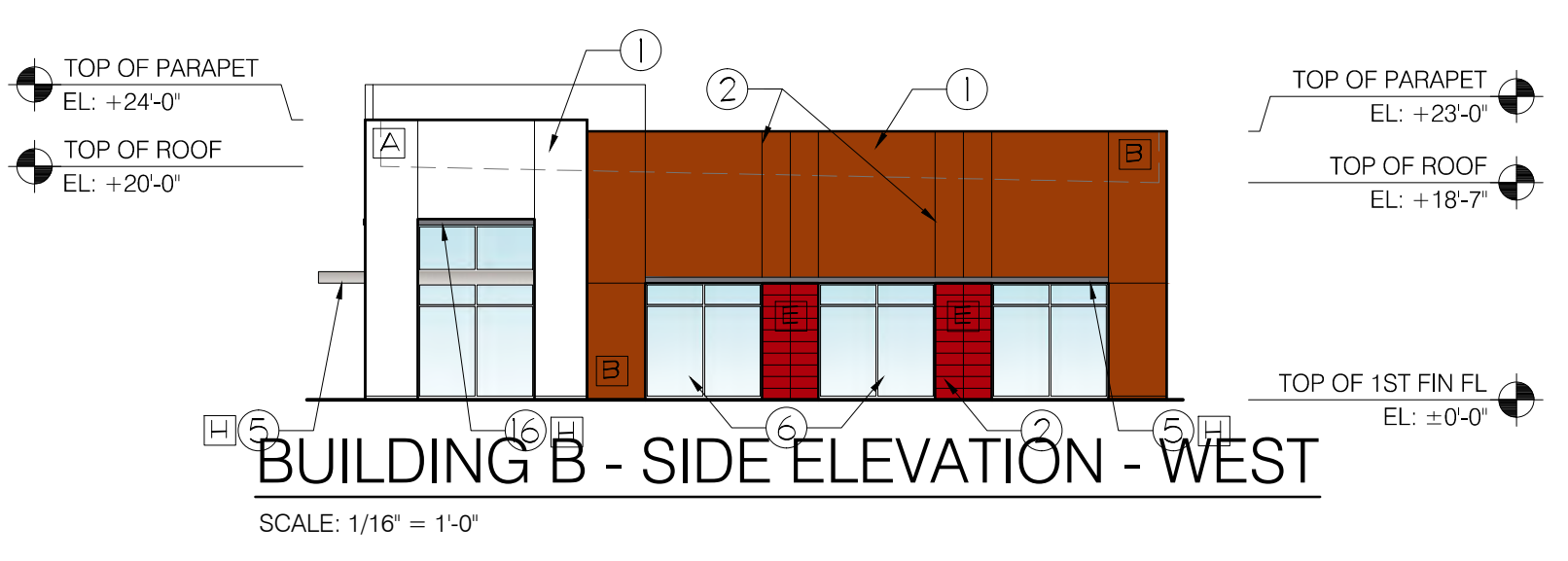
BUILDING A - SIDE ELEVATION - WEST
 SCALE: 1/16" = 1'-0"



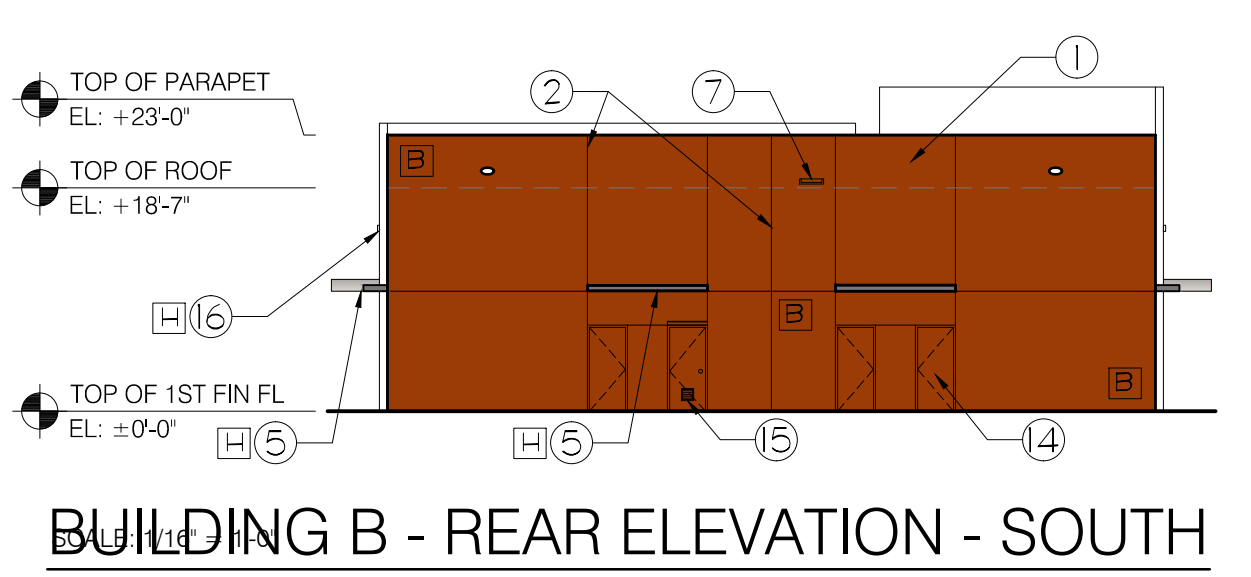
BUILDING A - SIDE ELEVATION - EAST
 SCALE: 1/16" = 1'-0"



