RESOLUTION No. 23-142

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN MODIFICATION FOR TESLA MOTORS INC, FOR THE PROPERTY LOCATED AT 9950 NW 25 STREET, DORAL, FLORIDA, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Article III of Chapter 53 of the Land Development Code of the City of Doral ("City") establishes procedures for Mayor and City Council site plan review and approval; and

WHEREAS, Tesla Motors Inc. (the "Applicant") is seeking site plan modification approval for the property located at 9950 NW 25 Street in the City of Doral, Florida, further identified by the Miami-Dade County Property Appraiser by Folio No. 35-3032-009-0010 (the "Property"), as legally described in "Exhibit A" (the "Project"); and

WHEREAS, City staff finds that the proposed site plan modification, attached hereto as "Exhibit B," complies with the requirements and standards of the City's Land Development Code and Comprehensive Plan; and

WHEREAS, a zoning workshop was held on April 6, 2023, during which the public was afforded an opportunity to examine the Project and provide feedback; and

WHEREAS, after notice of public hearing duly published and notifications of all property owners of record within 500-foot radius of the Property, a public hearing was held before the Mayor and City Council on August 23, 2023, during which all interested persons were afforded the opportunity to be heard, and due and proper consideration was given to the matter, including the recommendations contained in the City's Planning and Zoning Staff Report; and

WHEREAS, the City Council reviewed the site plan modification, the written and oral recommendations of the Planning and Zoning Department, including the recommended conditions, and hereby finds competent substantial evidence that the site plan is in compliance with the City's Comprehensive Plan and Land Development Regulations, and that the site plan maintains the basic intent and purpose of the zoning, subdivision or other land use regulations, which is to protect the general welfare of the public, and further finds that the site plan application should be granted, subject to the conditions described herein.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:

<u>Section 1.</u> Recitals. The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

Section 2. Findings and Conclusions. Based upon an analysis of the site plan modification application, and standards for approval of a site plan under the City's Land Development Regulations, the City Council hereby finds and concludes that the Applicant's request for site plan modification approval, as more particularly set forth in "Exhibit B," is in compliance with the Comprehensive Plan and the Land Development Regulations of the City, and there is substantial competent evidence to support approval of the application.

Section 3. Approval. The Mayor and City Council hereby approve the site plan modification application for Tesla Motors, Inc., for the property located at 9950 NW 25 Street, further identified by a portion of folio number 35-3032-009-0010, as legally described in "Exhibit A." The site plan consists of a property of ±5.30 acres occupied by

a two-story building. A copy of the site plan is provided in "Exhibit B." The approval of the site plan modification is subject to the following conditions:

- 1. The Project shall be built in substantial compliance with the plans entitled "Tesla Service Center Miami, TRT ID #32360," prepared by Stantec Consulting Services Inc., dated stamped received July 7, 2023.
- 2. The Project shall be landscaped in accordance with the landscape plan, digitally signed by Kevin G. Mangan, RLA, dated stamped received July 7, 2023 as amended, and included with the site plan submittal.
- 3. Prior to the issuance of building permit, the Applicant must obtain approval from Miami-Dade County (MDC) Traffic Engineering Division. Note that any changes to the site plan requested by MDC that may trigger changes to traffic analysis, submittal to the City for review is required.
- 4. That the Applicant put in place operational safety measures and fire suppression systems relating to any battery fires to the satisfaction of the Miami-Dade County Fire Marshall.
- 5. That the Applicant maintain a 10-feet separation between new battery packs and other combustible materials.
- 6. That the Applicant comply with Chapter 63, "Green Building Incentives," of the City's Land Development Code at the time of building permit.
- 7. That the Applicant comply with Chapter 75, "Public Arts Program," of the City's Land Development Code at the time of building permit.
- 8. That the Applicant comply with the City's Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the City's Code.
- 9. That the Applicant provide the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
- 10. A Stormwater Pollution Prevention Plan (SWPPP) must be submitted by the Applicant at time of building permit (the "Plan"). The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, stormwater and sediment management systems, and a vegetative plan for temporary and permanent

Res. No. 23-142 Page **4** of **5**

- stabilization. The Plan shall remain on-site for the duration of the construction activity.
- 11. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 "Noise Ordinance."
- 12. That the Applicant comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.
- 13. That the Applicant comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.
- 14. All applicable local, state, and federal permits must be obtained before commencement of the development.
- 15. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.
- 16. That the Applicant obtains a Certificate of Occupancy and a Certificate of Use from the City upon compliance with all terms and conditions. The Certificate of Occupancy and Certificate of Use shall be subject to cancellation upon violation of any of the conditions.
- 17. Pursuant to Section 53-185, of the City's Land Development Code, the approval provided for herein shall expire after two years from the effective date of this Resolution.

FAILURE BY THE CITY TO TIMELY ENFORCE ANY OF THE ABOVE CONDITIONS DOES NOT CONSTITUTE A WAIVER OF THE SAME AND IF THE APPLICANT, ITS SUCCESSORS, OR, ASSIGNS, DOES NOT PERFORM SUCH CONDITIONS WITHIN FIVE (5) DAYS AFTER WRITTEN NOTICE, THE CITY RETAINS THE RIGHT TO STOP CONSTRUCTION, IF NECESSARY, UNTIL THAT CONDITION IS MET. THE CITY RESERVES THE RIGHT TO ENFORCE THESE CONDITIONS BY ISSUING A CODE COMPLIANCE CITATION, REVOKING THIS RESOLUTION, AND/OR AVAILING ITSELF OF ANY AND ALL REMEDIES AVAILABLE AT LAW OR IN EQUITY. BY ACTING UNDER THIS APPROVAL, APPLICANT HEREBY CONSENTS TO ALL THESE TERMS AND CONDITIONS.

Res. No. 23-142 Page **5** of **5**

<u>Section 4.</u> <u>Effective Date.</u> This Resolution shall become effective immediately upon its adoption.

The foregoing Resolution was offered by Councilmember Puig-Corve who moved its adoption. The motion was seconded by Councilmember Cabral and upon being put to a vote, the vote was as follows:

Mayor Christi Fraga	Yes
Vice Mayor Rafael Pineyro	Yes
Councilwoman Digna Cabral	Yes
Councilwoman Maureen Porras	Yes
Councilman Oscar Puig-Corve	Yes

PASSED AND ADOPTED this 23 day of August, 2023.

CHRISTI FRAĞA, MAYOR

ATTEST:

CONNIE DIAZ, MMC

CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

VALERIE VICENTE, ESQ. for

NABORS, GIBLIN & NICKERSON, P.A.

CITY ATTORNEY

EXHIBIT "A"

Lots 1, 2, 3, 4 and 5 in Block 1, DIMITRAKIS INDUSTRIAL PARK, according to the Plat thereof as recorded in Plat Book 120, Page 72, of the Public Records of Miami-Dade County, Florida.

Said lands lying Miami-Dade County, Florida and containing 230,946 square feet (5.3018 acres) more or less.

EXHIBIT "B"

ABBREVIATIONS ACOUSTICAL LAMINATE AMERICANS WITH DISABILITIES ACT A.D.A. LAV. LAVATORY ADJUSTABLE LINEAR ADJ. LIN. A.F.F. ABOVE FINISHED FLOOR LANDLORD ALUMINUM LOW POINT ALUM. ALT. **ALTERNATE** LIGHT MAXIMUM APPROX. **APPROXIMATE** MAX. ARCH. **ARCHITECTURAL** MDO. MEDIUM DENSITY OVERLAY B.A.F. MECH. BIG ASS FAN **MECHANICAL** BD. MFR. MANUFACTURER BLDG. BUILDING MIN. MINIMUM BLKG. BLOCKING MISC. **MISCELLANEOUS** BOT. BOTTOM MASONRY OPENING B.O. **BOTTOM OF** MOUNTED CABINET **METAL** CLG. CEILING (N) NOT APPLICABLE CLOSET CLR. CLEAR N.I.C. NOT IN CONTRACT COL. COLUMN NOM. NOMINAL CONC CONCRETE NO. or # NUMBER CONSTR. CONSTRUCTION NSO. NEW STORE OPENING CONTINUOUS N.T.S. NOT TO SCALE CONT. CTR. CENTER OWNER - TESLA PM O.C. DBL. DOUBLE ON CENTER OPENING DIA. OPNG. DIAMETER DIM. OPP. DIMENSION OPPOSITE DN. DOWN P.LAM. PLASTIC LAMINATE DWG. DRAWING PLYWD. PLYWOOD (E) EXISTING PROJECT MANAGER EA. EACH **ELEVATION** PRESSURE TREATED REFLECTED CEILING PLAN ENVIRONMENTAL, HEALTH & SAFETY EHS. **RECESSED** EMER. **EMERGENCY** REVISION EQ. REQ'D. REQUIRED EQUAL EQUIP **EQUIPMENT** ROOM EXT. **EXTERIOR ROUGH OPENING** F.A. FIRE ALARM S.C. SOLID CORE F.D. FLOAT DIMENSION SCHED. SCHEDULE FIRE EXTINGUISHER CABINET F.E.F. **SQUARE FEET** FIN. SIMILAR **SPECIFICATION** FIRE HOSE CABINET FLR. FLOOR SERVICE READINESS FLASH **FLASHING** STAINLESS STEEL S.T.C. SOUND TRANSMISSION COEFFICIENT FLOUR. **FLUORESCENT** F.O.F. FACE OF FINISH STD. STANDARD FACE OF MASONRY F.O.M. STL. F.O.S. FACE OF STUDS STOR. STORAGE F.R.T. FIRE RETARDANT TREATED STRL. STRUCTURAL GA. GAUGE SUSP. SUSPENDED GC. **GENERAL CONTRACTOR** SYM. **GYPSUM TENANT** TEMP. **TEMPERED** HOLLOW CORE **HDCP** HANDICAP THK. THICK HDW. **HARDWARE** T.O. TOP OF HT. T.O.C. TOP OF CONCRETE HEIGHT HORIZ. HORIZONTAL TYP. **TYPICAL** UNLESS OTHERWISE NOTED H.P. U..N. HIGH POINT HIGH POWER CONNECTOR **UNDERSIDE** U.S. HR. HOUR VENDOR VERT. **VERTICAL VERIFY IN FIELD** V.I.F. INSULATION WATER CLOSET INT. INTERIOR W.C. INFORMATION TECHNOLOGY WD. WOOD WATER RESISTANT JST. JOIST W.R. REFERENCE SYMBOLS KEYNOTE ID X'-X" A.F.F. CEILING TYPE AND HEIGHT

COLUMN BUBBLE AND GRID

DATUM POINT

CENTER LINE SYMBOL

CUT LINE

ELEVATIONS

ELEVATION

SECTION

< # >—

(XXX)

(X XX)

FINISH

WALL TYPE

FINISH TAG

PLAN DETAIL

ROOM NAME

SECTION DETAIL

ALIGN

ALIGN

DOOR NUMBER

FIXTURE / EQUIPMENT TYPE

TESLA CENTER SERVICE CENTER MIAMI

9950 NW 25TH STREET, DORAL, FL 33172

CODE / PROJECT INFORMATION

AUTHORITY HAVING JURISDICTION: CITY OF DORAL, FLORIDA

2020 FBC - Building, 7th edition International Building Code 2018 (IBC 2018) 2020 FBC - Existing Building, 7th edition International Existing Building Code 2018 (IEBC 2018) International Plumbing Code 2018 (IPC 2018) 2020 FBC - Plumbing, 7th edition 2020 FBC - Mechanical, 7th edition International Mechanical Code 2018 (IMC 2018) 2020 FBC - Energy Conservation, 7th edition International Energy Conservation Code 2018 (IECC 2018) National Electrical Code 2017 of Florida NFPA 70, 2017

TOTAL BUILDING AREA: 83,111 SF

2020 FBC - Accessibility, 7th edition

TOTAL PROPERTY AREA: 230,947 SF OCCUPANCY EXISTING: B,S1 OCCUPANCY GROUP: OCCUPANCIES PROPOSED: B, S1 CONSTRUCTION TYPE: II-B

OCCUPANT LOAD: 448 NUMBER OF EXITS REQUIRED: 4 (2 FOR OFFICE AND 2 FOR WAREHOUSE) SPRINKLERED: FULLY SPRINKLED FIRE ALARM: EXISTING

FBC Chapter 6 Alternation Category LEVEL 3

ZONING USE: INDUSTRIAL COMMERCIAL

Level 3 alterations shall comply with the provisions of Chapters 7 and 8 for Level 1 and 2 alterations, respectively, as well as the provisions of Chapter 9.

REGARDING EGRESS, THE FOLLOWING CODE SECTIONS APPLY:

SEISMIC ZONE: REFER TO FBC 1613 FOR SEISMIC CRITERIA

CHAPTER 7 Section 704 Means of Egress

704.1 General

Alterations shall be done in a manner that **maintains** the level of protection provided for the

NFPA 101 part of the 2020 FFPC, 7th edition

CHAPTER 8 Section 805 Means of Egress

The requirements of this section shall be limited to work areas that include exits or corridors shared by more than one tenant within the work area in which Level 2 alterations are being performed, and where specified they shall apply throughout the floor on which the work areas are located or otherwise beyond the work area.

CHAPTER 9 Section 905 Means of Egress

The means of egress shall comply with the requirements of Section 805 except as specifically required in Sections 905.2 and 905.3.

905.2 Means-of-Egress Lighting Means of egress from the highest work area floor to the floor of exit discharge shall be provided with artificial lighting within the exit enclosure in accordance with the requirements of the Florida Building Code, Building.

905.3 Exit Signs

Means of egress from the highest work area floor to the floor of exit discharge shall be provided with exit signs in accordance with the requirements of the Florida Building Code, Building.

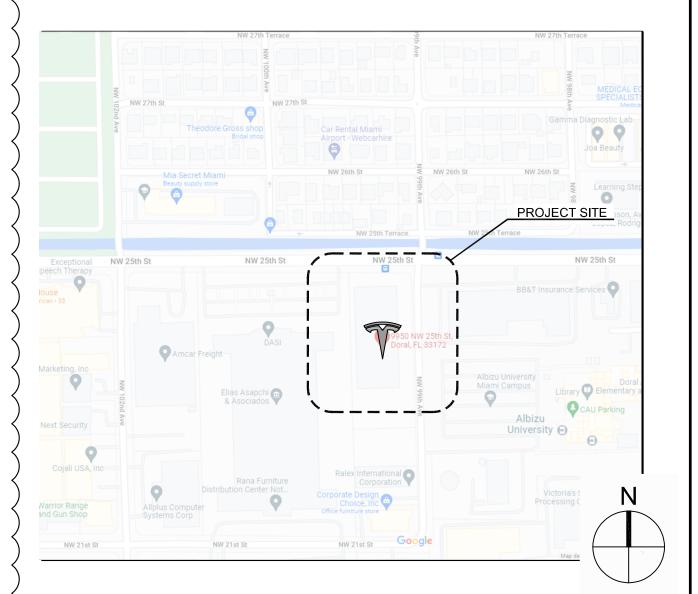
AREA OF S-1 OCCUPANCY: 63,069 S.F. AREA OF B OCCUPANCY: 20,042 S.F. 83,111 S.F.

ALLOWABLE AREA:

NON-SEPARATED OCCUPANCIES

Frontage Increase: [780/1220 - 0.25] 30 /30 = .39 S-1 OCCUPANCY (LEAST ALLOWABLE AREA) 52,500 + (17,500 X .39) = 59,314 S.F. PER STORY 59,314 X 2 STORIES = 118,628 S.F. Total Allowable S-1 Occupancy

VICINITY MAP



SERVICE INTENT / DESCRIPTION

TESLA, INC. OPERATES AN ELECTRIC AUTOMOBILE REPAIR / SERVICE CENTER. SERVICING AN ELECTRIC AUTOMOBILE IS DIFFERENT FROM SERVICING A GAS-POWERED CAR. TESLA'S VEHICLES HAVE NO INTERNAL COMBUSTION ENGINE. THIS VEHICLE IS EXCLUSIVELY ELECTRIC AND IS NOT HYBRID. ACCORDINGLY, THERE IS NO EXHAUST SYSTEM, NO FUEL TANKS, NO LIQUID FUEL USAGE, NO NEW OR USED MOTOR OIL, NO NOISE FROM THE VEHICLE, AND NO EMISSIONS LIKE HYDROCARBON AND CARBON MONOXIDE THAT ARE EMITTED FROM AN AUTOMOBILE POWERED BY AN INTERNAL COMBUSTION ENGINE. INSTEAD OF AN ENGINE, AN ELECTRIC MOTOR POWERS TESLA'S VEHICLES. ELECTRIC MOTORS REQUIRE LITTLE TO NO MAINTENANCE.

PROJECT SCOPE / NOTES

CHANGE OF USE FROM WAREHOUSE AND BUSINESS INTO A AUTO SERVICE CENTER.

BOH AND CUSTOMER AREAS. COLLISION/SERVICE AREA TO RECEIVE NEW LIGHTING, EQUIPMENT, AND RESTROOMS. EQUIPMENT TO INCLUDE VEHICLE LIFTS AND PAINT AND PREP BOOTHS. REVISIONS HVAC, ELECTRICAL, PLUMBING, AND WALLS THROUGHOUT.

<u>COVER SHEET</u> SITE PLAN A1.01A SITE PLAN BIKE RACK DETAILS A1.01C FURNITURE, FIXTURES, EQUIPMENT AND SIGNAGE PLAN A2.02A FURNITURE, FIXTURES, EQUIPMENT AND SIGNAGE PLAN ~ ROOF PLAN ROOF PLAN EXTERIOR ELEVATION - RENOVATION ... COLOR ELEVATIONS A4.01C A4.01D COLOR ELEVATIONS **GENERAL NOTES AND VICINITY MAP EXISTING CONDITIONS** DEMOLITION PLAN D-100 SITE PLAN C-100 C-200 PAVING AND GRADING PLAN

PAVING AND GRADING PLAN UTILITY PLAN C-400 **GENERAL DETAILS** C-401 **UTILITY DETAILS** C-402 FENCE DETAILS C-403 MISC. SITE DETAILS C-500 TYPICAL SECTIONS C-600 MOT PLAN

PLANTING DETAILS

INDEX OF DRAWINGS

DRAWING SUBMITTAL LOG AND SHEET INDEX L0002 GENERAL LANDSCAPE, SITE AND CONSTRUCTION NOTES GENERAL LANDSCAPE. SITE AND CONSTRUCTION NOTES L0003 GENERAL LANDSCAPE, SITE AND CONSTRUCTION NOTES L0004 GENERAL LANDSCAPE, SITE AND CONSTRUCTION NOTES L0005 **VEGETATION DISPOSITION PLAN VEGETATION DISPOSITION SCHEDULE** LP101 PLANTING PLAN

LP502 PLANTING DETAILS LP601 PLANT SCHEDULE AND LDC TABULATIONS LS101 SITE PLAN

LP501

IRRIGATION NOTES AND DETAILS IRRIGATION PLAN IR101 IR501 **IRRIGATION DETAILS** IR502 **IRRIGATION DETAILS** IR503 IRRIGATION DETAILS ELECTRIC SITE PLAN

E1.00A PHOTOMETRIC PLAN

PROJECT DIRECTORY

TENANT

TESLA, INC.