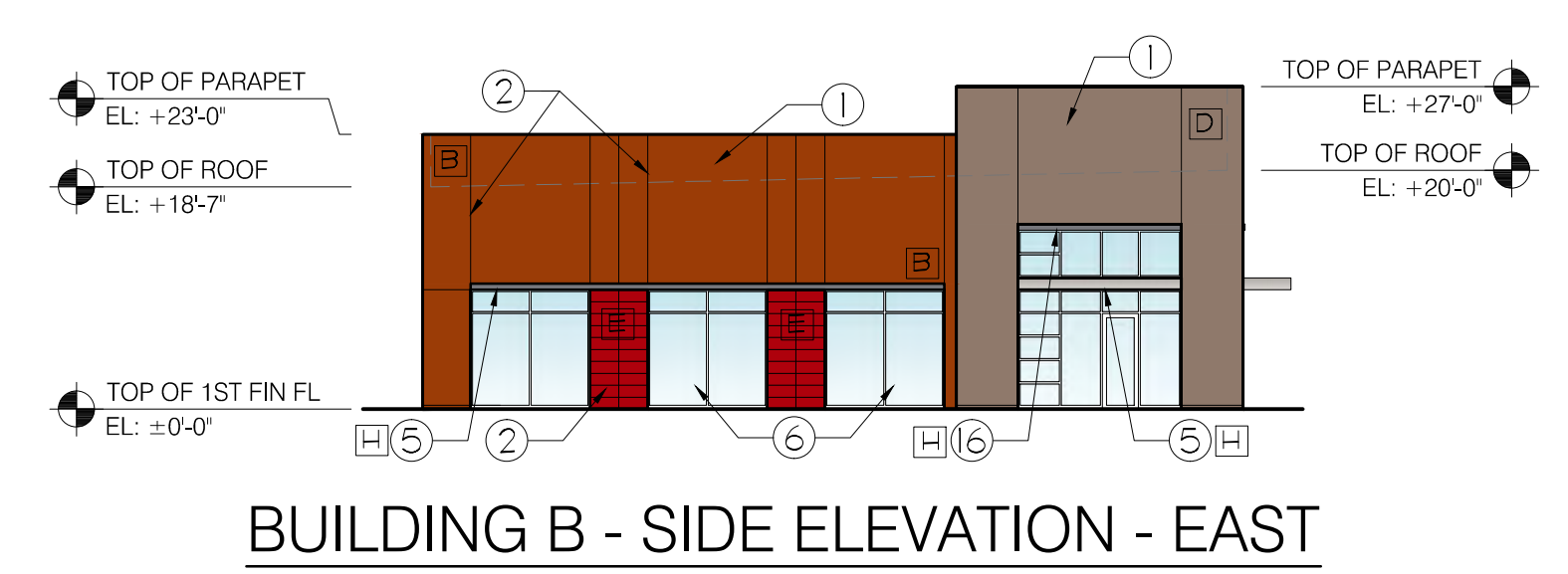
BUILDING B - FRONT ELEVATION - NORTH
 SCALE: 1/16" = 1'-0"



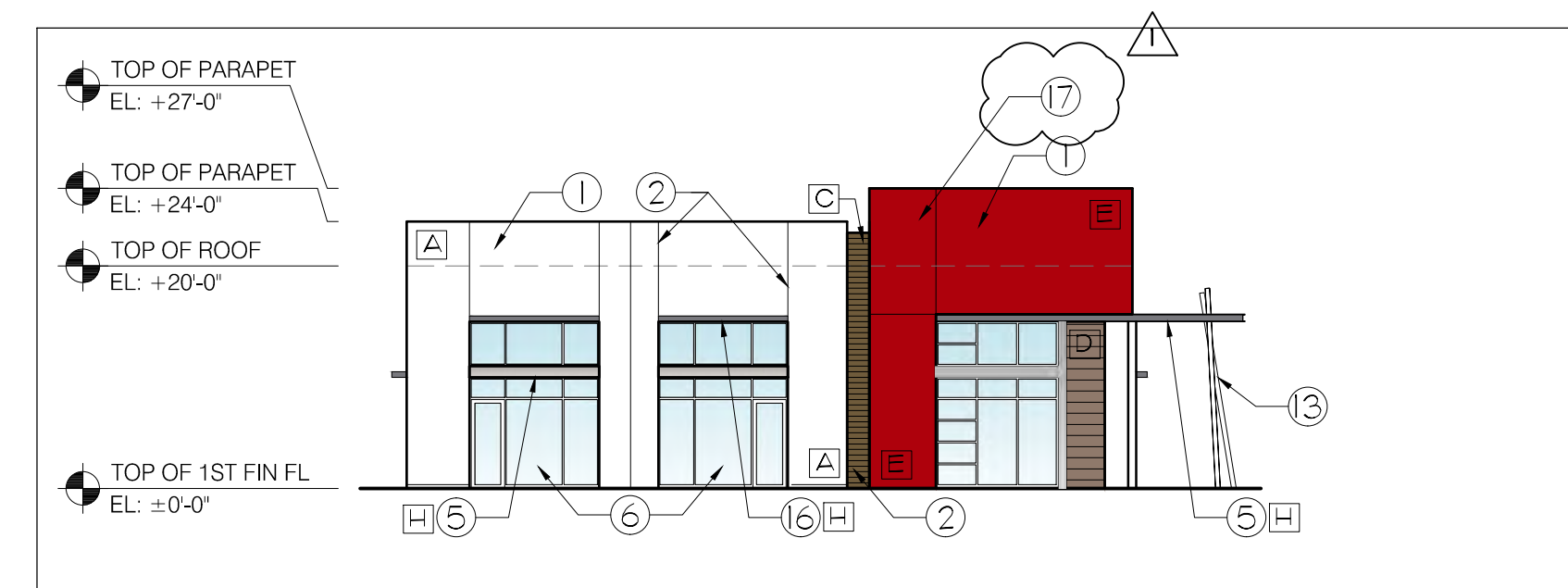
BUILDING B - SIDE ELEVATION - WEST
 SCALE: 1/16" = 1'-0"