901 PAGE AVENUE

FREMONT, CA 94538

CHRISTIAN HOGUE

PROJECT MANAGER E: CHHOGUE@TESLA.COM ARCHITECT OF RECORD

E: LULE.HODA@STANTEC.COM

STRUCTURAL ENGINEER

BRAD YOUNG & ASSOCIATES

E: BRAD@BYAENGEERING.COM

19401 40TH AVENUE W, SUITE 302

E: BOB@ROBISONENGINEERING.COM

36 TECHNOLOGY DRIVE

MOBILE: 949 529-7643

CONTACT: LULE HODA

345 POLLASKY AVENUE

T: 559 323-9600 EXT. 11

CONTACT: BRAD YOUNG

ROBISON ENGINEERING

CONTACT: BOB ROBISON

MEP ENGINEER

LYNNWOOD WA 98036

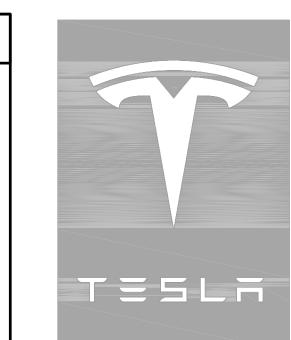
T: 206 364-3343

CLOVIS, CA 93612

STANTEC

IRVINE CA 92618 T: 949 923-6028

 $\sim\sim\sim\sim\sim\sim$

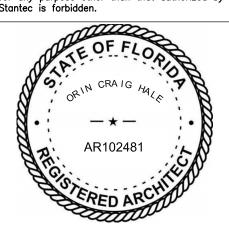


Stantec Architecture Inc.

38 Technology Drive, Suite #100

Irvine, CA 92618-5312 Tel. 949.923.6000 Fax. 949.923.6121 www.stantec.com Copyright Reserved The Contractor shall verify and be responsible

for all dimensions. DO NÓT scale the drawing any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings ar for any purpose other than that authorized



SERVICE CENTER TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

ISSUE / REVISION

PLANNING FIRST SUBMITTAL 12/22/22 75% SET SUBMITTAL 1ST PLANCHECK SUBMITTAL

04/25/23/1\1ST PLANNING RESUBMITTAL 04/25/23/21ST PLANCHECK RESUBMITTAL

06/08/23/√2ND PLANCHECK RESUBMITTAL

07/03/23 /4 3RD PLANNING SUBMITTAL

DRAWING TITLE

COVER SHEET

SCALE: TRT PROJECT NUMBER:

PROJECT NUMBER:

SHEET NUMBER

AS NOTED

2007130099

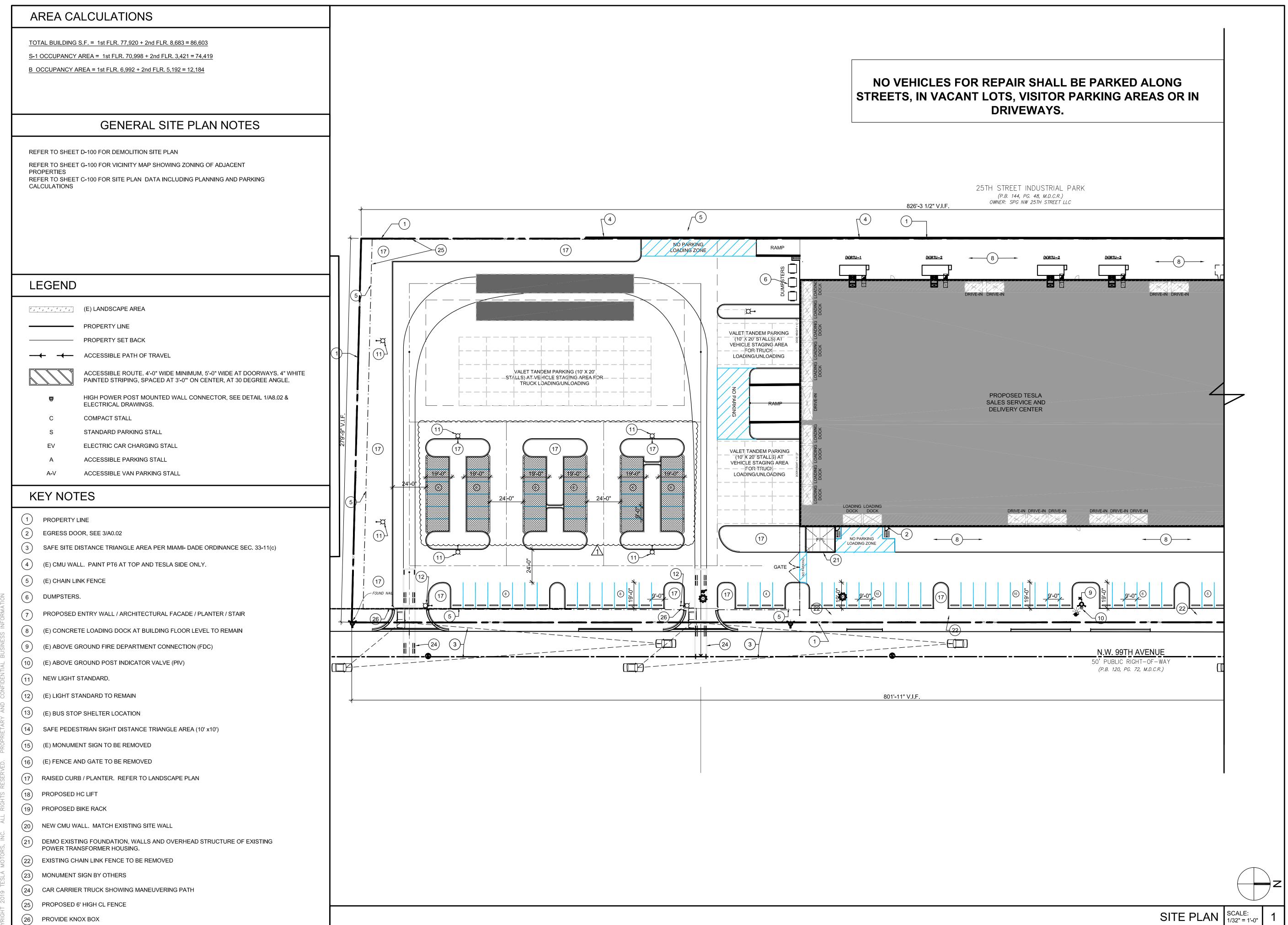
32360

INTERIOR TENANT IMPROVEMENT TO INCLUDE NEW FURNITURE, LIGHTING, AND FINISHES IN

INTERIOR AND EXTERIOR SIGNAGE TO BE SUPPLIED UNDER SEPARATE PERMIT.

EXTERIOR WORK TO INCLUDE NEW PAINT TO BUILDING AND VEHICLE CHARGERS.

NEW WALL AT THE FRONT OF THE BUILDING FOR SIGNAGE AND BRAND IDENTITY.



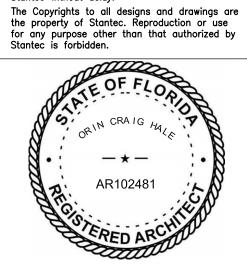


Stanted
Stanted Architecture Inc.

38 Technology Drive, Suite #100 Irvine, CA
92618-5312
Tel. 949.923.6000
Fax. 949.923.6121
www.stantec.com
Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing any errors or omissions shall be reported to Stantec without delay.

The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use



SERVICE CENTER
MIAMI
TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

ISSUE / REVISION

12/13/22 PLANNING FIRST SUBMITTAL 12/22/22 75% SET SUBMITTAL 1/31/23 1ST PLANCHECK SUBMITTAL

04/25/23/1\1ST PLANNING RESUBMITTAL 04/25/23/2\1ST PLANCHECK RESUBMITTAL

06/08/23/32ND PLANCHECK RESUBMITTAL

07/03/23 4 3RD PLANNING SUBMITTAL

DRAWING TITLE

SITE PLAN

TRT PROJECT NUMBER: PROJECT NUMBER:

SHEET NUMBER

A1.01A

AS NOTED

AREA CALCULATIONS

TOTAL BUILDING S.F. = 1st FLR. 77,920 + 2nd FLR. 8,683 = 86,603

S-1 OCCUPANCY AREA = 1st FLR. 70,998 + 2nd FLR. 3,421 = 74,419

B OCCUPANCY AREA = 1st FLR. 6,992 + 2nd FLR. 5,192 = 12,184

GENERAL SITE PLAN NOTES

REFER TO SHEET D-100 FOR DEMOLITION SITE PLAN

REFER TO SHEET G-100 FOR VICINITY MAP SHOWING ZONING OF ADJACENT PROPERTIES
REFER TO SHEET C-100 FOR SITE PLAN DATA INCLUDING PLANNING AND PARKING CALCULATIONS

LEGEND

(E) LANDSCAPE AREA

PROPERTY LINE

PROPERTY SET BACK

ACCESSIBLE PATH OF TRAVEL

ACCESSIBLE ROUTE. 4'-0" WIDE MINIMUM, 5'-0" WIDE AT DOORWAYS. 4" WHITE PAINTED STRIPING, SPACED AT 3'-0" ON CENTER, AT 30 DEGREE ANGLE.

HIGH POWER POST MOUNTED WALL CONNECTOR, SEE DETAIL 1/A8.02 & ELECTRICAL DRAWINGS.

C COMPACT STALL

S STANDARD PARKING STALL

EV ELECTRIC CAR CHARGING STALL

A ACCESSIBLE PARKING STALL

A-V ACCESSIBLE VAN PARKING STALL

KEY NOTES

1 PROPERTY LINE

(2) EGRESS DOOR, SEE 3/A0.02

3 SAFE SITE DISTANCE TRIANGLE AREA PER MIAMI- DADE ORDINANCE SEC. 33-11(c)

(E) CMU WALL. PAINT PT6 AT TOP AND TESLA SIDE ONLY.

(E) CHAIN LINK FENCE

6 DUMPSTERS.

7) PROPOSED ENTRY WALL / ARCHITECTURAL FACADE / PLANTER / STAIR

(E) CONCRETE LOADING DOCK AT BUILDING FLOOR LEVEL TO REMAIN

9 (E) ABOVE GROUND FIRE DEPARTMENT CONNECTION (FDC)

(E) ABOVE GROUND POST INDICATOR VALVE (PIV)

11) NEW LIGHT STANDARD.

(E) LIGHT STANDARD TO REMAIN

(E) BUS STOP SHELTER LOCATION

(14) SAFE PEDESTRIAN SIGHT DISTANCE TRIANGLE AREA (10' x10')

(E) MONUMENT SIGN TO BE REMOVED

(E) FENCE AND GATE TO BE REMOVED

(17) RAISED CURB / PLANTER. REFER TO LANDSCAPE PLAN

18) PROPOSED HC LIFT

19 PROPOSED BIKE RACK

20 NEW CMU WALL. MATCH EXISTING SITE WALL

DEMO EXISTING FOUNDATION, WALLS AND OVERHEAD STRUCTURE OF EXISTING

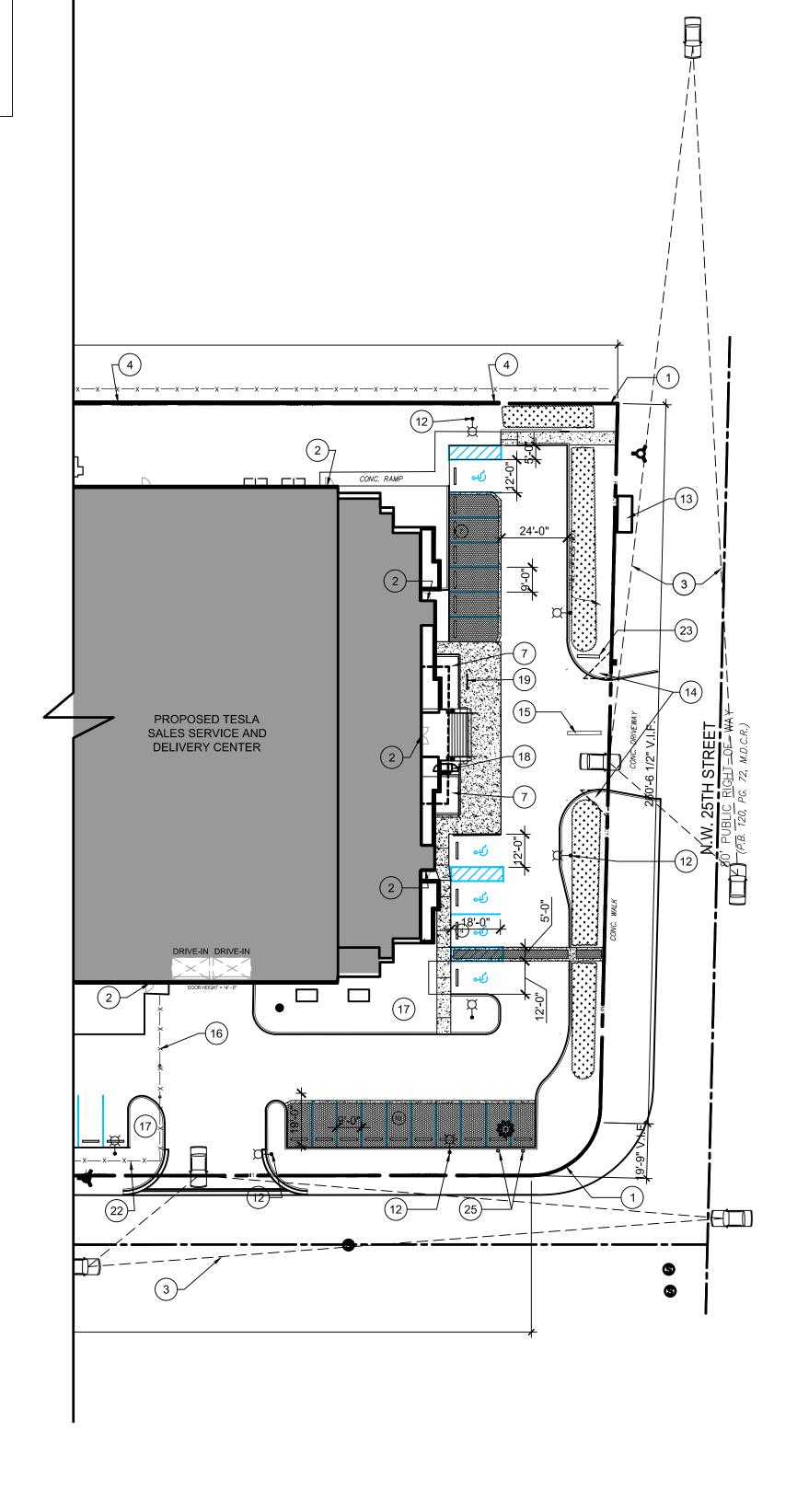
POWER TRANSFORMER HOUSING.

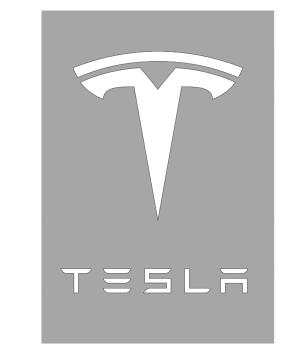
EXISTING CHAIN LINK FENCE TO BE REMOVED

(23) MONUMENT SIGN BY OTHERS(24) CAR CARRIER TRUCK SHOWING MANEUVERING PATH

(N) CHARGING STATIONS

NO VEHICLES FOR REPAIR SHALL BE PARKED ALONG STREETS, IN VACANT LOTS, VISITOR PARKING AREAS OR IN DRIVEWAYS.





Stanted Stanted Stanted Architecture Inc.

38 Technology Drive, Suite #100 Irvine, CA
92618-5312
Tel. 949.923.6000
Fax. 949.923.6121
www.stantec.com
Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing any errors or omissions shall be reported to Stantec without delay.

The Copyrights to all designs and drawings at the Copyrights to Stantes Passadution and any and the copyrights to Stantes Passadution and any and the copyrights to Stantes Passadution and the copyrights of Stantes Passadution and the copyrights to Stantes Passadution and the copyrights to Stantes Passadution and the copyrights to the c

The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



SERVICE CENTER
MIAMI
TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

ISSUE / REVISION

12/13/22PLANNING FIRST SUBMITTAL12/22/2275% SET SUBMITTAL1/31/231ST PLANCHECK SUBMITTAL

04/25/23/1\1ST PLANNING RESUBMITTAL 04/25/23/2\ST PLANCHECK RESUBMITTAL

06/08/23/32ND PLANCHECK RESUBMITTAL

07/03/23 /4 3RD PLANNING SUBMITTAL

DRAWING TITLE

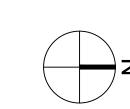
SITE PLAN

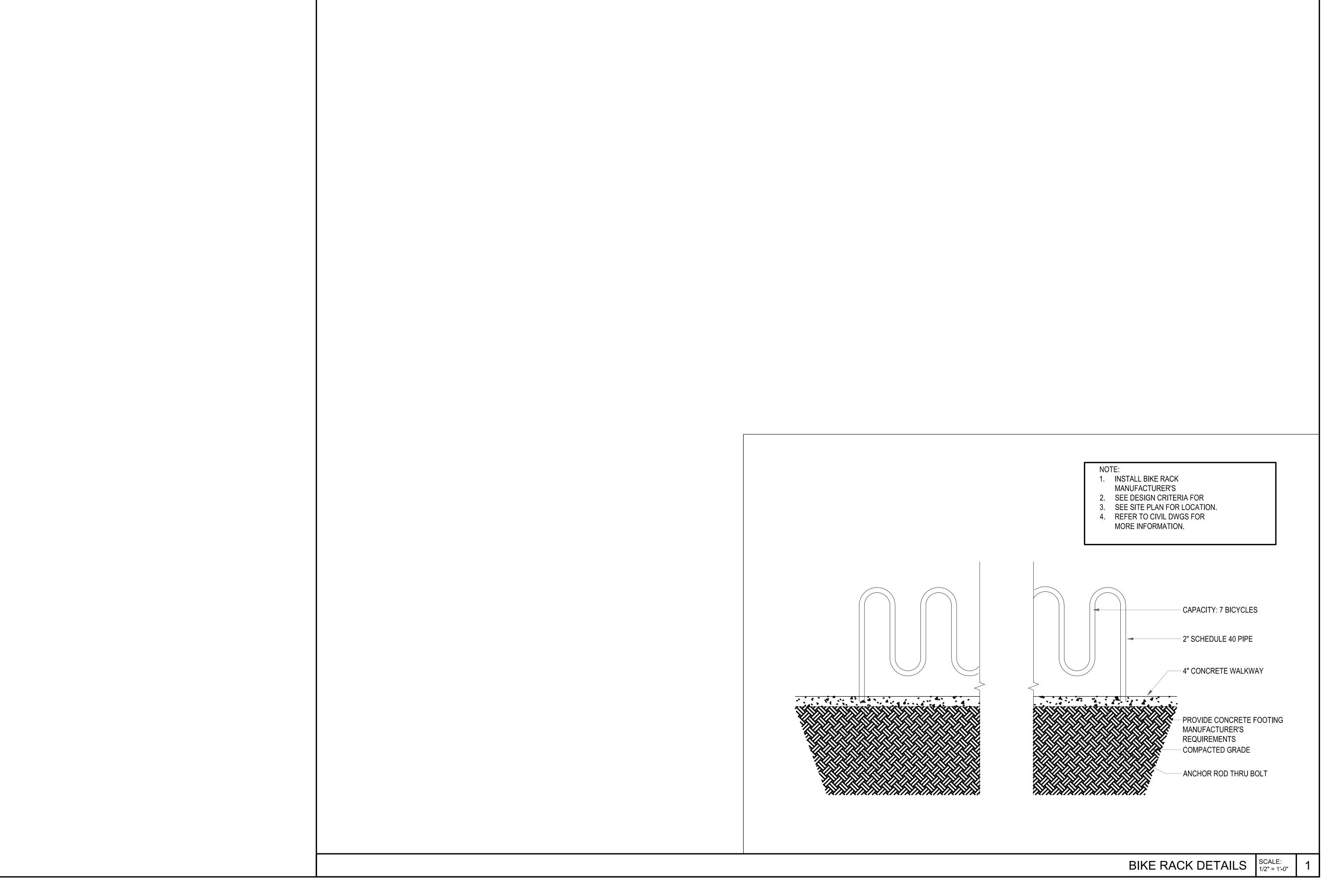
SCALE: TRT PROJECT NUMBER: PROJECT NUMBER:

SHEET NUMBER

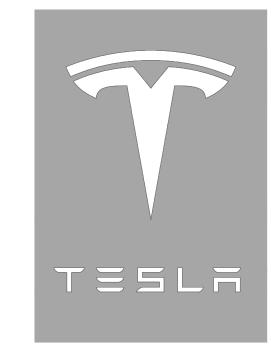
A1.01B

AS NOTED





LEGEND





38 Technology Drive, Suite #100 Irvine, CA 92618-5312 Tel. 949.923.6000 Fax. 949.923.6121 www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing – any errors or omissions shall be reported to Stantec without delay.