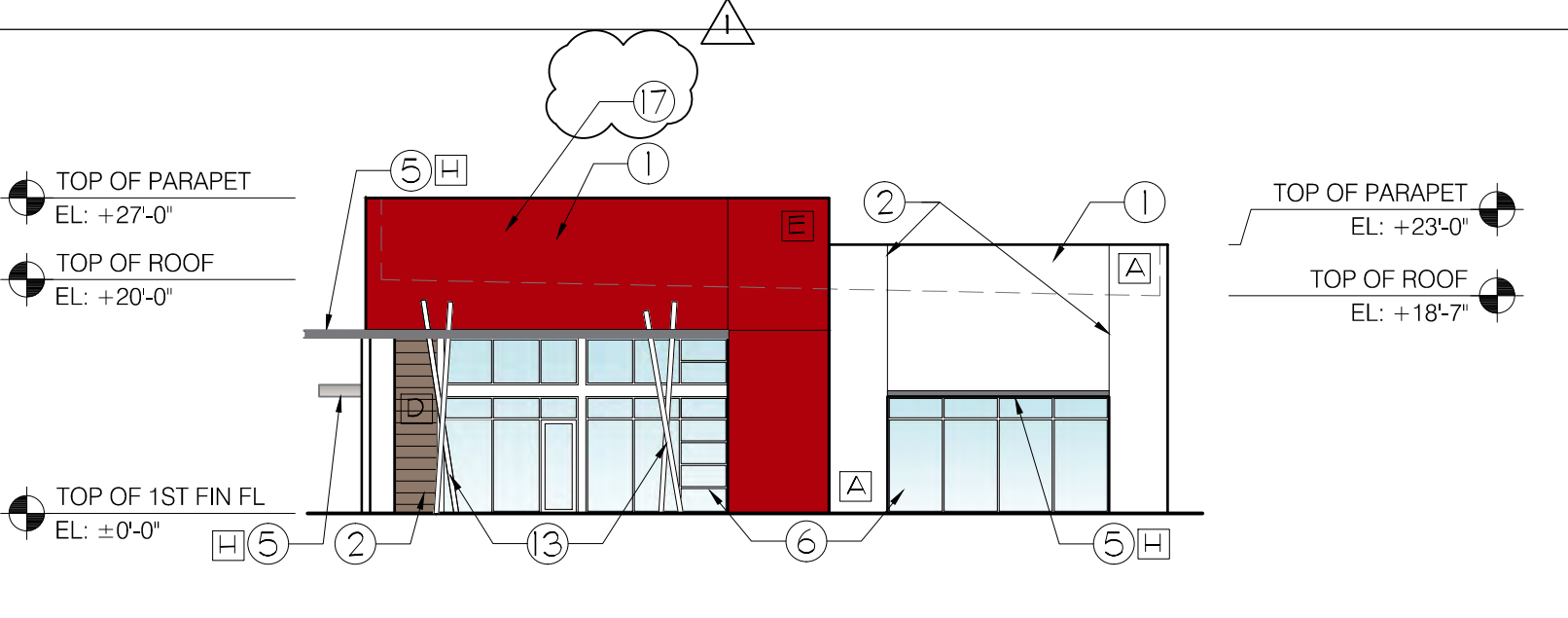
BUILDING B - REAR ELEVATION - SOUTH
 SCALE: 1/16" = 1'-0"



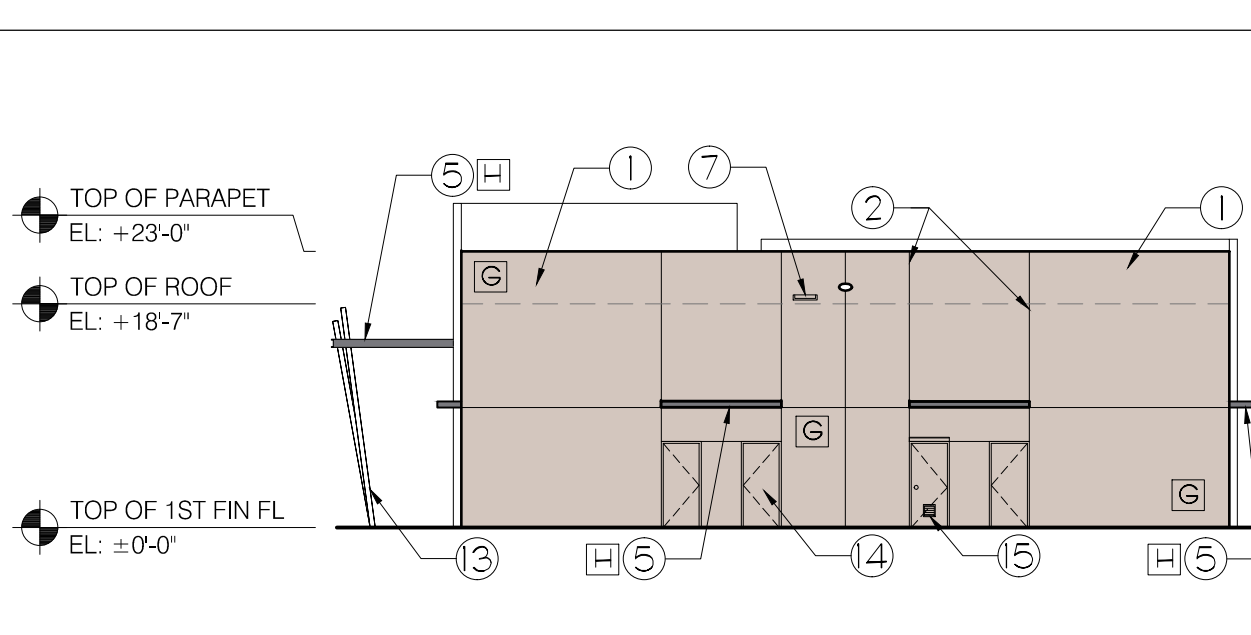
BUILDING B - SIDE ELEVATION - EAST
 SCALE: 1/16" = 1'-0"