The Copyrights to all designs and drawings are

The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



SERVICE CENTER MIAMI TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

ISSUE / REVISION

12/13/22 PLANNING FIRST SUBMITTAL
12/22/22 75% SET SUBMITTAL
1/31/23 1ST PLANCHECK SUBMITTAL

04/25/23/1\1ST PLANNING RESUBMITTAL 04/25/23/2\ST PLANCHECK RESUBMITTAL

06/08/23/32ND PLANCHECK RESUBMITTAL

07/03/23 4 3RD PLANNING SUBMITTAL

DRAWING TITLE

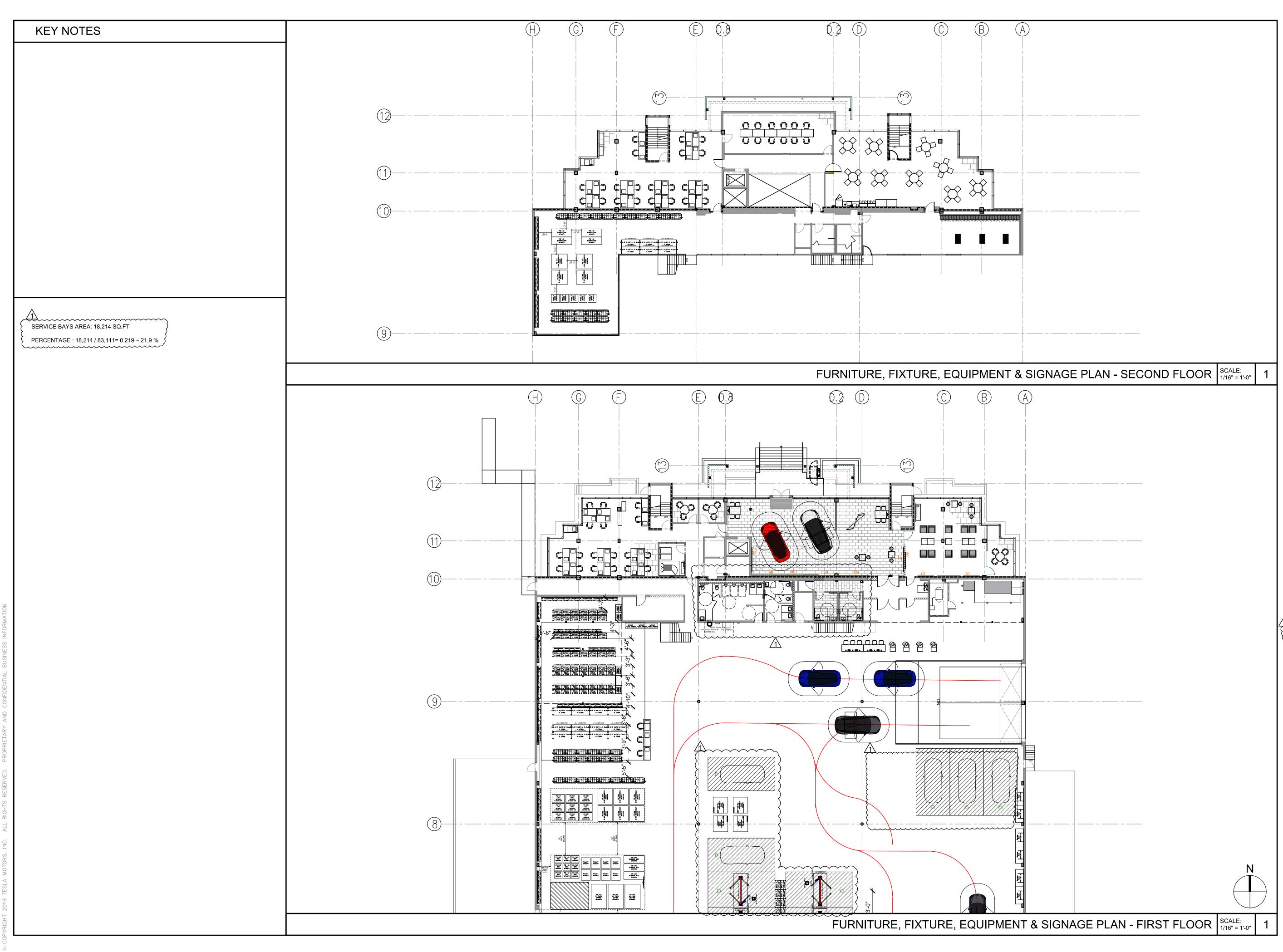
BIKE RACK DETAILS

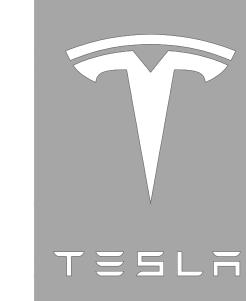
SCALE:
TRT PROJECT NUMBER:
PROJECT NUMBER:

SHEET NUMBER

A1.01C

AS NOTED 32360







38 Technology Drive, Suite #100
Irvine, CA
92618-5312
Tel. 949.923.6000
Fax. 949.923.6121
www.stantec.com
Copyright Reserved
The Contractor shall verify and be responsible

any errors or omissions shall be reported to Stantec without delay.

The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



SERVICE CENTER MIAMI TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

ISSUE / REVISION

2/13/22 PLANNING FIRST SUBMITTAL
2/22/22 75% SET SUBMITTAL
/31/23 1ST PLANCHECK SUBMITTAL

04/25/23/1 1ST PLANNING RESUBMITTAL

06/08/23/32ND PLANCHECK RESUBMITTAL

07/03/23 /4 3RD PLANNING SUBMITTAL

DRAWING TITLE

FURNITURE, FIXTURE, EQUIPMENT & SIGNAGE PLAN

AS NOTED

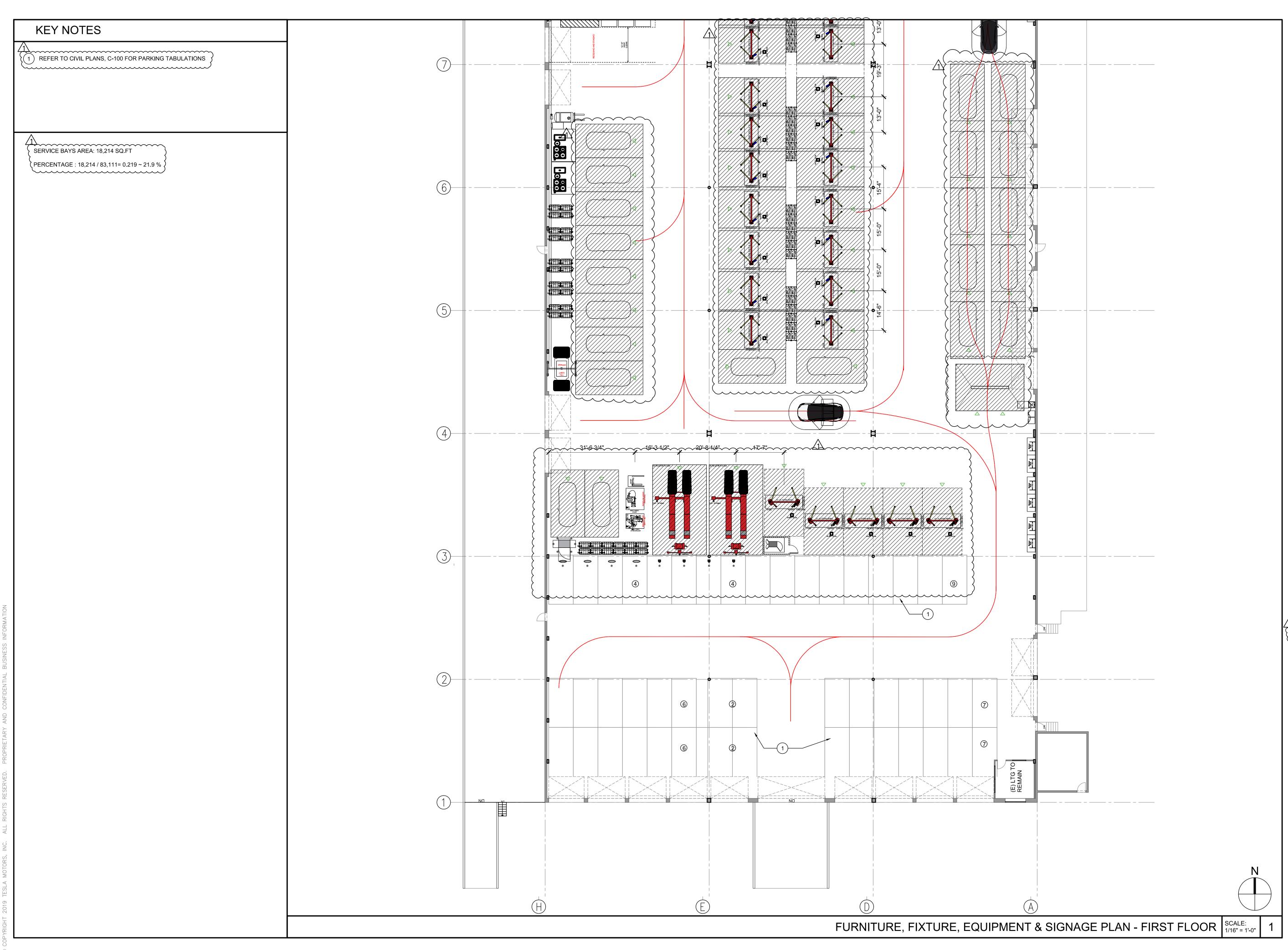
2007130099

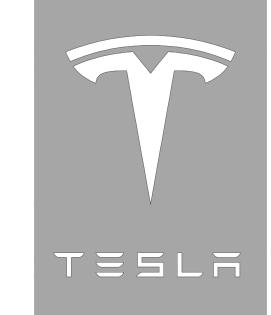
32360

SCALE: TRT PROJECT NUMBER: PROJECT NUMBER:

SHEET NUMBER

A2.02A



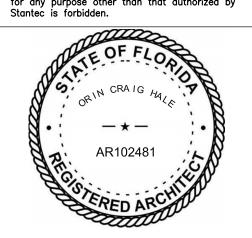




38 Technology Drive, Suite #100 Irvine, CA
92618-5312
Tel. 949.923.6000
Fax. 949.923.6121
www.stantec.com
Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing — any errors or omissions shall be reported to Stantec without delay.

The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



SERVICE CENTER
MIAMI
TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

ISSUE / REVISION

2/13/22 PLANNING FIRST SUBMITTAL
2/22/22 75% SET SUBMITTAL
//31/23 1ST PLANCHECK SUBMITTAL

04/25/23/1\1ST PLANNING RESUBMITTAL 04/25/23/2\ST PLANCHECK RESUBMITTAL

06/08/23/32ND PLANCHECK RESUBMITTAL

07/03/23 4 3RD PLANNING SUBMITTAL

DRAWING TITLE

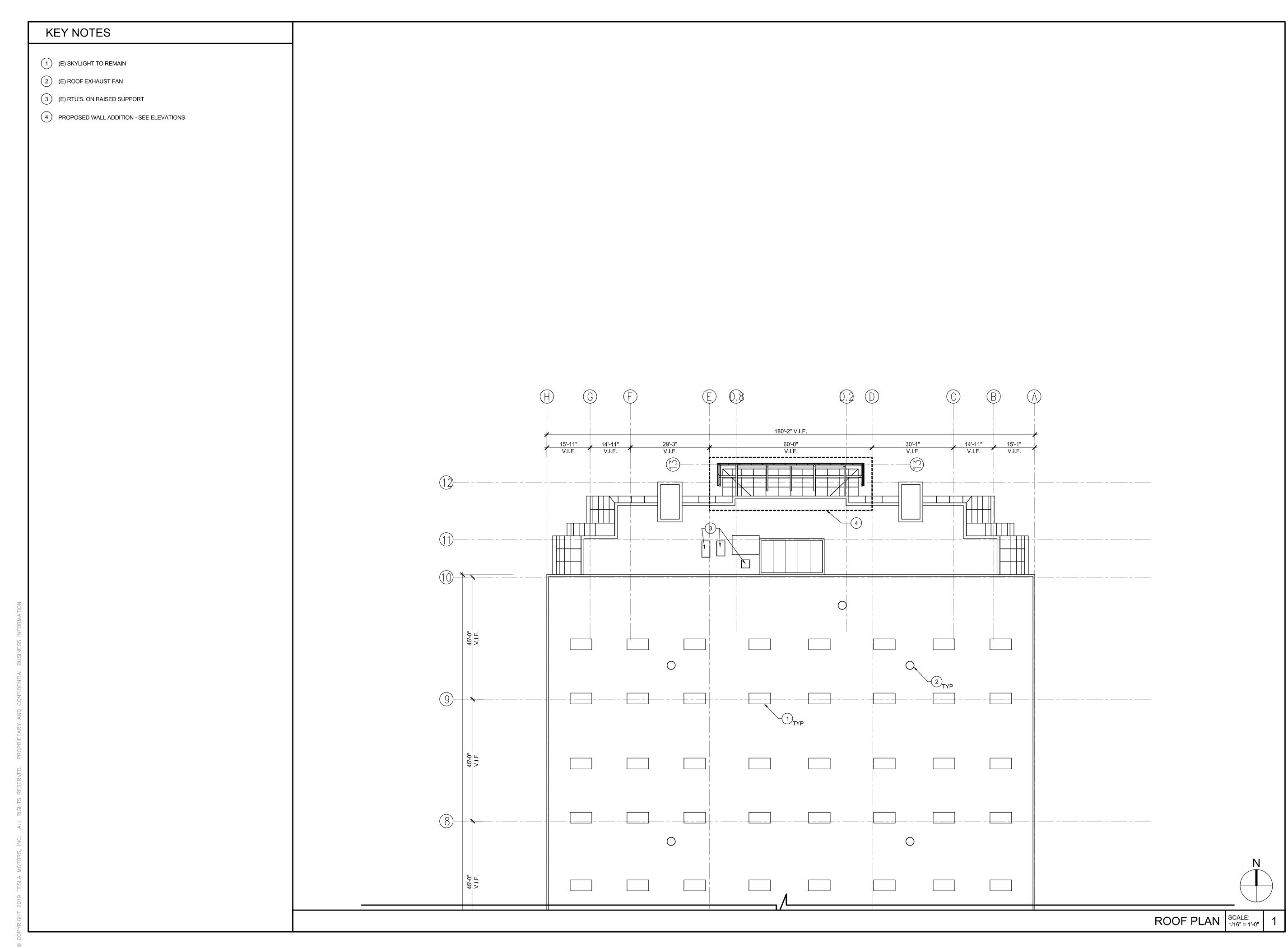
FURNITURE, FIXTURE, EQUIPMENT & SIGNAGE PLAN

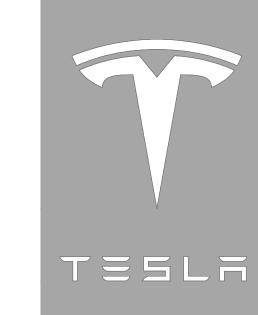
SCALE: TRT PROJECT NUMBER: PROJECT NUMBER:

SHEET NUMBER

A2.02B

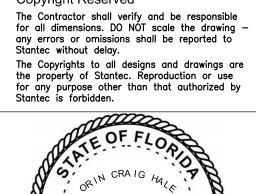
AS NOTED 32360







38 Technology Drive, Suite #100 Irvine, CA
92618-5312
Tel. 949.923.6000
Fax. 949.923.6121
www.stantec.com
Copyright Reserved
The Contractor shall verify and be responded in the contractor of t





SERVICE CENTER
MIAMI
TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

ISSUE / REVISION						
12/13/22	PLANNING FIRST SUBMITTAL					

DRAWING TITLE

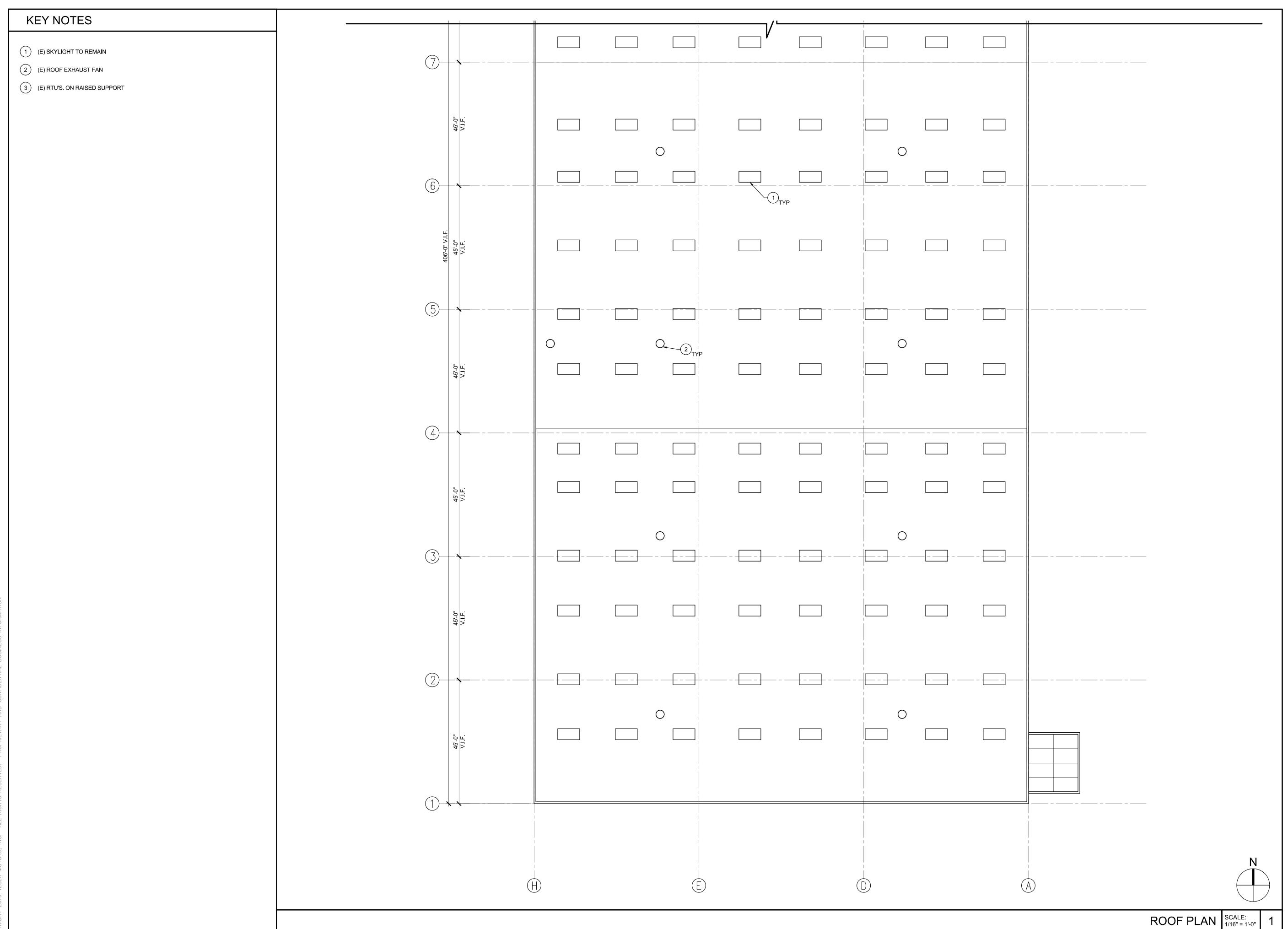
ROOF PLAN

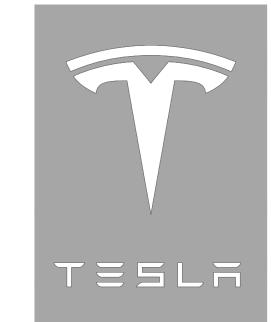
SCALE: TRT PROJECT NUMBER: PROJECT NUMBER:

SHEET NUMBER

A4.00A

AS NOTED 32360 2007130099





Stante Stante Inc.

38 Technology Drive, Suite #100 Irvine, CA
92618-5312
Tel. 949.923.6000
Fax. 949.923.6121
www.stantec.com
Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing — any errors or omissions shall be reported to Stantec without delay.

The Convigants to all designs and drawings are

The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



SERVICE CENTER MIAMI TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

12/13/22	PLANNING FIRST SUBMITTAL

DRAWING TITLE

ISSUE / REVISION

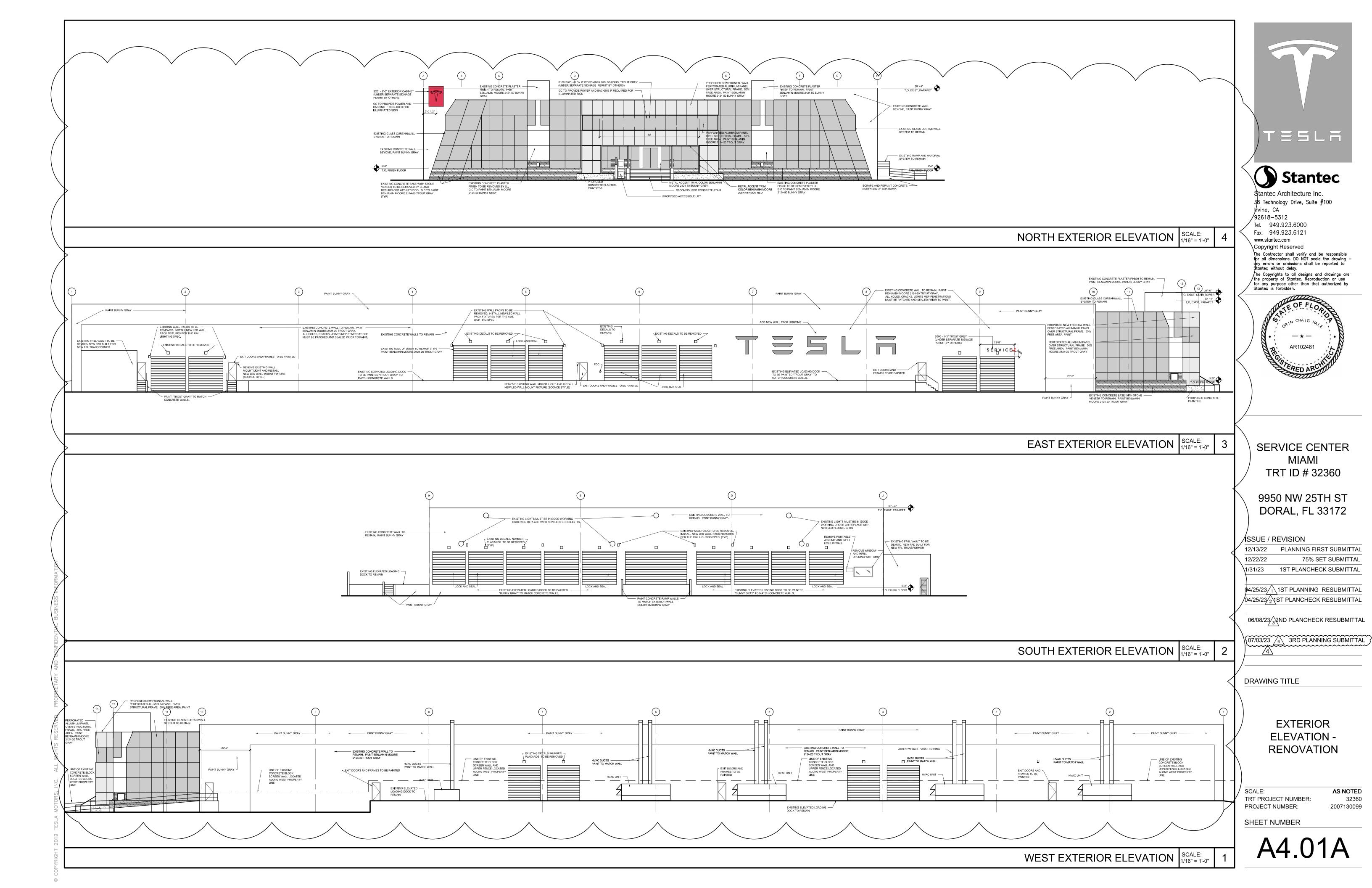
ROOF PLAN

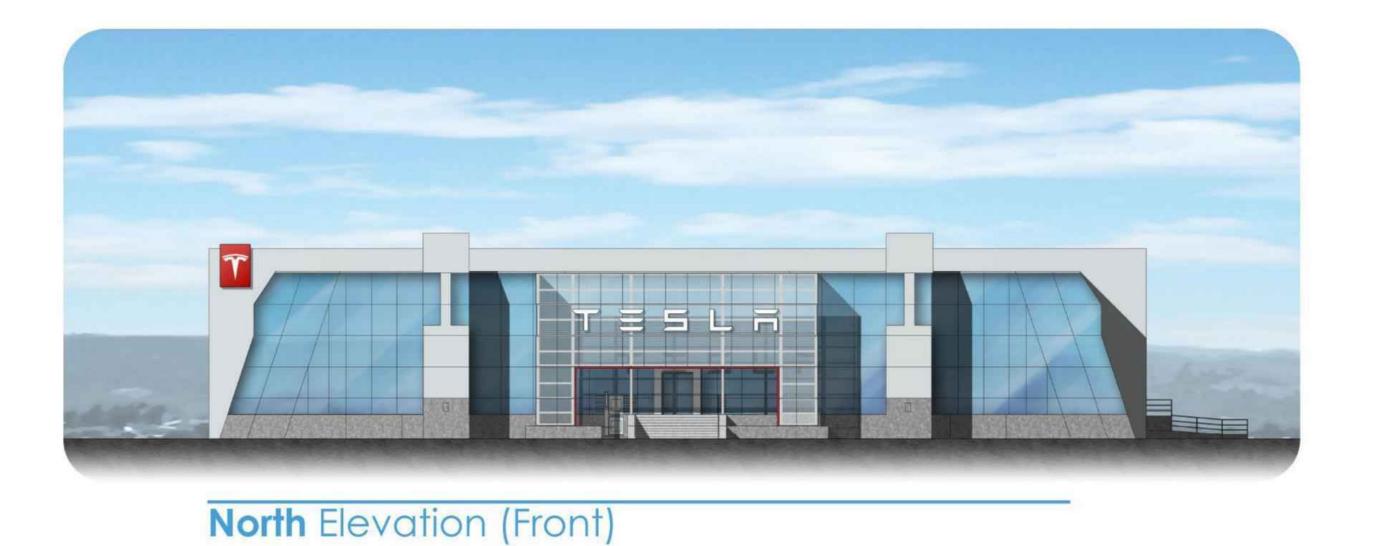
SCALE: TRT PROJECT NUMBER: PROJECT NUMBER:

SHEET NUMBER

A4.00B

AS NOTED 32360 2007130099

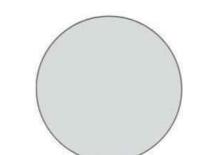






East Elevation (Left)











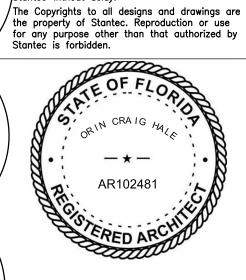
Tesla Service Center Miami #32360 9950 NW 25th St. Doral, FL

TESLA

\$tantec Architecture Inc.

\$8 Technology Drive, Suite #100 92618-5312 Tel. 949.923.6000 Fax. 949.923.6121 www.stantec.com

 Copyright Reserved
 ■ The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing Stantec without delay.



SERVICE CENTER MIAMI TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

/ISSUE / REVISION

PLANNING FIRST SUBMITTAL 75% SET SUBMITTAL 1ST PLANCHECK SUBMITTAL

04/25/23/1 1ST PLANNING RESUBMITTAL 04/25/23/2 1ST PLANCHECK RESUBMITTAL

06/08/23/32ND PLANCHECK RESUBMITTAL

07/03/23 /4 3RD PLANNING SUBMITTAL

DRAWING TITLE

COLORED **ELEVATIONS**

SCALE: TRT PROJECT NUMBER: PROJECT NUMBER:

SHEET NUMBER

A4.01C

AS NOTED 32360 2007130099

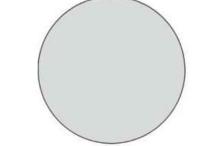


South Elevation (Front)



West Elevation (Left)





Benjamin Moore #2124-50 "Bunny Gray"



Benjamin Moore #2124-40 "Thundercloud Gray"



Benjamin Moore #2087-10 "Neon Red"



Gary CMU

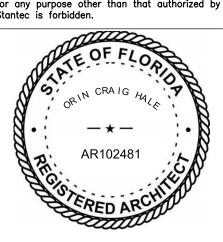
Tesla Service Center Miami #32360 9950 NW 25th St. Doral, FL

TESLA

Stantec Stantec Architecture Inc.

3B Technology Drive, Suite #100 92618-5312 Tel. 949.923.6000 Fax. 949.923.6121 www.stantec.com Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing — any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



SERVICE CENTER MIAMI TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

/ISSUE / REVISION

PLANNING FIRST SUBMITTAL 75% SET SUBMITTAL 1ST PLANCHECK SUBMITTAL

04/25/23/1 1ST PLANNING RESUBMITTAL 04/25/23/2 1ST PLANCHECK RESUBMITTAL

06/08/23/32ND PLANCHECK RESUBMITTAL

07/03/23 /4 3RD PLANNING SUBMITTAL

DRAWING TITLE

COLORED **ELEVATIONS**

SCALE:
TRT PROJECT NUMBER:
PROJECT NUMBER: **AS NOTED** 32360 2007130099

SHEET NUMBER

A4.01D

I. APPLICABLE CODES

- 1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT MIAMI—DADE PUBLIC WORKS DEPARTMENT (MDCPWD) STANDARDS, F.D.O.T SPECIFICATIONS AS WELL AS ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- 3. ELEVATIONS SHOWN RELATE TO NATIONAL GEODETIC VERTICAL DATUM, N.G.V.D., 1929. BENCH MARK SUPPLIED BY THE PUBLIC WORKS DEPARTMENT OF MIAMI-DADE COUNTY, FLORIDA.
- 4. PROPOSED ELEVATIONS SHOWN ARE FINISHED GRADES.
- 5. EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.
- 6. EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, TREES SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC.. WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- 7. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
- 8. CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES. TRAFFIC CONTROL SIGNS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE
- 9. THE CONTRACTOR SHALL COORDINATE HIS/HERS WORK WITH ANY OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECT.
- 10. ALL DITCH EXCAVATION SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE FLORIDA TRENCH SAFETY ACT.
- 11. THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 12. THE CITY OF DORAL HAS A NOISE ORDINANCE WHICH WILL NOT PERMIT CONSTRUCTION WORK BEYOND ACCEPTABLE NOISE LEVELS EXCEPT BETWEEN THE HOURS OF 7:30 AM AND 6:30 PM IN WRITING. MONDAY THROUGH FRIDAY.

II. PRECONSTRUCTION RESPONSIBILITIES

- 1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED. PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED.
- 2. 48 HOURS BEFORE BEGINNING CONSTRUCTION IN THE AREA, THE CONTRACTOR SHALL NOTIFY SUNSHINE STATE CALL ONE OF FLORIDA, INC. AT 1-800-432-4770 AND ANY OTHER UTILITIES WHICH MIGHT BE
- 3. THE CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF
- 4. THE LOCATIONS OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

III. INSPECTION AND TESTING

INSPECTIONS: THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:

- 1.) STORM DRAINAGE
- 2.) SANITARY SEWER
- 3.) WATER SYSTEM 4.) FORCE MAIN SYSTEM
- 5.) SUBGRADE SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK. CITY OF DORAL ENGINEERING INSPECTOR MUST BE PRESENT FOR
- 6.) LIMEROCK BASE SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT. CITY OF DORAL ENGINEERING INSPECTOR MUST BE PRESENT FOR DENSITY TESTING.
- 7.) CONCRETE SIDEWALK, CURBING, FORMS AND/OR TRENCHING
- 8.) ASPHALTIC CONCRETE
- 9.) FINAL WALK-TROUGH INSPECTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL APPLICABLE REGULATORY AGENCIES FOR INSPECTION REQUIREMENTS.

IV. SHOP DRAWINGS

1. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: CATCH BASINS AND ALL OTHER DRAINAGE STRUCTURES. DRAINAGE PIPE, BALLAST ROCK, EXFILTRATION TRENCH FILTER FABRIC, ASPHALTIC CONCRETE MIX, CONCRETE MIX. IN ADDITION, THE CITY OF DORAL (PUBLIC WORKS-ENGINEERING DIVISION) REQUIRE THEIR OWN INDIVIDUAL REVIEW AND APPROVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL CITY SHOP DRAWING APPROVALS.

V. TEMPORARY FACILITIES

- 1. TEMPORARY FACILITIES
- A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY, DURING CONSTRUCTION.
- B. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS ENTRANCE TO COMMERCIAL PROPERTIES AT ALL TIMES, IF APPLICABLE.
- C. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF
- CONSTRUCTION. IF APPLICABLE. D. SANITARY SEWER SHALL BE USED FOR TESTING PURPOSES ONLY DURING CONSTRUCTION.

2. TRAFFIC REGULATION

A. THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH M.U.T.C.D. AND THE CITY OF DORAL AND MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS

SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY

OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC. C. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE CITY OF DORAL AND MIAMI-DADE

VI. PROJECT CLOSE OUT:

COUNTY PUBLIC WORKS DEPARTMENT.

- 1. CLEANING UP
- A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP. THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT BROOM CLEAN.
- B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
- D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS. SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- E.. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL. DEMOLITION. VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS HER OWN EXPENSE. WITH THE PRIOR APPROVAL OF THE ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.
- 2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

3. PROJECT RECORD DOCUMENTS

- A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION. LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING
- B. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON
- C. THE CONTRACTOR SHALL MAINTAIN A RECORD SET OF DRAWINGS AS THE PROJECT IS BEING CONSTRUCTED AND UPDATED NO LESS FREQUENTLY THAN MONTHLY. THIS IN-PROGRESS RECORD SET SHALL BE MADE AVAILABLE TO THE OWNER AND CM IN CONJUNCTION WITH THE SUBMITTAL AND REVIEW OF EACH MONTHLY PAYMENT APPLICATION. THE RECORD SET BECOMES A PART OF THE AS-BUILTS AT THE END OF THE PROJECT. THE RECORD SET SHALL REFLECT ALL CHANGES INITIATED BY THE DESIGN-BUILDER OR THE CITY IN THE FORM OF REVISIONS. THE AS-BUILT/RECORD SET SHALL BE SUBMITTED IN BOTH HARDCOPY AND ELECTRONIC (.PDF) FORMAT AS LISTED ABOVE UPON PROJECT COMPLETION.

D. CONTRACTOR SHALL PREPARE AND SUBMIT FINAL AS-BUILTS. AS-BUILTS MUST BE IN COMPLIANCE WITH THE FLORIDA ADMINISTRATIVE CODE. THE AS-BUILTS SHALL IDENTIFY THE CONTROL POINTS USED TO ESTABLISH PROJECT COORDINATES AND DATUM. AS-BUILTS SHALL BE SIGNED AND SEALED BY THE ARCHITECT AND/OR ENGINEER OF RECORD AND OR PROFESSIONAL SURVEYOR AND MAPPER AS APPROPRIATE TO THEIR AREAS OF PROFESSIONAL PRACTICE. THE RECORD SET SHALL REFLECT ALL CHANGES INITIATED BY THE DESIGN—BUILDER OR THE CITY IN THE FORM OF REVISIONS. THE AS-BUILT/RECORD SET SHALL BE SUBMITTED IN BOTH HARDCOPY AND ELECTRONIC (.PDF) FORMAT AS LISTED ABOVE UPON PROJECT COMPLETION. INFORMATION PROVIDED MUST BE COMPLIANT WITH REQUIREMENTS OF THE CITY OF DORAL BUILDING DEPARTMENT AND OTHER AHJ'S.

4. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.

VII. PAVING

1. GENERAL

- A. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- B. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- C. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- D. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER CITY OF DORAL AND MIAMI-DADE COUNTY STANDARD DETAILS. CONTRACTOR SHALL MATCH ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.
- E. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING CONC. CURB, CURB & GUTTER, SIDEWALK AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER AND MEDIAN IS PROPOSED TO BE CONSTRUCTED.
- F. NONE OF THE EXISTING LIMEROCK BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED LIMEROCK BASE.