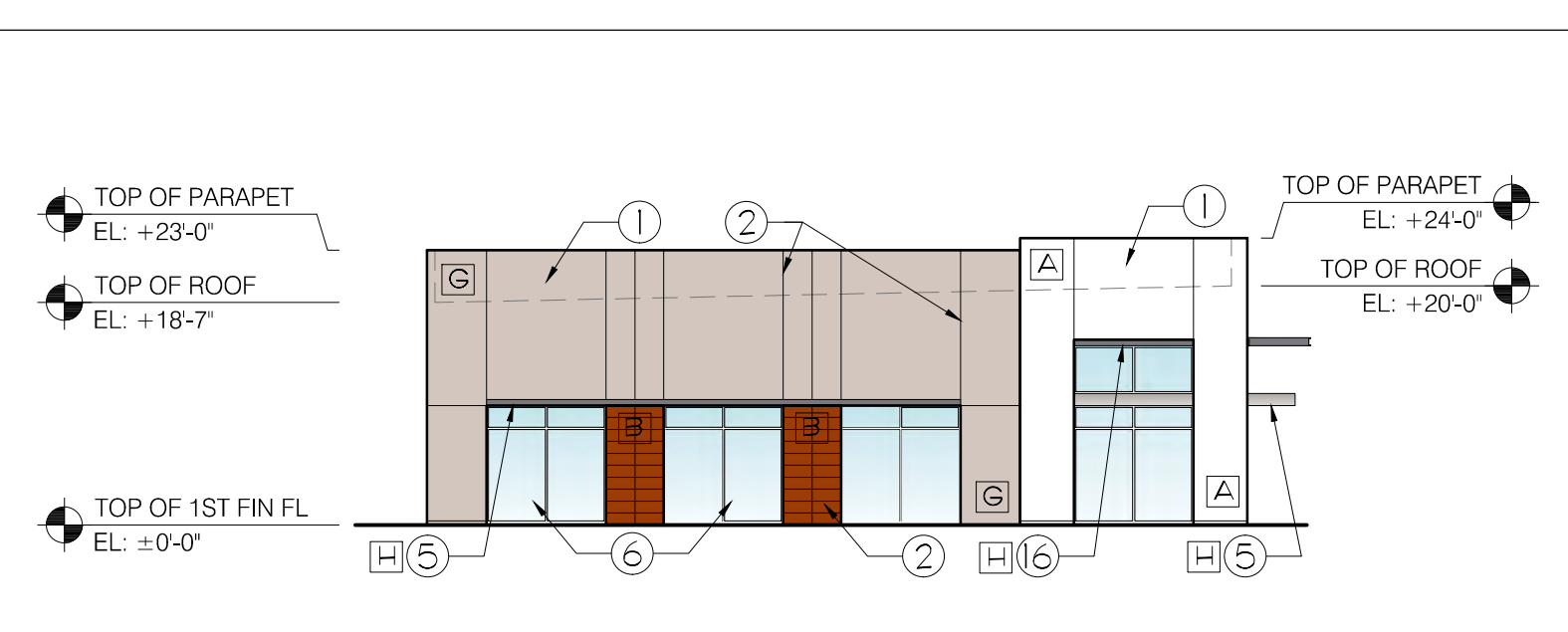
BUILDING C - FRONT ELEVATION - NORTH
 SCALE: 1/16" = 1'-0"



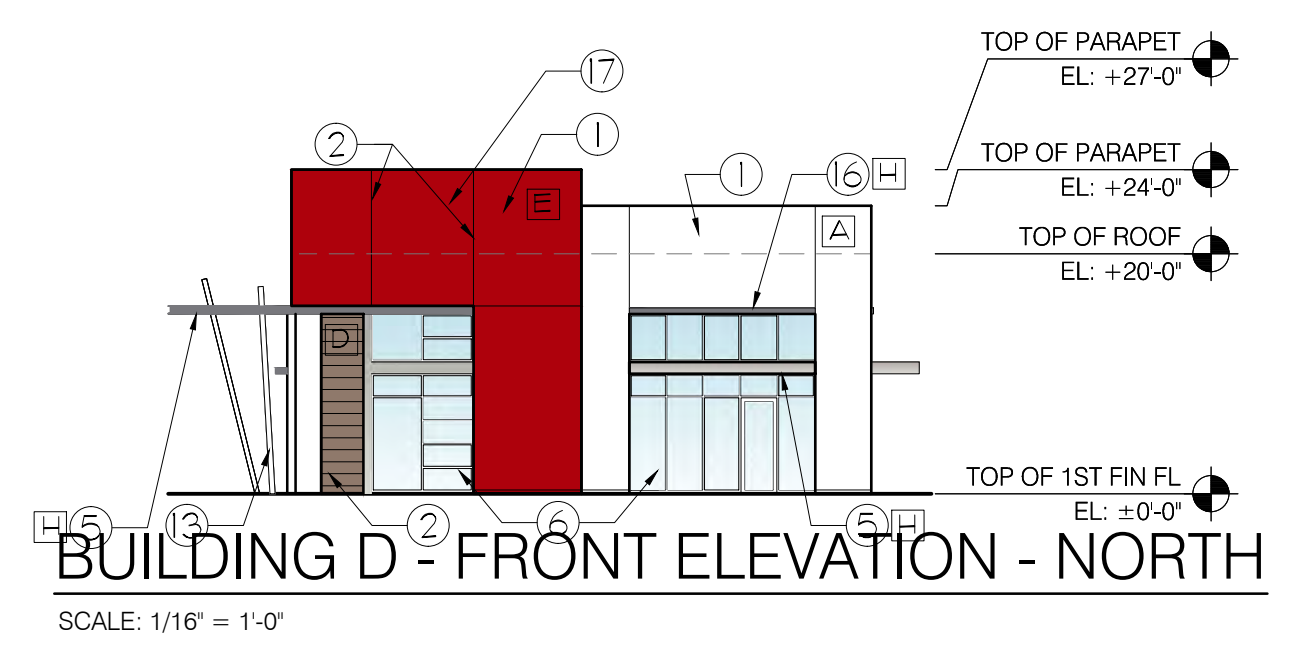
BUILDING C - SIDE ELEVATION - WEST
 SCALE: 1/16" = 1'-0"