2. MATERIALS AND INSTALLATION

A. ALL ON SITE WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH PART 2 OF THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT MANUAL INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

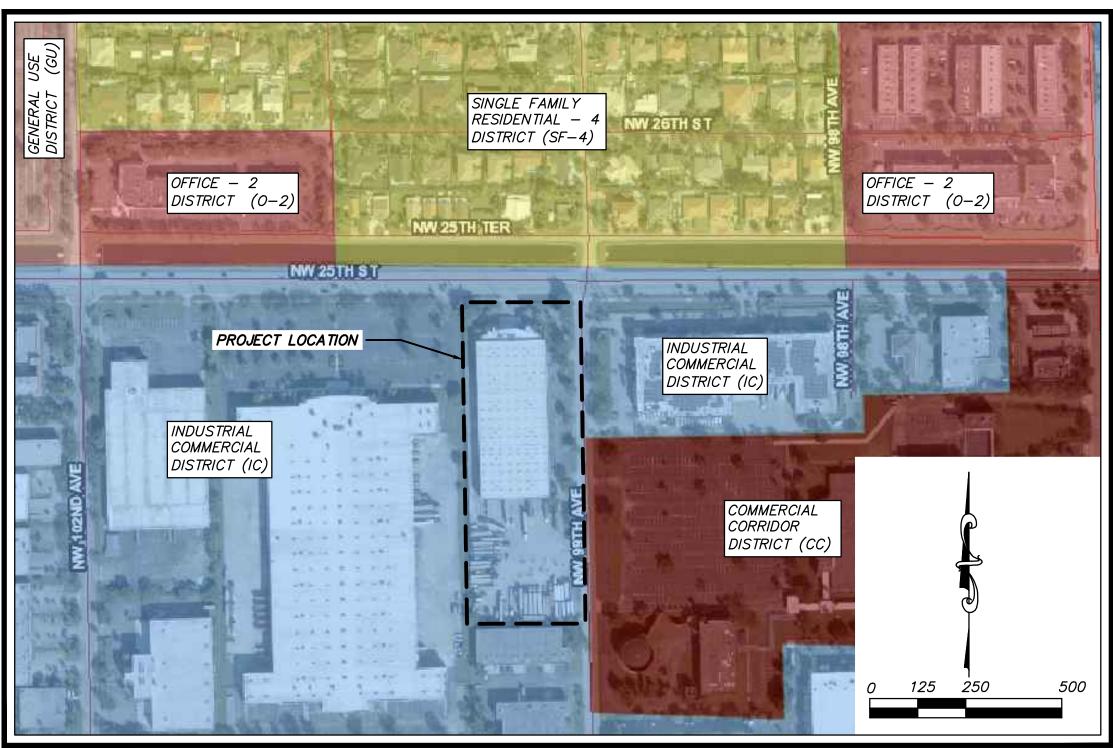
EXCAVATION AND EMBANKMENT

STABILIZATION LIMEROCK BASE (8-INCH THICK) PRIME AND TACK COATS

TYPE S-III ASPHALTIC CONCRETE SURFACE COURSE (2" THICK) CONCRETE SIDEWALK SPECIFICATIONS

B. SUBGRADE FOR DRIVEWAYS AND PARKING AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY PER AASHTO SPECIFICATION T-180-74. THE MINIMUM COMPACTED THICKNESS OF THE STABILIZED SUBGRADE SHALL BE 12".

C. THE MINIMUM COMPACTED THICKNESS OF THE LIMEROCK BASE SHALL BE 8" AND PLACED IN TWO EQUAL LIFTS. LIMEROCK BASE SHALL BE PRIMED AND COMPACTED TO 98% PER A.A.S.H.T.O. T-180-74.



VICINITY MAP WITH ADJECENT PROPERTY ZONING SCALE: 1"=250'

Permit/Seal This item has been digitally signed and sealed by Jeffrey S. Crews on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified 04/25/23/3\ PERMIT REVIEW 2023.06.09 04/25/23/21ST PLANCHECK RESUBMITTAL
 SMG
 JSC
 2023.02.01

 SMG
 JSC
 2022.12.09
 SMG JSC 20 SMG JSC 20 2023.03.24 Building Department Submittal 04/25/23 1ST PLANNING RESUBMITTAL Code Minimum Landscape Submittal Appd YYYY.MM.D Revision Appd YYYY.MM.DI Issued

JEFFREY S. CREWS, P.E. NO. 46575

STANTEC CONSULTING SERVICES INC.

800 FAIRWAY DRIVE

DEERFIELD BEACH, FLORIDA, 33441

Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay, he Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.



Client/Project TESLA

Service Center Miami, TRT ID #32360

9950 NW 25th Street, Doral Florida 33172

File Name: GENERAL NOTES & VICINITY MAP SMG JSC JSC 2022.12

Dwn. Dsgn. Chkd. YYYY.MM.DD

GENERAL NOTES &

VICINITY MAP

200713009 Revision Sheet

Project No.

Scale Drawing No.

G-100

ORIGINAL SHEET - ANSI D



POST INDICATOR VALVE SANITARY MANHOLE \mathcal{O} SIAMESE CONNECTION SIGN (UNLESS NOTED) -UNKNOWN MANHOLE Ф UNKNOWN UTILITY SERVICE BOX WATER METER WATER VALVE

6----

(5)

CONCRETE UTILITY POLE

CURB INLET

FIRE HYDRANT **GUY ANCHOR**

HANDICAP PARKING

WOOD UTILITY POLE

IRRIGATION CONTROL VALVE

NUMBER OF REGULAR PARKING

X PALM

DENOTES 12" DIAMETER TRUNK (TYPICAL)

Total Parking Spaces

 KVM
 JSC
 2023.06.09

 SMG
 JSC
 2023.03.24

 SMG
 JSC
 2023.03.24

 By
 Appd
 YYYY.MM.DD

EXISTING PARKING DATA:

Number of Regular Parking Spaces Number of Handicapped Parking Spaces

1. All Elevations Heron Are Relative To The National Geodetic Vertical Datum of 1929 (NGVD 1929)

Permit/Seal This item has been digitally signed and sealed by Jeffrey S. Crews on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Building Department Submittal

Issued

Code Minimum Landscape Submittal

 SMG
 JSC
 2023.02.01

 SMG
 JSC
 2022.12.09

 By
 Appd
 YYYY.MM.DD

JEFFREY S. CREWS, P.E. NO. 46575 STANTEC CONSULTING SERVICES INC. 800 FAIRWAY DRIVE DEERFIELD BEACH, FLORIDA, 33441

Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.

Client/Project Logo TESLA Client/Project TESLA

Service Center Miami, TRT ID #32360

9950 NW 25th Street, Doral Florida 33172 SMG JSC JSC 2022.12

Dwn. Dsgn. Chkd. YYYY.MM.DD File Name: EXISTING CONDITIONS

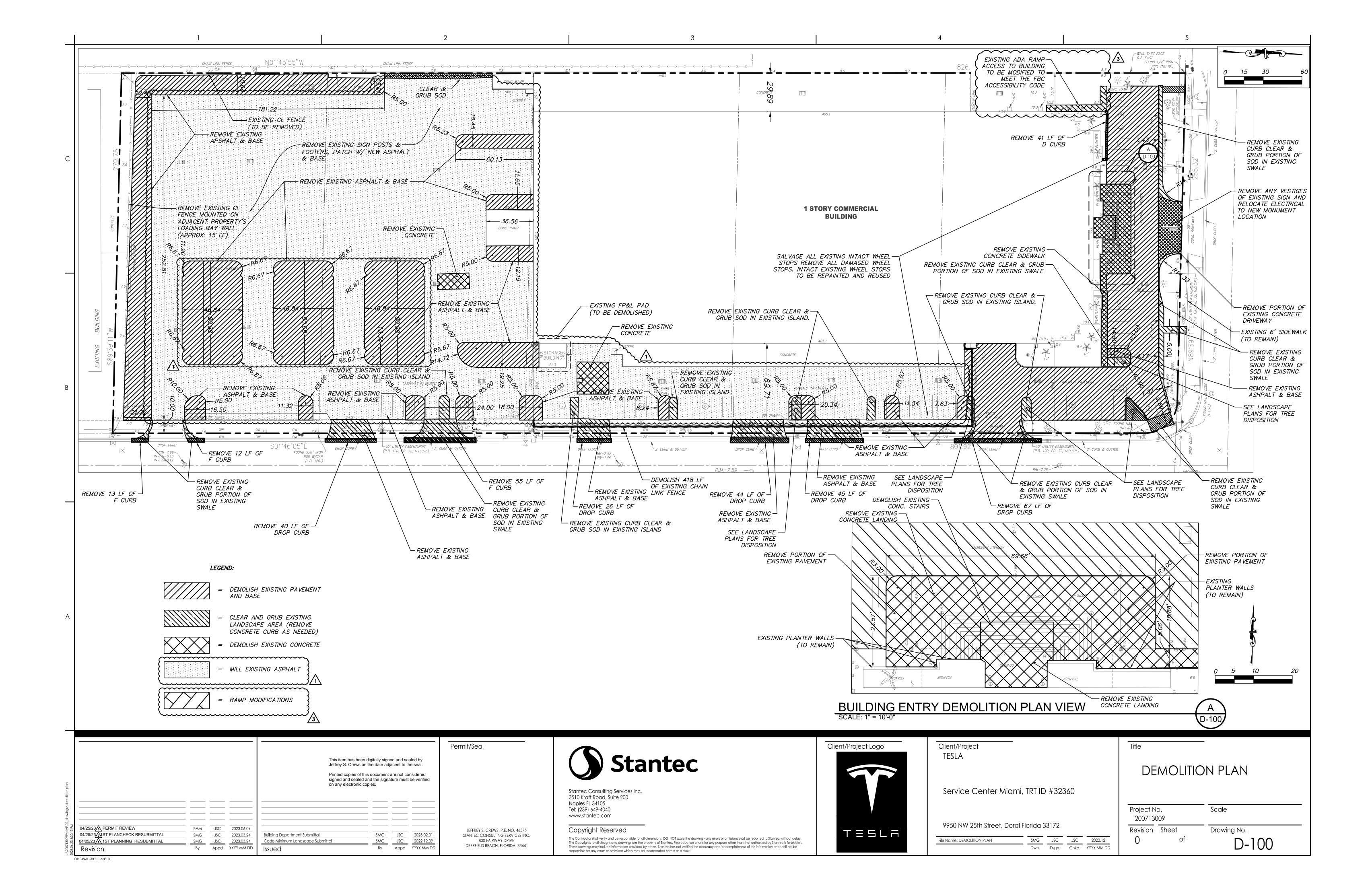
EXISTING CONDITIONS

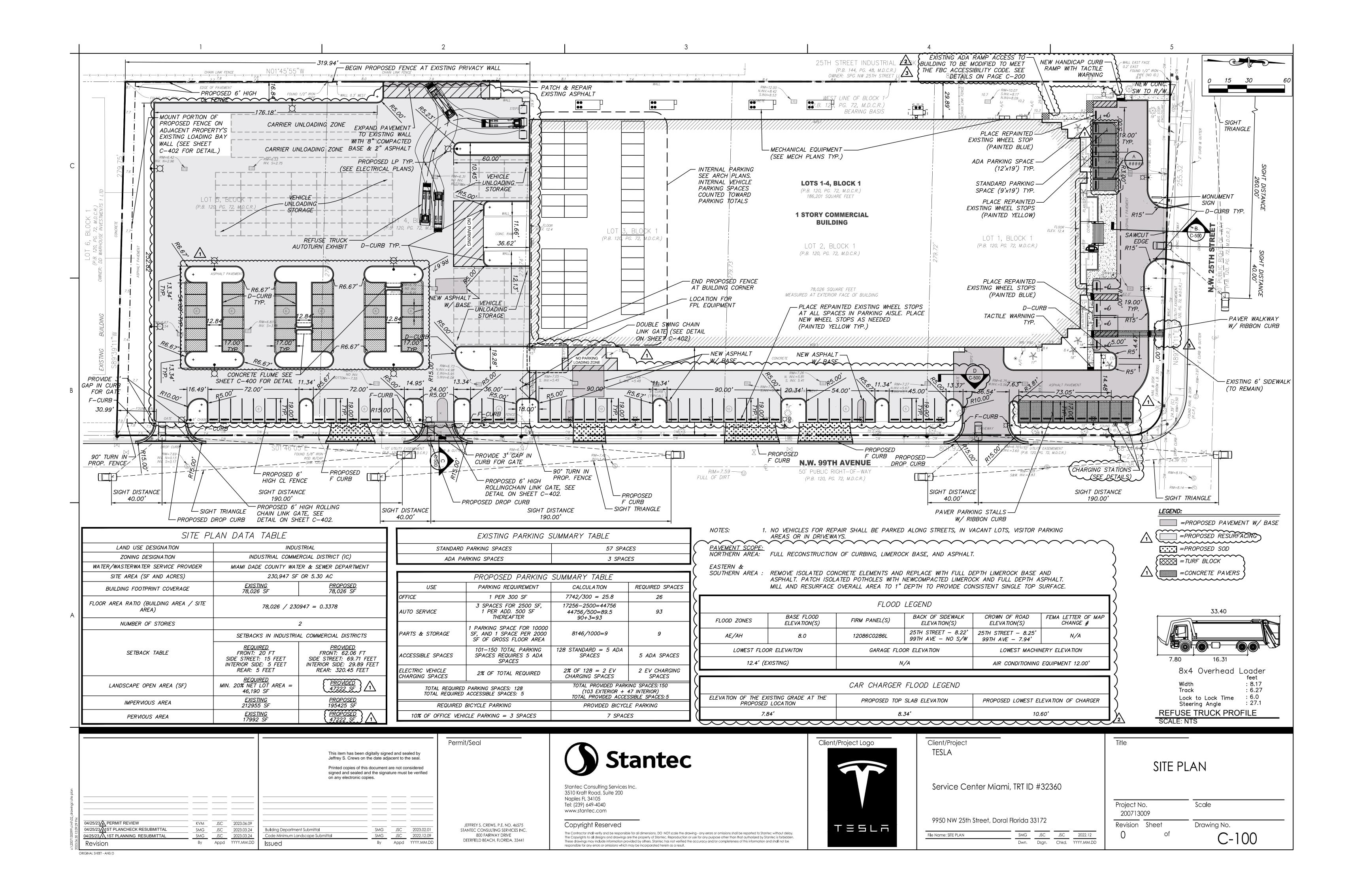
Scale Project No.

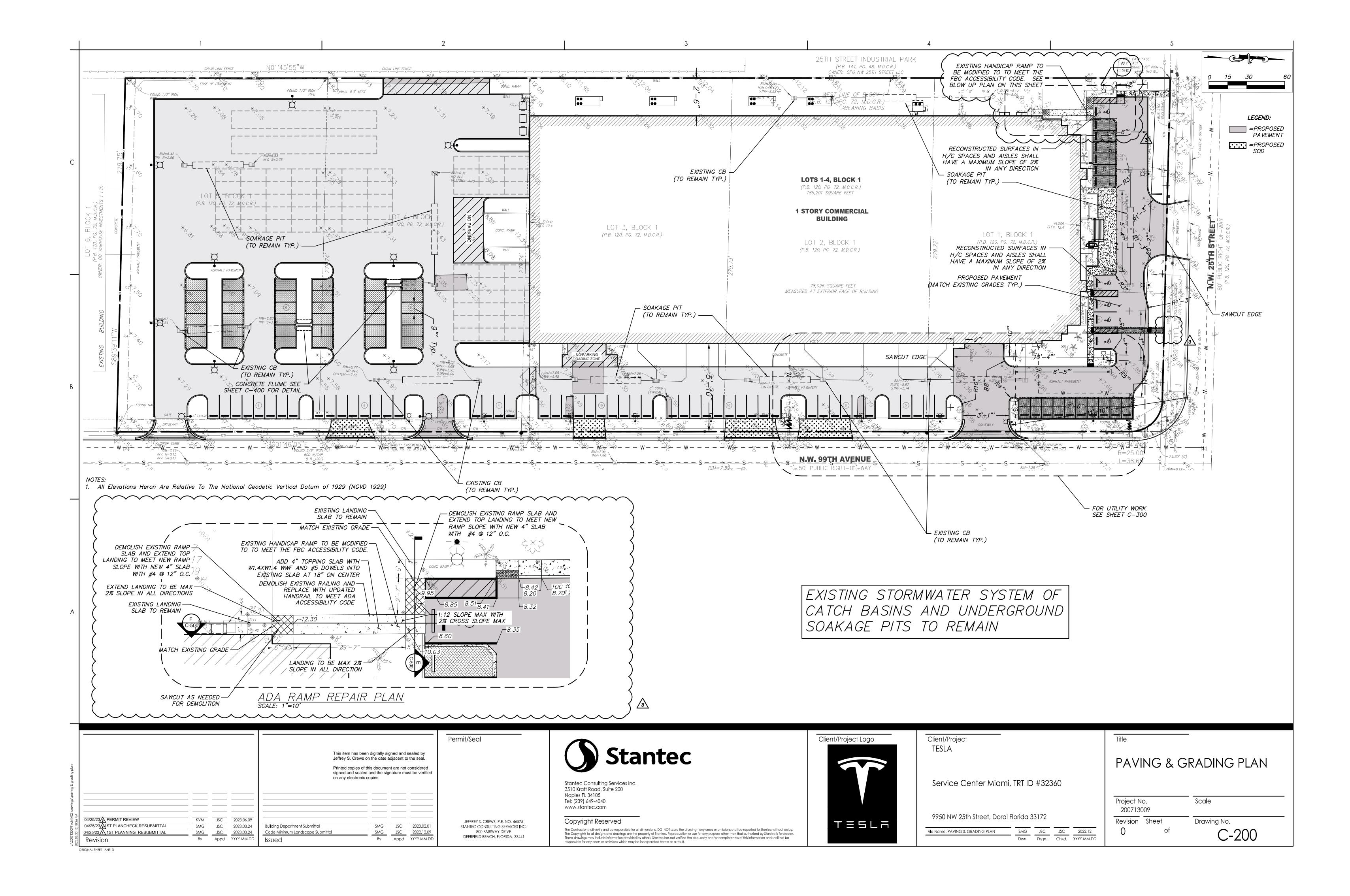
200713009 Drawing No. Revision Sheet EX-100

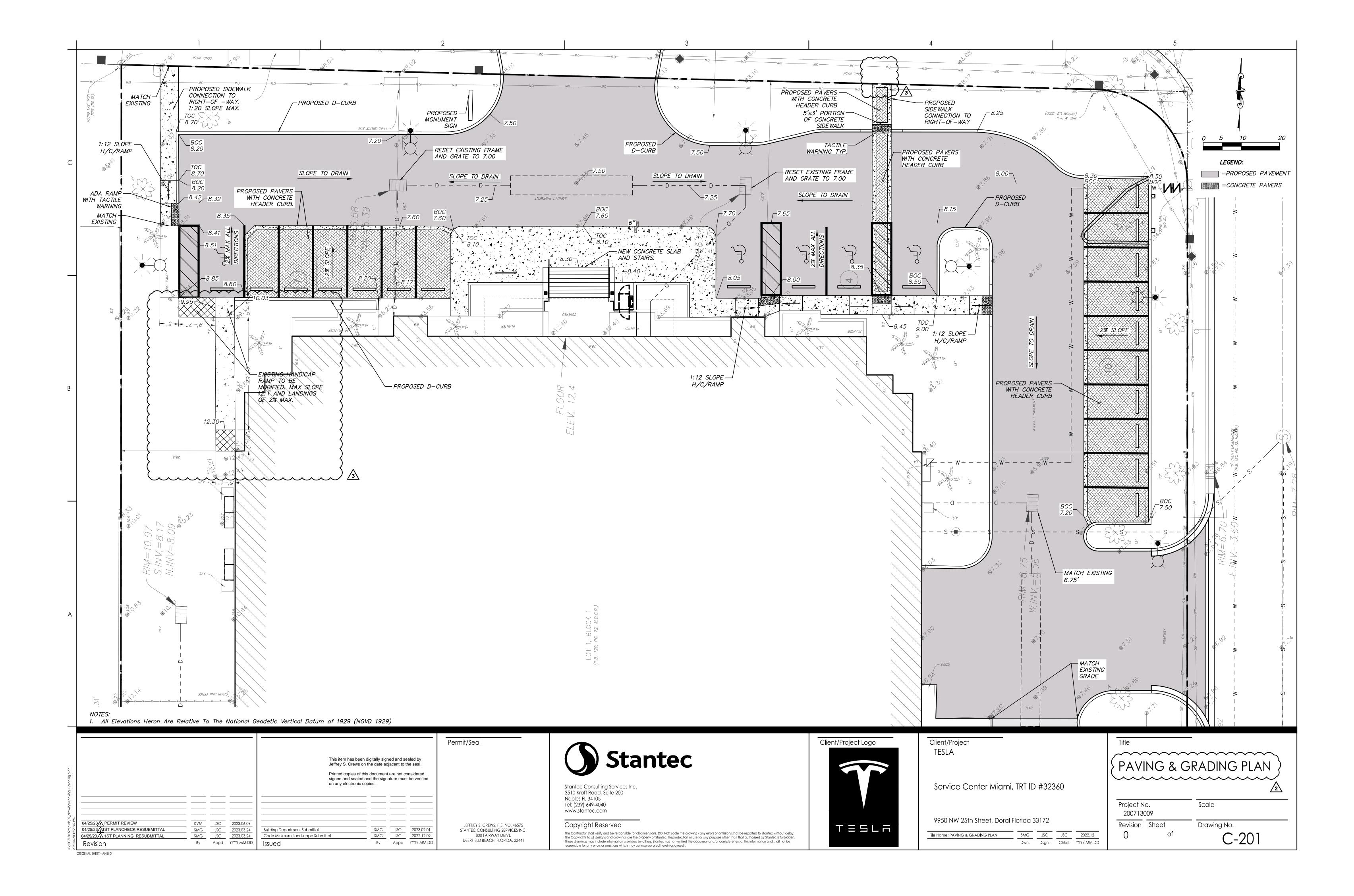
Revision ORIGINAL SHEET - ANSI D

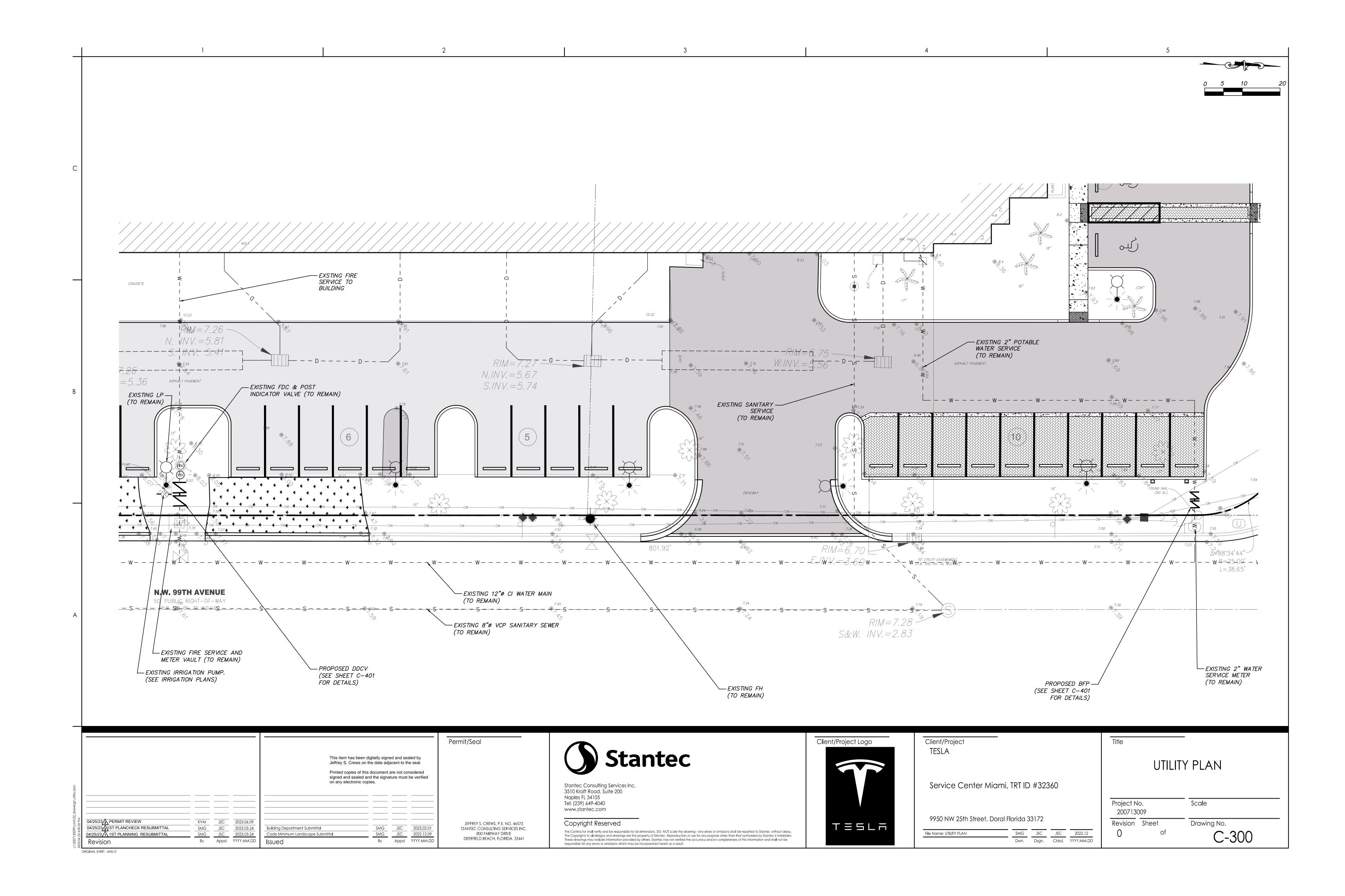
04/25/23/3 PERMIT REVIEW
04/25/23/21ST PLANCHECK RESUBMITTAL
04/25/23/1 1ST PLANNING RESUBMITTAL