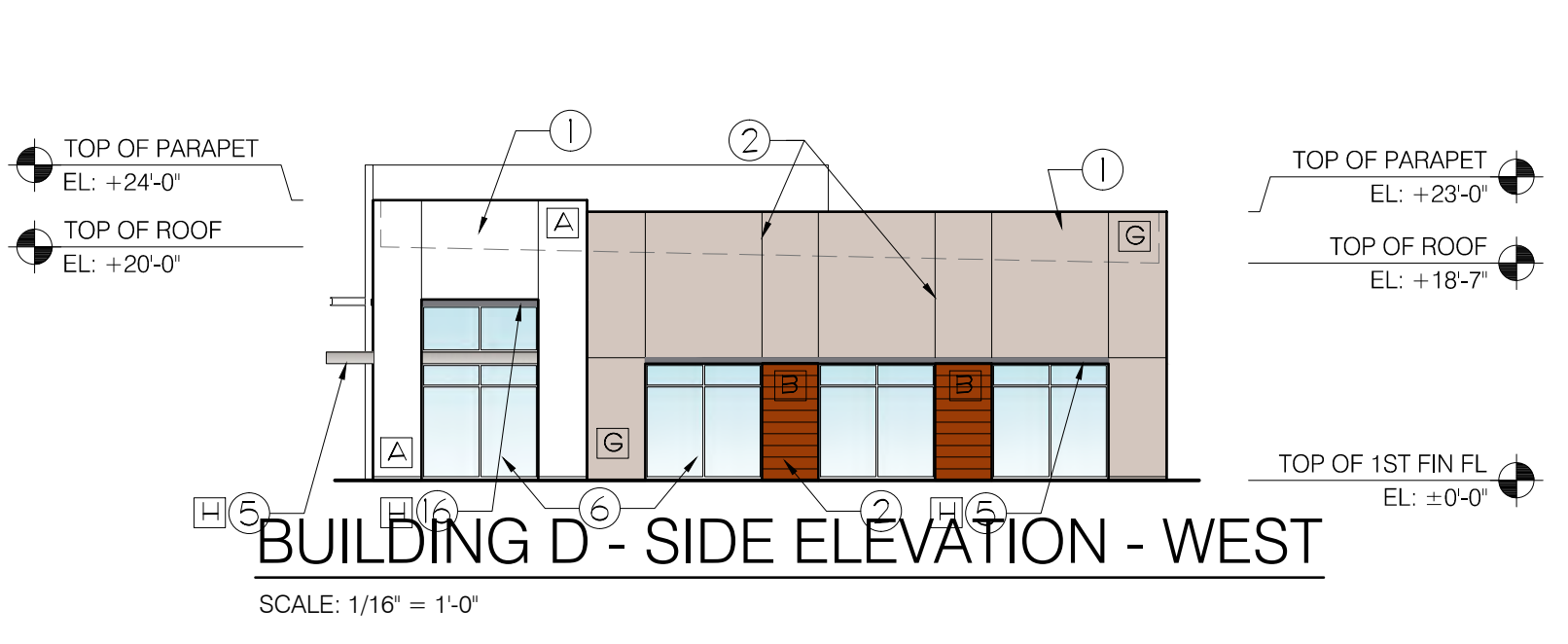
BUILDING C - REAR ELEVATION - SOUTH
 SCALE: 1/16" = 1'-0"



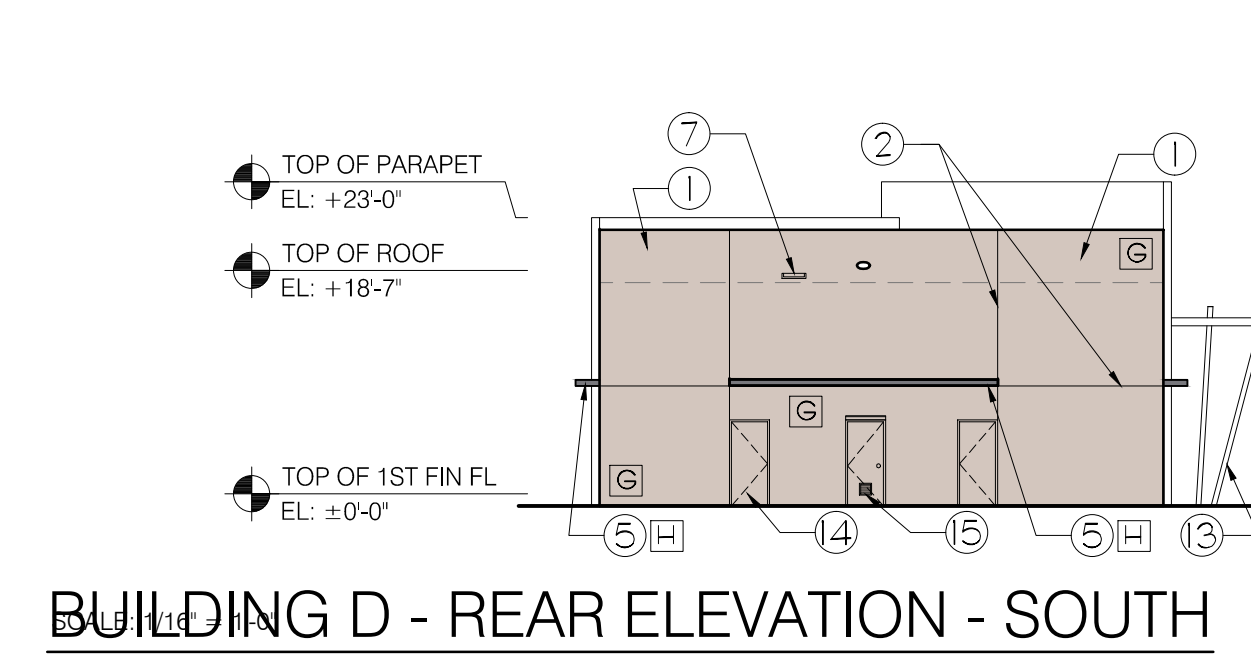
BUILDING C - SIDE ELEVATION - EAST
 SCALE: 1/16" = 1'-0"