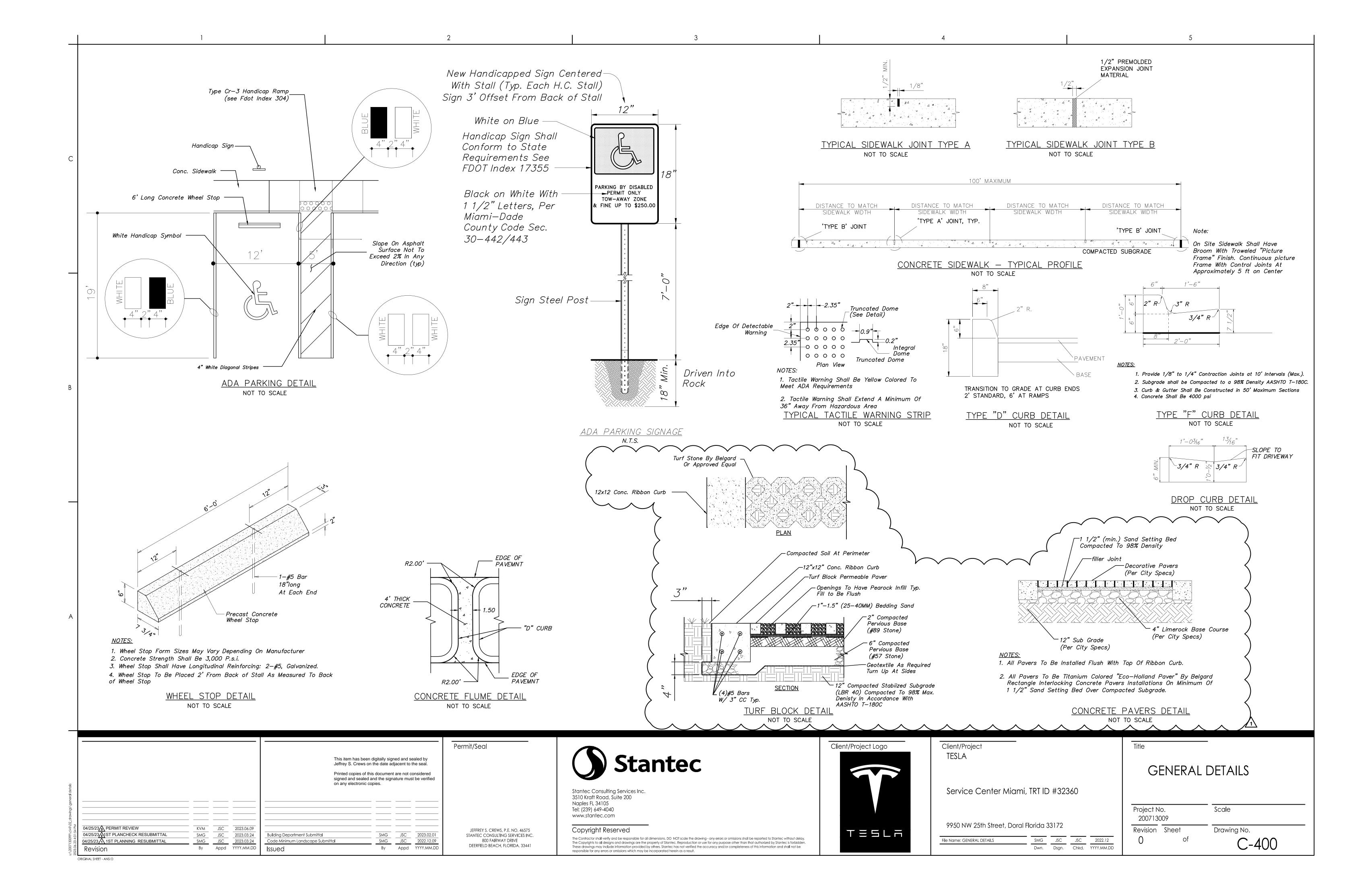


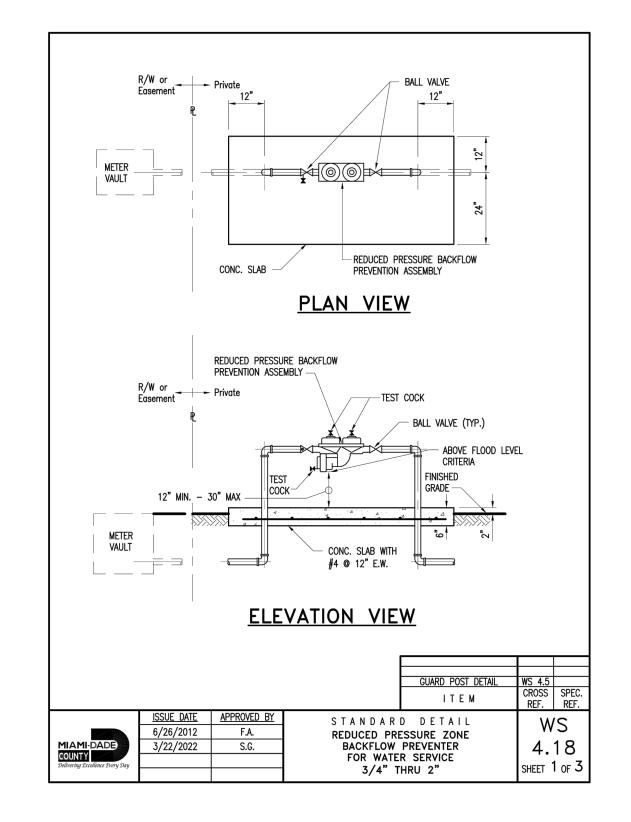


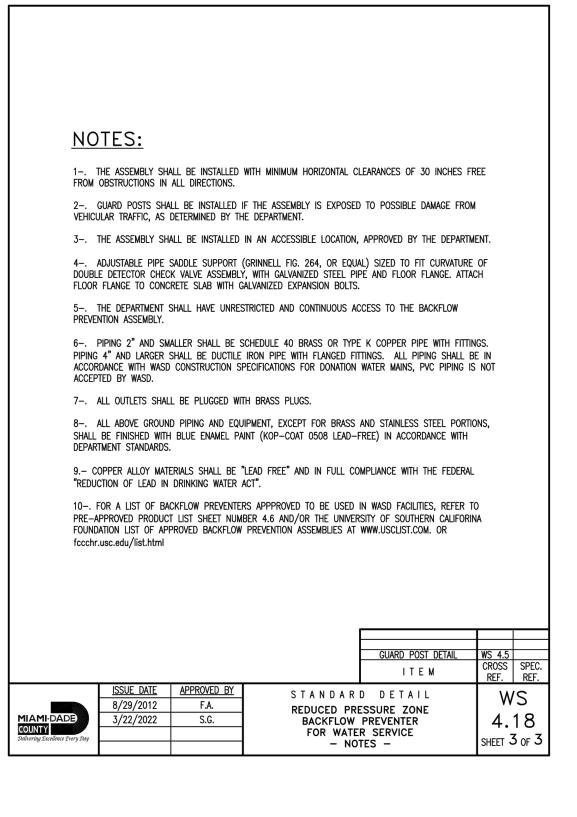


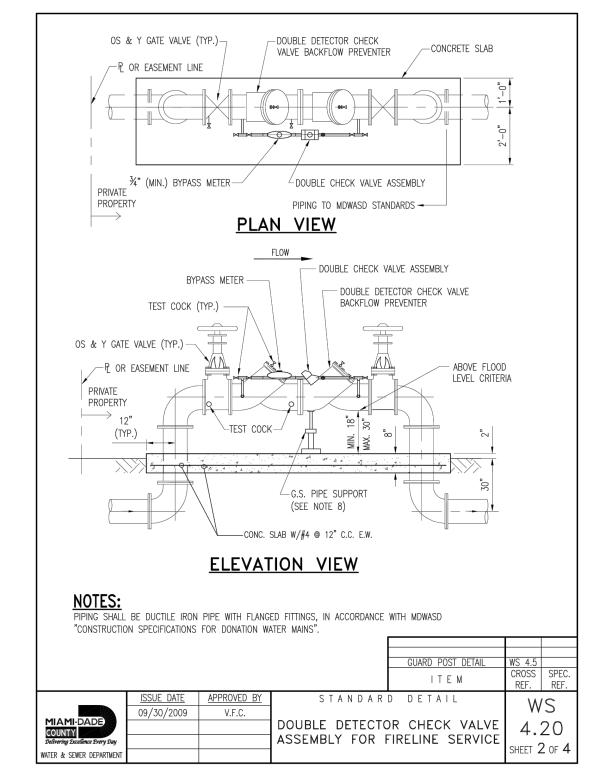


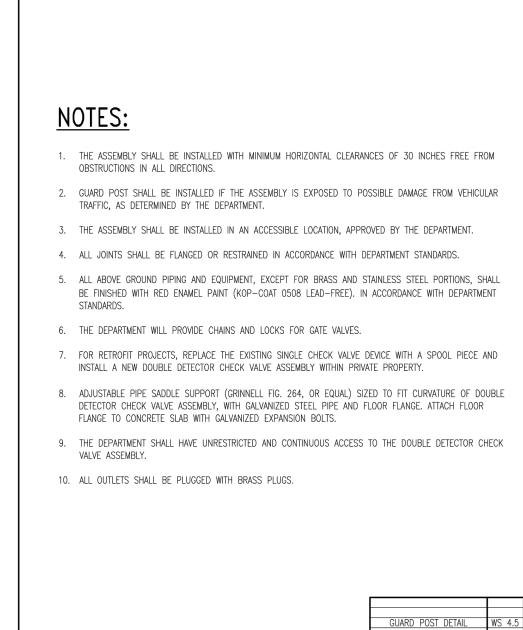












WATER & SEWER DEPARTMENT

ITEM

SHEET 3 OF 4

STANDARD DETAIL

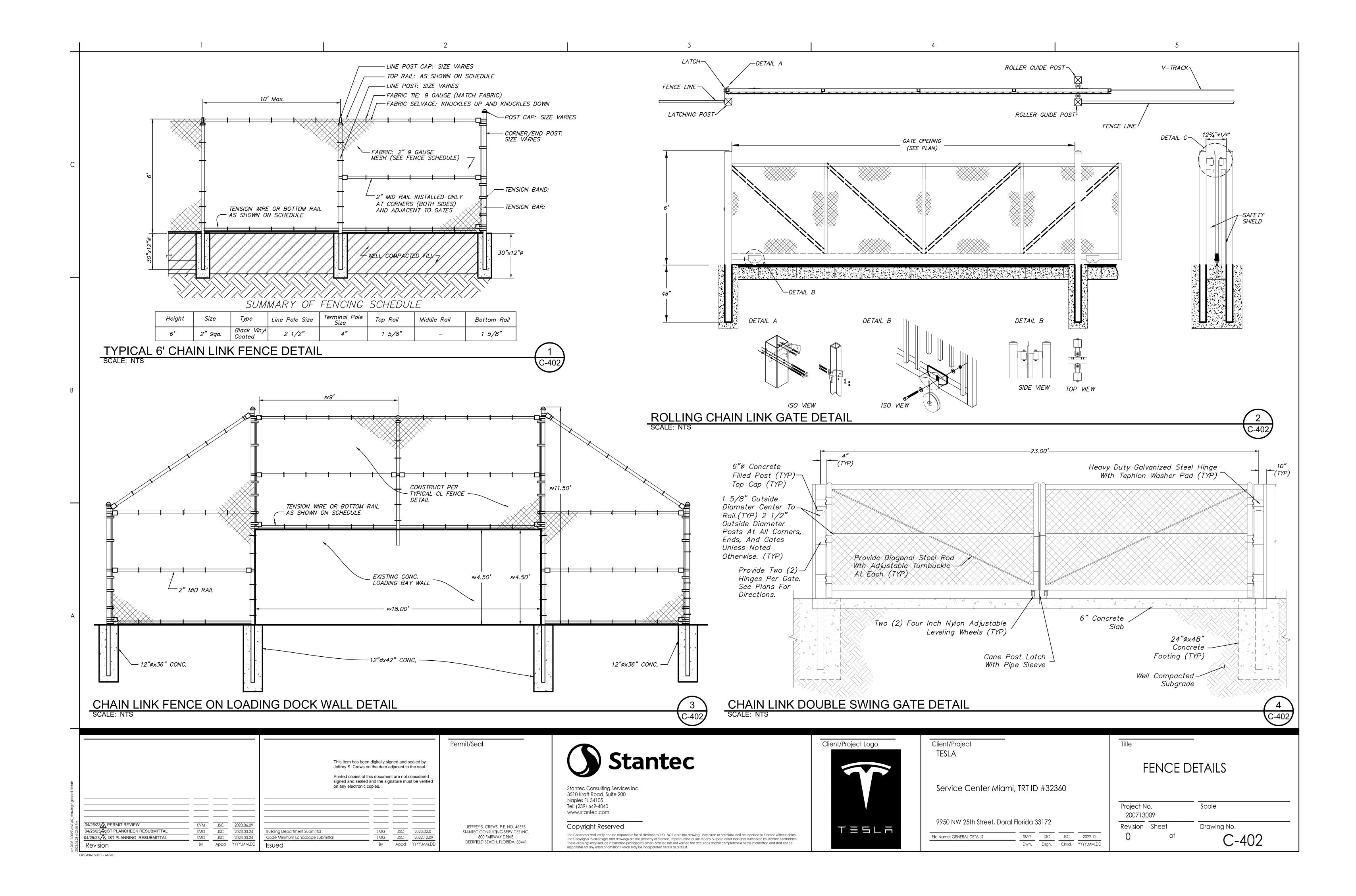
DOUBLE DETECTOR CHECK VALVE

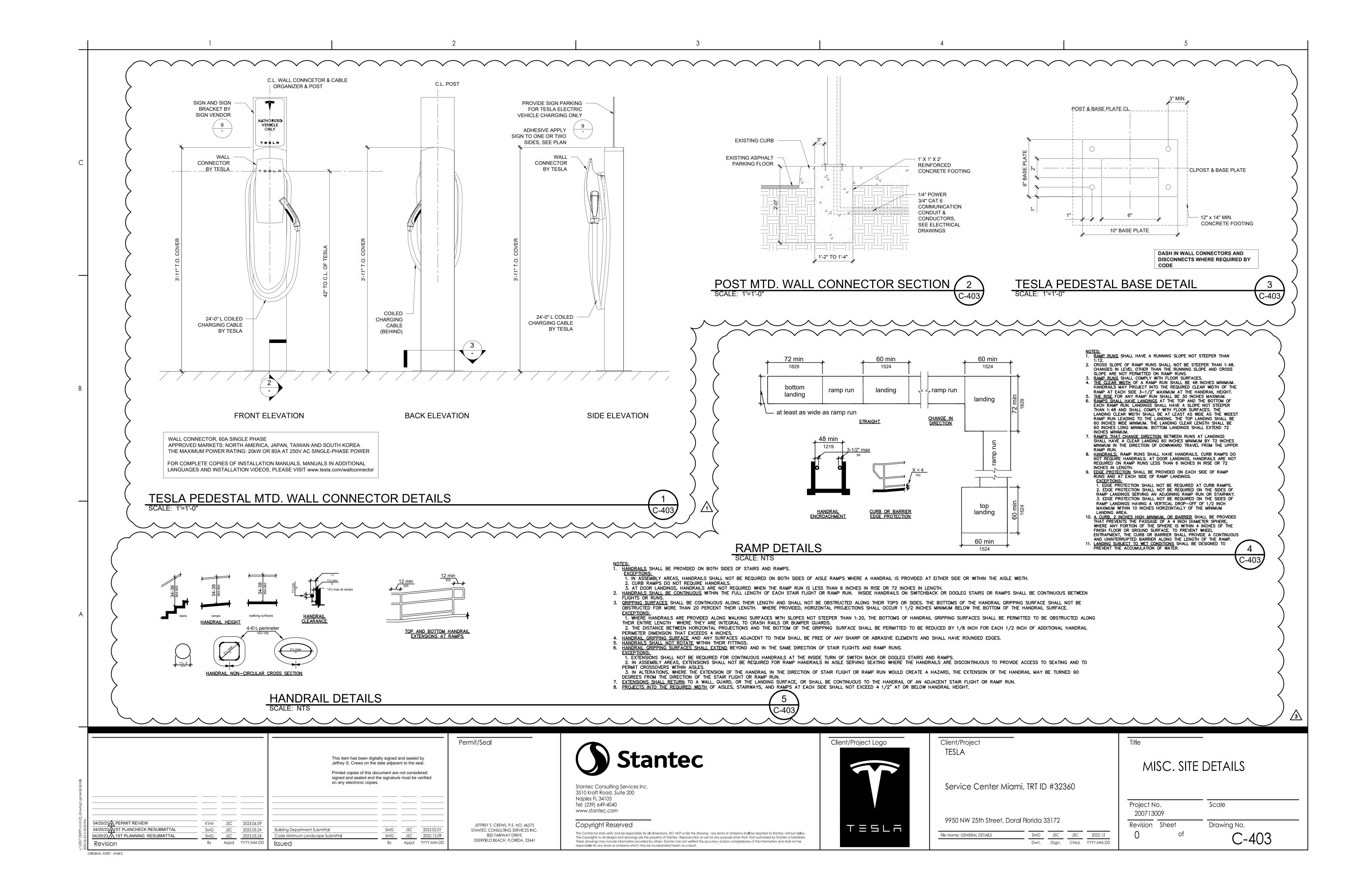
ASSEMBLY FOR FIRELINE SERVICE

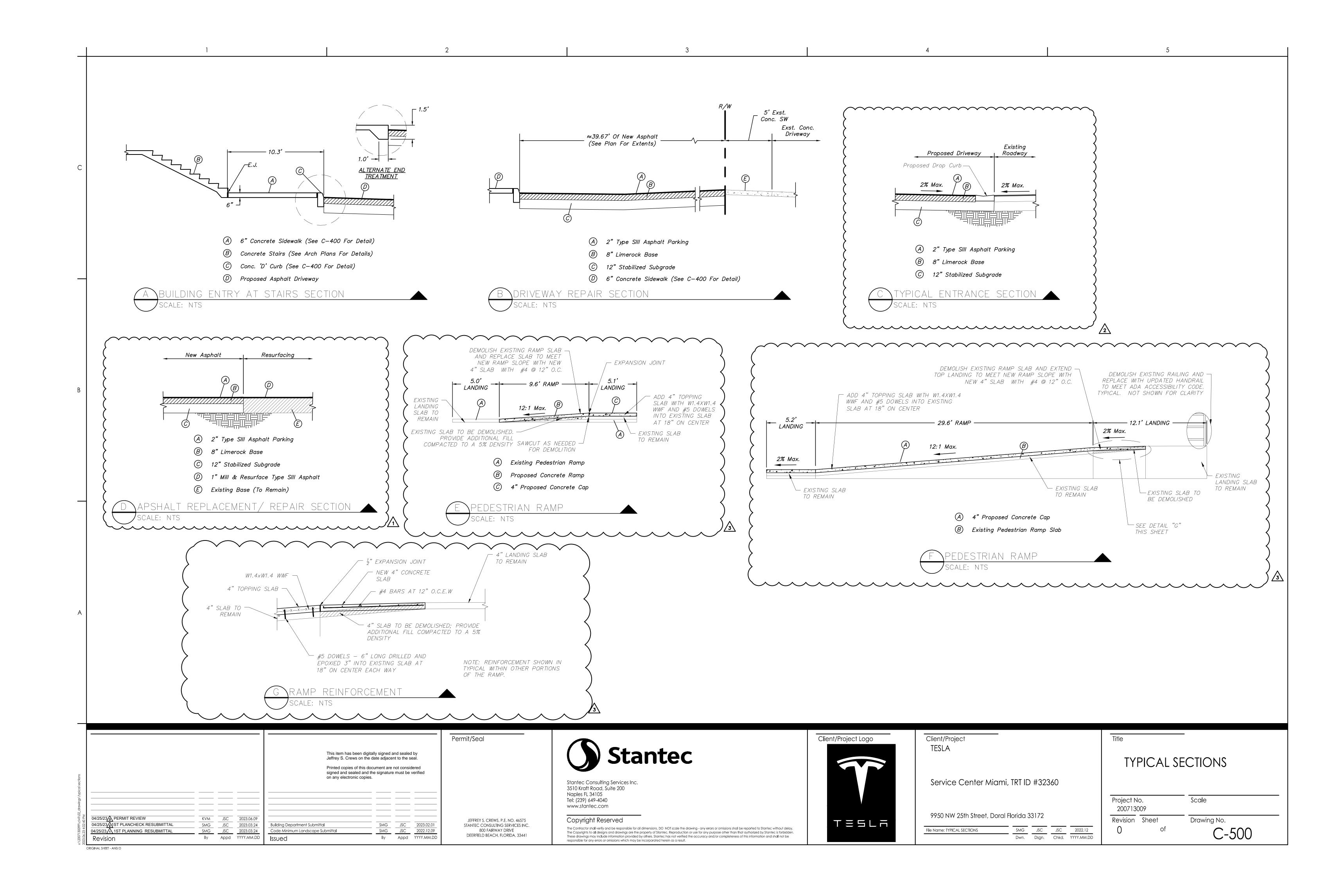
NOTES



A







- 1. CONTRACTOR SHALL PREPARE AND SUBMIT FOR APPROVAL A MAINTENANCE OF TRAFFIC PLAN THAT IS IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL STANDARD SPECIFICATIONS AND REGULATIONS. CONTRACTOR TO OBTAIN AN ENGINEERING MAINTENANCE OF TRAFFIC (GMOT) PERMIT FROM THE CITY
- OF CITY OF DORAL & MIAMI-DADE COUNTY PRIOR TO CONSTRUCTION. 2. TRAFFIC AND PEDESTRIAN CONTROL SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE CURRENT EDITION OF THE FLORIDA DOT DESIGN STANDARDS (INDEX 102-600), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. 2009 EDITION REVISION 1 AND 2 DATED MAY 2012 AS A MINIMUM CRITERIA.
- 3. THE CONTRACTOR SHALL IMMEDIATELY REPAIR ALL POTHOLES THAT DEVELOP WITHIN THE PROJECT LIMITS AND SHALL MAINTAIN A SUPPLY OF COLD MIX ON THE PROJECT SITE TO EXPEDITE THOSE REPAIRS, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE IMMEDIATE REMOVAL OF STORM WATER FROM ROADWAYS UTILIZED FOR MAINTAINING TRAFFIC IN A MANNER APPROVED BY THE ENGINEER.
- 4. NOTIFICATION OF LANE CLOSURES, TEMPORARY DETOURS, AND TRAFFIC DISRUPTION WHICH ARE NOT SHOWN ON THE TRAFFIC CONTROL PLANS BUT WHICH ARE NECESSARY TO CONSTRUCT THE PROJECT SHALL BE SUBMITTED IN WRITING TO THE ENGINEER WITH IN 14 WORKING DAYS PRIOR TO CLOSURE OR DETOUR BY SUBMITTING THE REQUIRED LANE CLOSURE FORM, CALCULATIONS, AND OTHER DATA THROUGH THE TRANSIT ENGINEER TO THE DISTRICT TRAFFIC OPERATIONS OFFICE.
- 5. THE CONTRACTOR SHALL CONTACT THE FDOT DISTRICT 4 PUBLIC INFORMATION OFFICER, THE STATE HIGHWAY PATROL, THE CITY OF DORAL AND MIAMI-DADE COUNTY SHERIFF'S OFFICE AT LEAST TEN BUSINESS DAYS PRIOR TO A LANE CLOSURE. CONTACT WITH LOCAL POLICE, FIRE RESCUE AND AMBULANCE SERVICES 48 HOURS PRIOR TO ANY AND ALL LANE SHIFTS AND OR CLOSURES.
- 6. AT THE DISCRETION OF THE ENGINEER, IF A LANE CLOSURE CAUSES EXTENDED CONGESTION OR DELAY, THE CONTRACTOR SHALL BE DIRECTED TO REOPEN THE CLOSED LANES UNTIL SUCH TIME THAT THE TRAFFIC FLOW HAS RETURNED TO AN ACCEPTABLE LEVEL.
- 7. ALL LANES MUST REMAIN OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EMERGENCY AS DIRECTED BY THE ENGINEER.
- 8. THE TRAFFIC AND TRAVEL WAY SHALL NOT BE ALTERED BY THE CONTRACTOR TO CREATE A WORK ZONE UNTIL ALL LABOR AND MATERIAL ARE AVAILABLE FOR THE CONSTRUCTION IN THAT AREA.
- 9. LANE CLOSURE MODIFICATIONS INCLUDING CLOSURES BEYOND APPROVED TIMES OR ADDITIONAL LANES, WILL NEED TO REQUEST PERMISSION FROM THE ENGINEER.
- 10. REGULATORY SPEED ESTABLISHED WITHIN WORK ZONE TRAVEL WILL BE MAINTAINED AS THE EXISTING, REDUCED SPEED AND REGULATORY SPEED SIGNS SHALL BE INSTALLED ON SEPARATE POSTS IN ACCORDANCE WITH THE STANDARD INDEXES.
- 11. THE CONTRACTOR SHALL COVER WORK ZONE SIGNS WHEN CONDITIONS NO LONGER WARRANT THEIR
- 12. CONTRACTOR SHALL REMOVE, RELOCATE OR COVER ANY EXISTING OR PROPOSED SIGNS THAT CONFLICT WITH THE TRAFFIC CONTROL PLANS, WHEN THE CONFLICT NO LONGER EXISTS, THE CONTRACTOR SHALL RESTORE THE SIGNS TO THEIR ORIGINAL POSITION.
- 13. EACH EXISTING STREET NAME AND STOP SIGN AFFECTED BY CONSTRUCTION SHALL BE RELOCATED AND MAINTAINED IN AN APPROPRIATE LOCATION FOR THE DURATION OF THE PROJECT. WHEN NO LONGER AFFECTED BY CONSTRUCTION, THESE SIGNS SHALL BE RESTORED TO THEIR ORIGINAL POSITION OR RELOCATED POSITION AS SHOWN IN THE DRAWINGS.
- 14. THE CONTRACTOR SHALL MAINTAIN SAFE VEHICULAR ACCESS TO ALL ADJACENT PROPERTY AT ALL TIMES AND SHALL MAINTAIN ACCOMMODATIONS FOR INTERSECTING AND CROSSING TRAFFIC. NO ROAD OR STREET CROSSING SHALL BE BLOCKED OR UNDULY RESTRICTED AS DETERMINED BY THE ENGINEER. 15. ACCESS TO BUSINESSES AND RESIDENCES SHALL BE MAINTAINED DURING CONSTRUCTION.THE
- CONTRACTOR SHALL NOTIFY ALL CONCERNED UTILITY COMPANIES PRIOR TO WORKING NEAR THEIR EXISTING FACILITIES. 13. CONTRACTOR SHALL PROVIDE TYPE II BARRICADES PER FDOT INDEX 600 THAT INDICATES WHEN
- PATHWAYS AND SIDEWALKS WITHIN THE PROJECT LIMITS ARE CLOSED. 14. PEDESTRIAN LONGITUDINAL CHANNELIZING DEVICES PER FDOT INDEX 600 SHALL BE VISIBLE AND WELL MAINTAINED AT ALL TIMES.
- 15. THE WORK ZONE SHALL BE SECURED WITH LONGITUDINAL CHANNELIZING DEVICES AND TYPE II BARRICADES WITH STEADY BURN LIGHTS USED TO CLOSE SIDEWALKS FOR BETTER VISIBILITY AFTER

II. <u>TEMPORARY SIGNING AND PAVEMENT MARKINGS (WHERE REQUIRED)</u>

- THE USE OF BLACK PAINT TO COVER EXISTING PAVEMENT MARKINGS IS PROHIBITED.
- 2. INSTALL CONSTRUCTION SIGNING PRIOR TO COMMENCEMENT OF CONSTRUCTION AND MAINTAIN SIGNING DURING ALL PHASES OF CONSTRUCTION.
- 3. NO MATERIAL STOCKPILING IS ALLOWED WITHIN THE RIGHT-OF-WAY. CONTRACTOR TO HAUL EXCAVATED MATERIAL AND DEBRIS OFF-SITE BY END OF EACH WORK DAY.

III. <u>DRAINAGE</u>

1. THE CONTRACTOR SHALL MAINTAIN DRAINAGE DURING CONSTRUCTION AT ALL TIMES BY USING EXISTING DRAINAGE SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STANDING WATER FROM THE ROADWAY, ADDITIONAL DRAINAGE ITEMS MAY BE USED AT THE DIRECTION OF THE ENGINEER.

IV. FLAGGER CONTROL

- 1. FLAGGER MUST BE CLEARLY VISIBLE TO APPROACHING TRAFFIC FOR A DISTANCE SUFFICIENT TO PERMIT PROPER RESPONSE BY THE MOTORIST TO THE FLAGGING INSTRUCTIONS, AND TO PERMIT TRAFFIC TO REDUCE SPEED OR TO STOP AS REQUIRED BEFORE ENTERING THE WORK SITE.
- 2. FLAGGERS SHALL BE POSITIONED TO MAINTAIN MAXIMUM COLOR CONTRAST BETWEEN THE FLAGGER'S HIGH VISIBILITY SAFETY APPAREL AND EQUIPMENT AND THE WORK AREA BACKGROUND.
- 3. WHERE FLAGGERS ARE USED, A FLAGGER LEGEND SIGN MUST REPLACE THE WORKERS SYMBOL OR LEGEND SIGN. 4. FLAGGERS MUST BE TRAINED AND QUALIFIED PER THE REQUIREMENTS OF FDOT TEMPORARY TRAFFIC CONTROL (MAINTENANCE OF TRAFFIC) TRAINING HANDBOOK; AND MUST BE PHYSICALLY AND MENTALLY
- CAPABLE OF PERFORMING THEIR TASK. 5. STOP/SLOW STOP/SLOW PADDLES ARE THE PRIMARY HAND—SIGNALING DEVICE. THE STOP/SLOW PADDLE SHALL HAVE AN OCTAGONAL SHAPE ON A RIGID HANDLE. IF THE STOP/SLOW PADDLE IS PLACED ON A RIGID STAFF, THE MINIMUM LENGTH OF THE STAFF, MEASURED FROM THE BOTTOM OF THE PADDLE TO THE END OF THE STAFF THAT RESTS ON THE GROUND, MUST NOT BE LESS THAN 6 FT. STOP/SLOW PADDLES SHALL BE AT LEAST 24 INCHES WIDE WITH LETTERS AT LEAST 6 INCHES HIGH AND SHOULD BE FABRICATED FROM LIGHT SEMI-RIGID MATERIAL. THE BACKGROUND OF THE STOP FACE SHALL BE RED WITH WHITE LETTERS AND BORDER. THE BACKGROUND OF THE SLOW FACE SHALL BE ORANGE WITH BLACK LETTERS AND BORDER. WHEN USED AT NIGHT-TIME, THE STOP/SLOW PADDLES SHALL BE RETROREFLECTORIZED. ALL MATERIAL SHALL BE FDOT APPROVED.