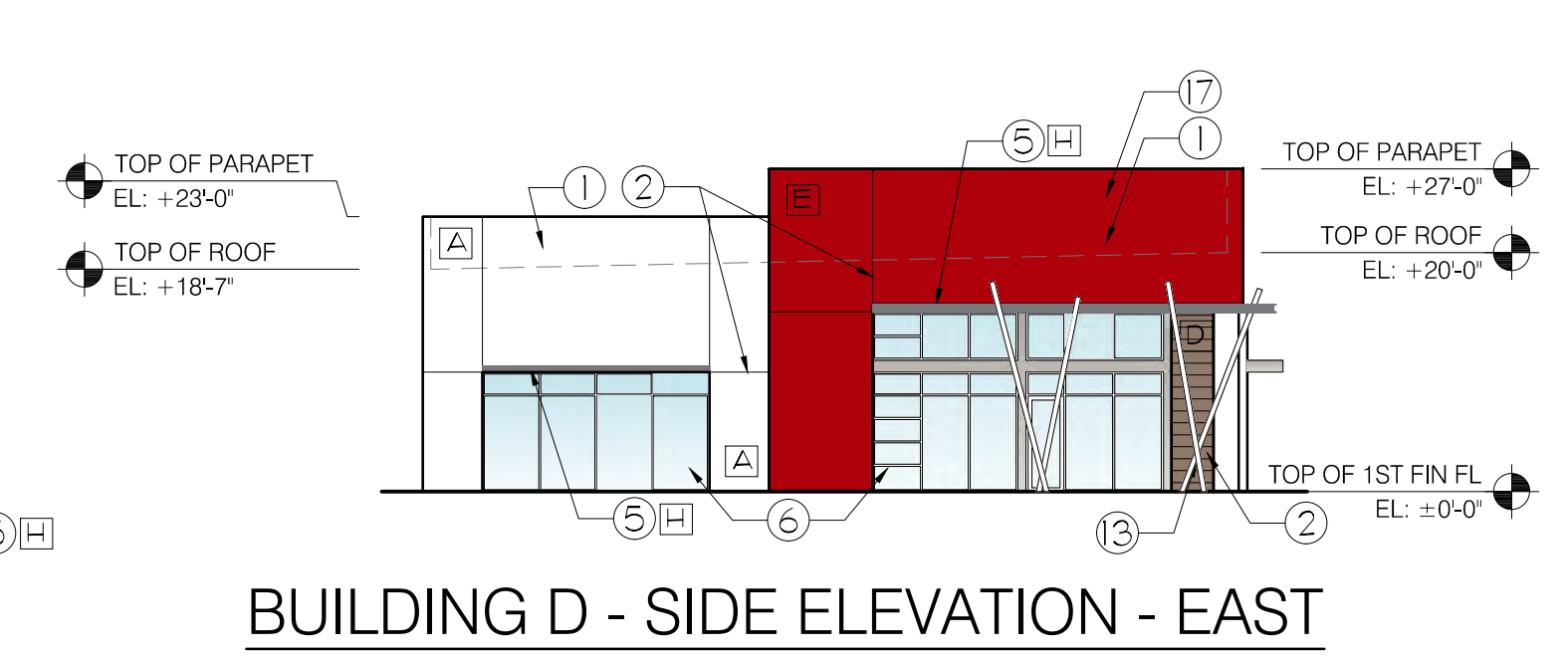
BUILDING D - FRONT ELEVATION - NORTH
 SCALE: 1/16" = 1'-0"



BUILDING D - SIDE ELEVATION - WEST
 SCALE: 1/16" = 1'-0"

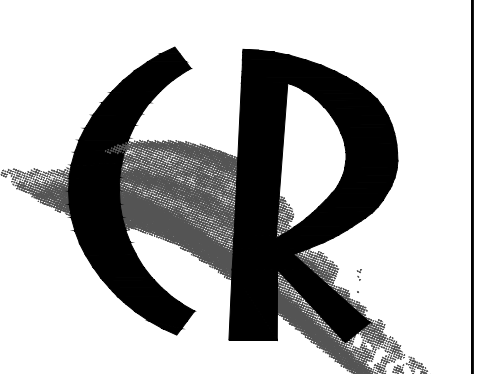


BUILDING D - REAR ELEVATION - SOUTH
 SCALE: 1/16" = 1'-0"



BUILDING D - SIDE ELEVATION - EAST
 SCALE: 1/16" = 1'-0"

The Shoppes @ 97th Ave
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SHEET NO.

A-3.1

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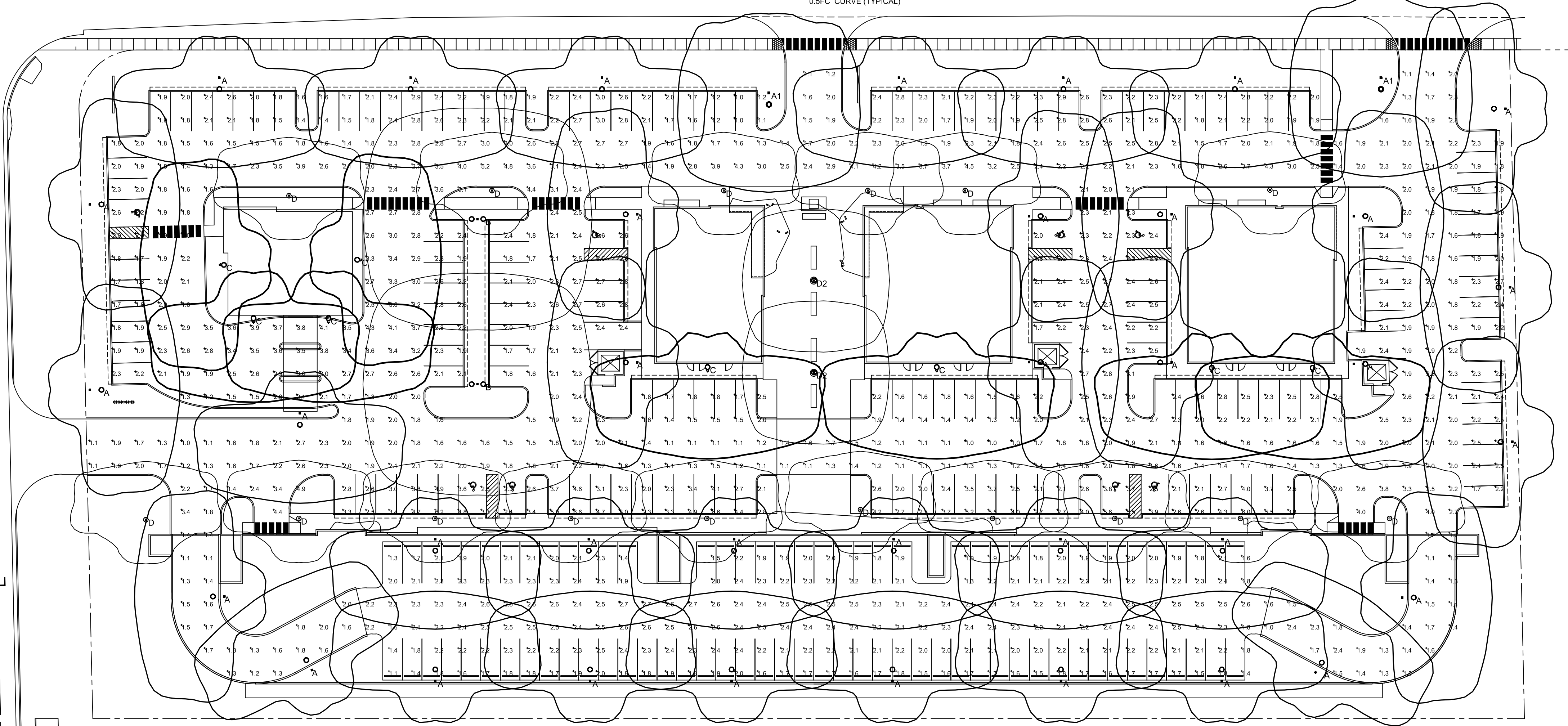
DATE: 6-9-2017
 DRAWN: DRC
 CHECKED BY: MAC
 JOB NO.: 2136-16

SEAL
 SHEET NO.
 E-1.0

NW 58 th Street

0.5FC CURVE (TYPICAL)

NW 97 th Avenue



SITE LIGHTING and PHOTOMETRIC PLAN
 SCALE: 1" = 30'-0"

LUMINAIRE LOCATIONS

No.	Label	X	Location Y	Z	MH	Orientation	Tilt
1	A	80.0	278.0	20.0	20.0	180.0	0.0
2	A	23.9	223.0	20.0	20.0	90.0	0.0
3	A	23.9	142.6	20.0	20.0	90.0	0.0
4	A	163.0	278.0	20.0	20.0	180.0	0.0
5	A	246.0	278.0	20.0	20.0	180.0	0.0
6	A1	318.5	271.3	20.0	20.0	180.0	0.0
7	A	520.6	278.0	20.0	20.0	180.0	0.0
8	A1	584.0	278.0	20.0	20.0	180.0	0.0
9	A	638.0	264.5	20.0	20.0	-90.0	0.0
10	A	641.0	120.0	20.0	20.0	-90.0	0.0
11	A	640.0	187.0	20.0	20.0	-90.0	0.0
12	B	192.0	216.7	20.0	20.0	90.0	0.0
13	B	192.0	145.0	20.0	20.0	90.0	0.0
14	C	82.0	196.8	20.0	20.0	-90.0	0.0
15	C	94.8	173.6	20.0	20.0	180.0	0.0
16	C	127.4	173.6	20.0	20.0	180.0	0.0
17	C	139.8	199.0	20.0	20.0	90.0	0.0
18	D	48.1	86.2	12.0	12.0	0.0	0.0
19	D	114.5	86.7	12.0	12.0	0.0	0.0
20	A	173.7	16.2	36.1	20.0	0.0	0.0
21	A	302.3	16.2	36.1	20.0	0.0	0.0
22	A	372.1	16.2	36.1	20.0	0.0	0.0
23	A	445.1	16.2	36.1	20.0	0.0	0.0
24	A	515.0	16.2	36.1	20.0	0.0	0.0
25	A	173.7	77.8	36.1	20.0	180.0	0.0
26	A	240.3	77.8	36.1	20.0	180.0	0.0
27	A	303.3	77.8	36.1	20.0	180.0	0.0
28	A	372.6	77.8	36.1	20.0	180.0	0.0
29	A	515.3	77.8	36.1	20.0	180.0	0.0
30	C	554.3	152.1	25.0	25.0	180.0	0.0
31	C	391.3	152.4	25.0	25.0	180.0	0.0
32	C	291.9	152.4	25.0	25.0	180.0	0.0
33	A	82.2	52.9	36.1	20.0	-90.0	0.0
34	A	593.2	52.4	36.1	20.0	90.0	0.0
35	A	120.2	20.9	36.1	20.0	-29.9	0.0
36	A	555.6	20.0	36.1	20.0	32.7	0.0
37	A	114.9	132.4	20.0	20.0	180.0	0.0
38	D2	338.0	190.0	12.0	12.0	-90.0	0.0
39	D2	338.0	150.1	12.0	12.0	-90.0	0.0
40	C	510.6	152.1	25.0	25.0	180.0	0.0
41	A	374.8	278.0	20.0	20.0	180.0	0.0
42	A	446.2	278.0	20.0	20.0	180.0	0.0
43	A	445.0	77.8	36.1	20.0	180.0	0.0
44	A	240.8	16.2	36.1	20.0	0.0	0.0
45	D	173.5	86.7	12.0	12.0	0.0	0.0
46	D	232.5	86.7	12.0	12.0	0.0	0.0
47	D	291.5	86.7	12.0	12.0	0.0	0.0
48	D	350.5	86.7	12.0	12.0	0.0	0.0
49	D	409.5	86.7	12.0	12.0	0.0	0.0
50	D	468.5	86.7	12.0	12.0	0.0	0.0
51	D	527.5	86.7	12.0	12.0	0.0	0.0
52	D	586.5	86.7	12.0	12.0	0.0	0.0
53	A	261.3	218.7	20.0	20.0	-90.0	0.0
54	A	261.3	154.5	20.0	20.0	-90.0	0.0
55	A	493.2	218.7	20.0	20.0	-90.0	0.0
56	A	493.2	154.5	20.0	20.0	-90.0	0.0
57	A	431.3	217.9	20.0	20.0	90.0	0.0
58	A	431.3	154.6	20.0	20.0	90.0	0.0
59	A	572.2	217.9	20.0	20.0	90.0	0.0
60	A	572.2	153.8	20.0	20.0	90.0	0.0
61	D	110.2	226.8	12.0	12.0	0.0	0.0
62	D	196.9	226.8	12.0	12.0	0.0	0.0
63	D	300.5	226.8	12.0	12.0	0.0	0.0
64	D	360.0	226.8	12.0	12.0	0.0	0.0
65	D	402.2	226.8	12.0	12.0	0.0	0.0
66	D	530.9	226.8	12.0	12.0	0.0	0.0

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min
2ND FL PARKING DECK (2nd)	+	2.0 fc	2.7 fc	1.0 fc	2.7:1
PARKING AREA (2nd)	+	2.3 fc	6.6 fc	1.0 fc	6.6:1

NOTES

- CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IES STANDARDS AND PRACTICE. SOME DIFFERENCES BETWEEN MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PERFORMANCES, MEASURED CONDITIONS SUCH AS TECHNICAL AND FIELD VOLTAGES AND TEMPERATURE VARIATIONS. INPUT DATA SUCH AS ROOM DIMENSIONS, REFLECTANCES, FURNITURE, LIGHT LOSS FACTOR, FURNITURE, ARCHITECTURAL ELEMENTS AND FOLIAGE SIGNIFICANTLY AFFECT THE LIGHTING CALCULATIONS. IF THE REAL ENVIRONMENT DO NOT MATCH INPUT DATA DIFFERENCES WILL OCCUR BETWEEN MEASURED AND CALCULATED VALUES.
- POLES ARE TO BE MANUFACTURED BY HAPCO DUE TO THEIR EXCEPTIONAL WARRANTY.
 TYPE A, A1 & B - 20' AFG DIRECT BURIAL ROUND TAPERED ALUMINUM WITH A TOP OF POLE TO BE 4" DIAMETER.
 TYPE D - 10' AFG DIRECT BURIAL ROUND TAPERED ALUMINUM POLE WITH A TOP OF 4" DIAMETER SUITABLE FOR POST TOP APPLICATION.
 TYPE D & D2 - 0' AFG DIRECT BURIAL ROUND TAPERED ALUMINUM POLE WITH A TOP OF 4" DIAMETER SUITABLE FOR TWO LUMINAIRES AT 180 DEGREE
- DECORATIVE ARMS:
 TYPE A, A1 - # P11-CUR-SI
 TYPE B - # P11-S2E-SI
 TYPE C - P11-W1X-SI (WALL BRACKET)
 TYPE D - POST TOP-SI
 TYPE D2 - MCA-S2E-SI
- WIND LOAD CALCULATIONS, TO MEET SOUTH FLORIDA WIND LOAD REQUIREMENTS, MUST BE PREPARED AND SUBMITTED AS PART OF THE SUBMITTAL PROCESS. SAID CALCULATIONS MUST BE SIGNED AND SEALED BY FLORIDA REGISTERED ENGINEER.
- POINT-BY-POINT CALCULATIONS PROGRAM USED - VISUAL SERIAL # 5101 5280 4889 0193, VERSION 2.05.0211

LUMINAIRE SCHEDULE

Symbol	Label	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	A	LUMENAREA P100-XXXX-LE3-84L-40K-NW-88-SI-TMG WITH SINGLE ARM P11-CUR	SINGLE Serie Pure ON 20' AFG DIRECT BURIAL ROUND TAPERED ALUMINUM POLE (ANCHOR BOLT TYPE ON PARKING DECK ONLY)	(3 Clusters of 14 LED) White 84W SSL c/w MeanWell Driver HLG-100H-24A @ 120.00V	XP100-0LE3-084L-NW.ies	Absolute	0.85	89.48
○	A1	LUMENAREA P100-XXXX-LE3-84L-40K-NW-V-SI-TMG WITH SINGLE ARM P11-CUR	SINGLE Serie Pure ON 20' AFG DIRECT BURIAL ROUND TAPERED ALUMINUM POLE	(3 Clusters of 14 LED) White 84W SSL c/w MeanWell Driver HLG-100H-24A @ 120.00V	XP100-0LE3-084L-NW.ies	Absolute	0.85	88.88
○	B	LUMENAREA P100-XXXX-LE3-84L-40K-NW-V-SI-TMG WITH TWIN (180D) P11-S2E	DOUBLE Serie Pure ON 20' AFG DIRECT BURIAL ROUND TAPERED ALUMINUM POLE	(3 Clusters of 14 LED) White 84W SSL c/w MeanWell Driver HLG-100H-24A @ 120.00V	XP100-0LE3-084L-NW.ies	Absolute	0.85	177.76
○	C	LUMENAREA P100-XXXX-LE3-84L-40K-NW-88-SI-TMG WITH WALL MOUNT BRACKET P11-W1X-20' AFG	WALL MOUNTED Serie Pure LUMINAIRE AT 20' AFG	(3 Clusters of 14 LED) White 84W SSL c/w MeanWell Driver HLG-100H-24A @ 120.00V	XP100-0LE3-084L-NW.ies	Absolute	0.85	89.48
○	D	LUMENAREA P100Y-XXXX-LE3-84L-CW-88-SI (SINGLE POST TOP)	SINGLE Serie Pure Y ON 10' AFG DIRECT BURIAL ROUND TAPERED ALUMINUM POLE (MUST HAVE 4" DIA. TOP)	(3 Clusters of 14 LED) White 84W SSL c/w MeanWell Driver HLG-100H-24A @ 120.00V	XP100Y-0LE3-084L-CW.ies	Absolute	0.85	91.05
○	D2	LUMENAREA P100Y-XXXX-LE3-84L-CW-88-SI-MCA-S2E	SINGLE Serie Pure Y LUMINAIRES ON 10' AFG DIRECT BURIAL ROUND TAPERED ALUMINUM POLE (MUST HAVE 4" DIA. TOP)	(3 Clusters of 14 LED) White 84W SSL c/w MeanWell Driver HLG-100H-24A @ 120.00V	XP100Y-0LE3-084L-NW.ies	Absolute	0.85	88.88