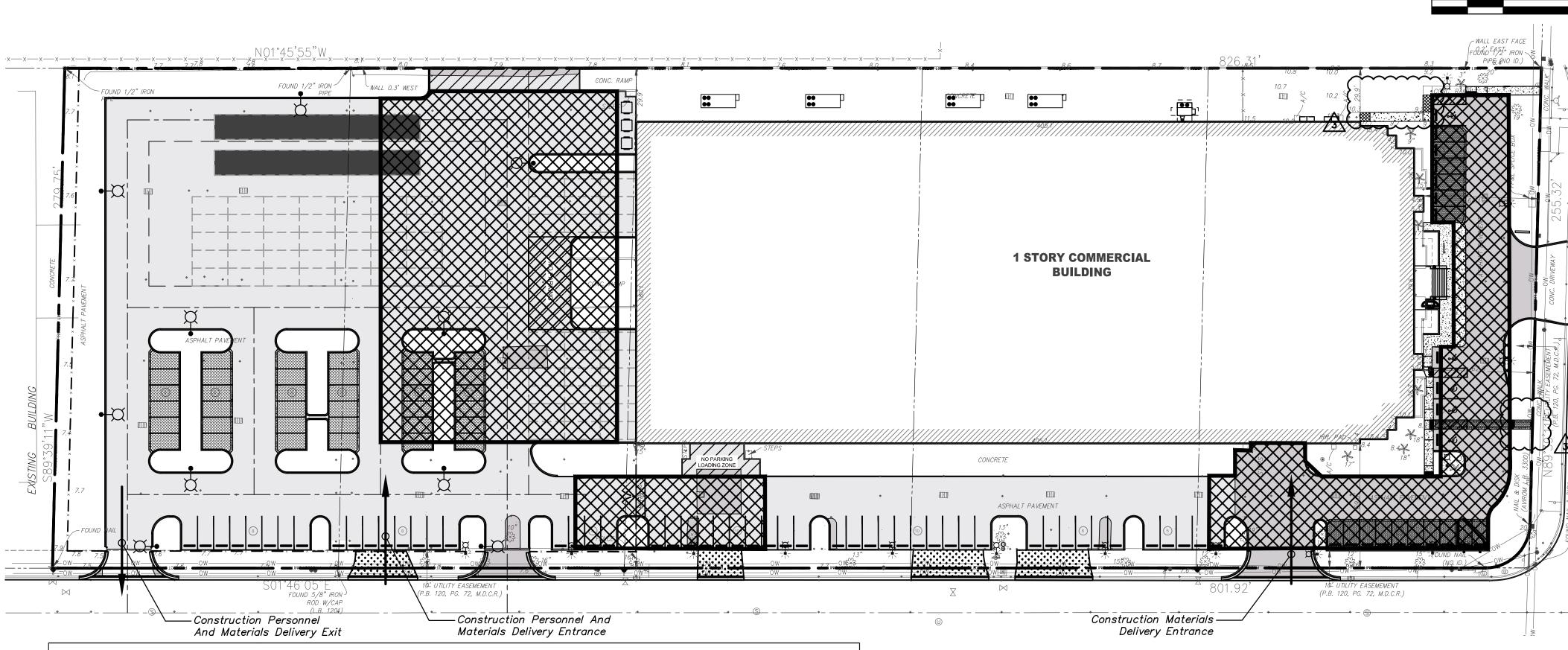
Building Department Submittal

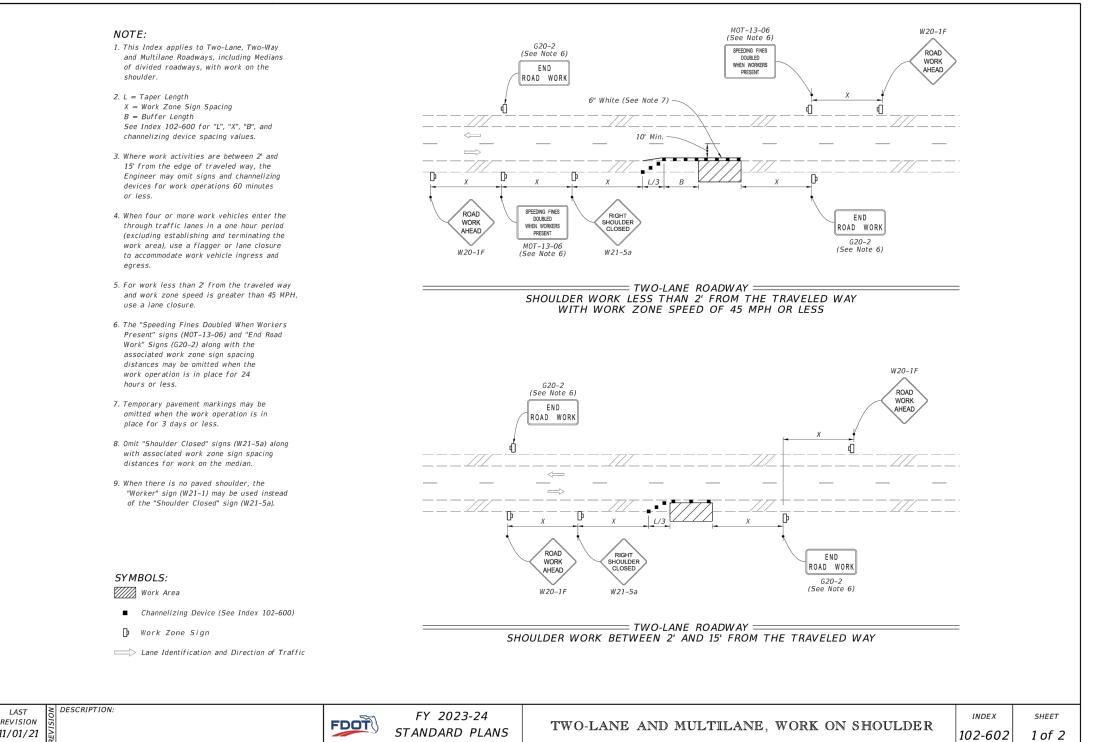
Issued

 SMG
 JSC
 2023.03.24

 SMG
 JSC
 2023.03.24

Appd YYYY.MM.DD





The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawina - any errors or omissions shall be reported to Stantec without delay,

These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be

responsible for any errors or omissions which may be incorporated herein as a result.

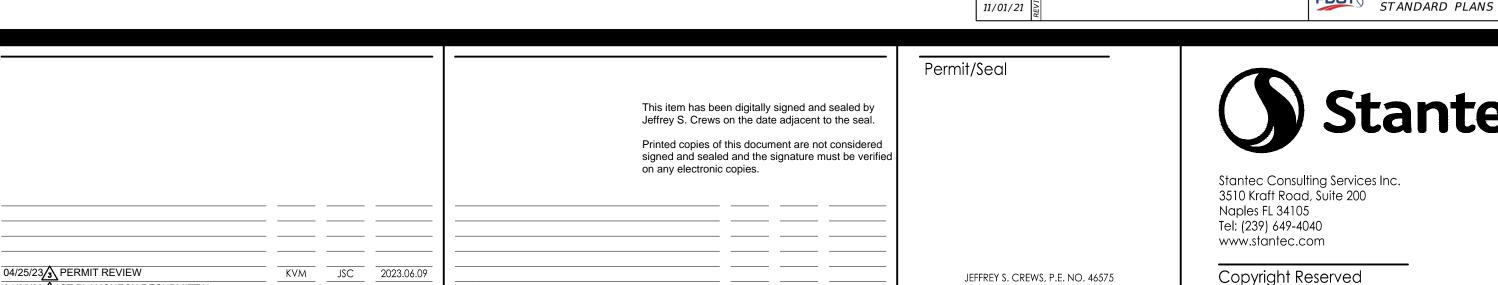
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden

LEGEND:

CONSTRUCTION VEHICLE PARKING

CONSTRUCTION NOTES:

- 1. ALL MATERIAL DELIVERIES WILL BE BETWEEN THE HOURS OF 9AM AND 4PM.
- 2. ALL PARKING FOR CONSTRUCTION PERSONNEL WILL BE ON SITE. NO PARKING WILL BE ALLOWED IN THE R/W.



 SMG
 JSC
 2023.02.01

 SMG
 JSC
 2022.12.09

Appd YYYY.MM.DE

STANTEC CONSULTING SERVICES INC

800 FAIRWAY DRIVE

DEERFIELD BEACH, FLORIDA, 33441



Client/Project TESLA

File Name: MOT

Service Center Miami, TRT ID #32360

9950 NW 25th Street, Doral Florida 33172 SMG JSC JSC 2022.12

Dwn. Dsgn. Chkd. YYYY.MM.DD



Project No. Scale 200713009 Drawing No. Revision Sheet C-600

Revision ORIGINAL SHEET - ANSI D

04/25/23/21ST PLANCHECK RESUBMITTAL

04/25/23 1ST PLANNING RESUBMITTAL

KEYED NOTES

- 1. CONTRACTOR TO EXTEND POWER TO NEW MONUMENT SIGN LOCATION. DETERMINE ROUTING OF CONDUIT AND STUB-UP LOCATION IN FIELD (DETERMINE ALL UTILITIES IN AREA PRIOR TO TRENCHING/BORING). COORDINATE POWER REQUIREMENTS FOR MONUMENT SIGN WITH SIGNAGE VENDOR PRIOR ROUTING OF CONDUIT. MONUMENT SIGN CIRCUIT SHALL BE CONTROLLED/PROGRAMMED VIA LIGHTING CONTROL SYSTEM FOR AUTOMATIC ON/OFF CONTROL (REFER TO SHEETS E2.00, E2.00A & E2.01 FOR ADDITIONAL INFORMATION.) PROVIDE LOCAL DISCONNECT SWITCH AT BASE SIGNAGE FOR MONUMENT SIGN AS REQUIRED BY CODE. ALL CONDUIT/CONDUCTORS/ DEVICES SHALL BE LISTED FOR THE ENVIRONMENT IN WHICH THE ARE INSTALLED. PROVIDE ALL NECESSARY DEVICES AND COORDINATE INSTALLATIONS WITH SIGNAGE INSTALLER CONNECTIONS. ALL UNDERGROUND CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH C.E.C. 300.5. (NOTE: COORDINATE AND FIELD DETERMINE EXACT SIGN LOCATION WITH SIGN VENDOR AND TESLA PROJECT MANAGER PRIOR TO START OF WORK.)
- 2. CONTRACTOR TO DETERMINE CONDUIT ROUTING IN FIELD. DETERMINE ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. COORDINATE INSTALLATION WITH TESLA CONSTRUCTION MANAGER.
- 3. PROPOSED LOCATION FOR NEW SITE LIGHTING. EC TO PROVIDE VIVE HUB TO CONNECT EXTERIOR LIGHTING TO VIVE LIGHTING CONTROL SYSTEM AND SET AUTOMATIC ON/OFF CONTROL SCHEDULE. (COORDINATE CONTROL DEVICE SELECTIONS WITH TESLA'S LIGHTING SUPPLIER.). POLE AND POLE BASE TO MATCH EXISTING TO REMAIN POLE LOCATIONS, SEE NOTE 12.
- 4 NOT LISE
- 5. NOT USED.
- 6. APPROXIMATE LOCATION OF EXTERIOR BUILDING SIGN. REFER TO SHEETS E2.00, E2.00A & E2.01 FOR CIRCUIT INFORMATION & ADDITIONAL REQUIREMENTS.
- 7. INCOMING PRIMARY SERVICE FEEDER. CONTRACTOR TO COORDINATE RESPONSIBILITIES WITH SERVING UTILITY COMPANY. AS REQUIRED, CONTRACTOR TO ROUTE EMPTY CONDUIT(S) WITH PULL STRING(S) FROM TRANSFORMER TO SERVING UTILITY POLE OR UNDERGROUND SERVICE VAULT (DETERMINED BY UTILITY COMPANY), FOR PRIMARY SERVICE CONDUCTORS. INSTALL CONDUIT(S) PER UTILITY COMPANY REQUIREMENTS. COORDINATED ROUTING AND STUB—UP LOCATIONS WITH SERVING UTILITY COMPANY. LANDLORD AND TESLA'S CONSTRUCTION MANAGER.
- 8. NEW UTILITY COMPANY EXTERIOR PAD MOUNTED TRANSFORMER. DETERMINE EXACT LOCATION WITH UTILITY CO., TESLA REP., A.H.J., & THAT ALL EQUIPMENT CLEARANCES COMPLY WITH C.E.C. REGULATIONS PRIOR TO BID AND START OF WORK. DETERMINE UTILITY TRANSFORMER PAD REQUIREMENTS WITH SERVING UTILITY COMPANY AND INCLUDE IN BID AS APPLICABLE. CONTRACTOR TO PROVIDE AND INSTALL TRANSFORMER PAD PER UTILITY COMPANY SPECIFICATIONS IF SO REQUIRED BY UTILITY COMPANY.
- 9. PROPOSED ROUTING OF NEW SECONDARY SERVICE CONDUCTORS, SEE ONE—LINE DIAGRAM, SHEET E4.00 FOR FEEDER/CONDUIT REQUIREMENTS. COORDINATE INSTALLATION AND REQUIREMENTS WITH SERVING UTILITY COMPANY. INSTALL CONDUITS/CONDUCTORS PER SERVING UTILITY COMPANY'S INSTALLATION STANDARDS AND IN ACCORDANCE WITH CURRENT LOCALLY ADOPTED ELECTRICAL CODE. COORDINATE INSTALLATION AND DETERMINE ADDITIONAL REQUIREMENTS WITH SERVING UTILITY COMPANY INCLUDING BUT NOT LIMITED TO TRENCHING, FINAL CONDUIT/FEEDERS SIZES AND QUANTITY PRIOR TO BID & INSTALLATION.

10. NOT USED.

- 11. CONTRACTOR TO PROVIDE CONCRETE PAD AT EQUIPMENT. CONCRETE PAD SHALL BE 6" THICK (MINIMUM), A MAXIMUM OF 2" ABOVE GRADE, & SHALL EXTEND 6" BEYOND FACE OF EQUIPMENT. DETERMINE ADDITIONAL REQUIREMENTS WITH EQUIPMENT INSTALLED.
- 12. EXISTING AREA LIGHTING POLES TO REMAIN. EC TO PROVIDE NEW LED HEAD FIXTURES AND VIVE HUB TO CONNECT EXTERIOR

- LIGHTING TO VIVE LIGHTING CONTROL SYSTEM AND SET AUTOMATIC ON/OFF CONTROL SCHEDULEM (COORDINATE CONTROL DEVICE SELECTIONS WITH TESLA'S LIGHTING SUPPLIER.)
- 13. EXTERIOR RECEPTACLE. PROVIDE GFCI, WEATHER RESISTANT (WR) RECEPTACLE WITH WEATHER PROOF IN-USE COVER. FIELD DETERMINE EXACT MOUNTING LOCATION.
- 14. PROVIDE & MAINTAIN REQUIRED WORK CLEARANCE AROUND/IN FRONT OF ELECTRICAL EQUIPMENT.
- 15. PROVIDE 2" CONDUIT WITH CONDUCTORS FOR POWER TO MOTORIZED SECURITY GATE. ROUTE CONDUIT/CONDUCTORS (UNDERGROUND) FROM SERVING PANEL TO STUB-UP LOCATION AT MOTORIZED GATE CONTROL/MOTOR BOX. FIELD DETERMINE ALL POWER REQUIREMENTS PRIOR TO ROUTING OF CONDUIT. (NOTE: PROVIDE ADDITIONAL POWER CONDUIT(S) FOR CONNECTIONS TO SENSORS, CARD READERS ETC. IF DIRECTED BY TESLA'S CONSTRUCTION MANAGER, DETERMINE IN FIELD.) MAKE ALL FINAL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- 16. PROVIDE (1) 2" CONDUIT (WITH PULL STRING) FOR DATA TO MOTORIZED SECURITY GATE. ROUTE CONDUIT (UNDERGROUND) FROM BUILDING STUB OUT LOCATION TO STUB—UP LOCATION AT MOTORIZED GATE CONTROL/MOTOR BOX. FIELD DETERMINE ALL DATA REQUIREMENTS PRIOR TO ROUTING OF CONDUITS(S). FIELD DETERMINE EXACT STUB—OUT LOCATION AT BUILDING & TRENCHING IN FIELD. (NOTE: PROVIDE ADDITIONAL DATA CONDUITS FOR CONNECTIONS TO SENSORS, CARD READERS ETC. AS REQUIRED.)
- 17. PROVIDE (2) 2" EMPTY CONDUIT (WITH PULL STRINGS) FOR FUTURE USE. ROUTE CONDUITS (UNDERGROUND, ROUTED WITH SECURITY GATE CONDUITS) FROM BUILDING STUB OUT LOCATION TO APPROXIMATE STUB—UP LOCATION INDICATED. TERMINATE CONDUIT IN A FLUSH MOUNTED, TRAFFIC RATED, W.P. JUNCTION BOXES (LOCATED IN LANDSCAPE AREA WHEN POSSIBLE). EXTEND CONDUIT, INSIDE BUILDING, UP EXTERIOR WALL, INTO JOIST SPACE, CAP AND MARK FOR FUTURE USE. FIELD DETERMINE EXACT STUB—OUT LOCATION AT BUILDING & TRENCHING IN FIELD.
- 18. V3 SUPERCHARGER AND CABINET ARE LOCATED INSIDE THE BUILDING AND SHOWN HERE FOR REFERENCE ONLY, REFER TO SHEET E3.00 FOR MORE INFORMATION.
- 19. WALL OR POST MOUNTED CHARGING STATION: WALL CONNECTOR FURNISHED BY TESLA, TO BE INSTALLED BY CONTRACTOR. PROVIDE JUNCTION BOX FOR POWER CONNECTION TO CHARGING STATION LOCAL DISCONNECT NOT REQUIRED PER CEC 625.43. INSTALL PER MANUFACTURER'S SPECIFICATIONS. FIELD DETERMINE EXACT LOCATION OF ALL EQUIPMENT WITH TESLA PRIOR TO ROUGH—IN. SEE ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING

GENERAL NOTES

- 1. ALL CIRCUITING/CONDUIT/CONDUCTORS INDICATED ON PLAN SHALL BE CONSIDERED A GRAPHIC REPRESENTATION. CONTRACTOR SHALL DETERMINE ALL ROUTING OF CONDUITS IN FIELD. EXACT ROUTING & STUB-UP LOCATIONS SHALL BE COORDINATED IN FIELD WITH OWNER/CONSTRUCTION MANAGER (AND UTILITY COMPANY WHEN APPLICABLE).
- 2. ANY CONDUCTOR SIZES NOTED ON ELECTRICAL SITE PLAN, BASED ON ESTIMATED LENGTHS OF CONDUIT RUNS & CALCULATED LOADS, THROUGHOUT THE PROPOSED CIRCUITING INDICATED ON PLAN. CONDUIT/CONDUCTOR SIZES SHOWN ON PLAN SHALL BE CONSIDERED THE MINIMUM SIZE REQUIREMENTS, CONTRACTOR TO ADJUST WIRE SIZES (AND CONDUIT SIZES, AS REQUIRED) TO ACCOUNT FOR VOLTAGE DROP BASED ON ACTUAL ROUTING OF CONDUIT/CONDUCTORS DETERMINED IN FIELD.
- 3. CONTRACTOR TO FIELD DETERMINE ALL UTILITIES IN AREA OF WORK PRIOR TO ANY TRENCHING/BORING.
- 4. COORDINATE ROUTING OF CONDUITS WITH ALL OTHER DISCIPLINES IN
- 5. WHEN POSSIBLE ALL CONDUITS SHALL BE INSTALLED PRIOR TO PARKING LOT/SIDEWALK CONSTRUCTION. CONTRACTOR TO PATCH & REPAIR ANY CONCRETE/PAVEMENT DISTURBED DURING CONSTRUCTION/ROUTING OF CONDUITS, IN A MANNER APPROVED BY OWNER/CONSTRUCTION MANAGER.
- 6. ALL CONDUITS, CONDUCTORS & JUNCTION BOXES INSTALLED UNDERGROUND SHALL BE WET LOCATION RATED. PROVIDE TRAFFIC RATED JUNCTION BOXES, AS NEED, BASED ON INSTALLATION LOCATION.
- 7. ALL UNDERGROUND CONDUITS SHALL BE INSTALLED IN COMPLIANCE WITH SECTION 300.5 OF THE C.E.C..

- 8. CONDUIT BENDS NUMBER OF BENDS IN ONE RUN. THERE SHALL NOT BE MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (360 DEGREES TOTAL) BETWEEN PULL POINTS (I.E. JUNCTION BOX) CONTRACTOR TO PROVIDE ADDITIONAL JUNCTION BOXES AS NEEDED. (NOTE: ALL JUNCTION BOXES SHALL BE RATED (PER CODE) FOR THE LOCATION FOR WHICH THEY ARE INSTALLED I.E. W.P. &/OR TRAFFIC—RATED.)
- 9. SIGNAGE LOCATION SHOWN FOR ELECTRICAL PURPOSES ONLY.
 REFERENCE TENANT'S DRAWINGS FOR EXACT SIGNAGE LOCATION AND INFORMATION.
- 10. REFER TO CIVIL AND ARCHITECTURAL DRAWING FOR ADDITIONAL INFORMATION/REQUIREMENTS.
- 11. PROVIDE NEW TYPEWRITTEN PANEL BOARD DIRECTORIES WITH COMPLETE BRANCH CIRCUIT DESCRIPTIONS FOR PANELS MODIFIED IN THE SCOPE OF THIS WORK.
- 12. REFER TO E0.00 FOR ADDITIONAL GENERAL NOTES.

CONTRACTOR FIELD DETERMINE EXACT MOUNTING LOCATION OF PROPOSED ALL EQUIPMENT

(CHARGING EQUIPMENT, PANEL, TRANSFORMER ETC.) PRIOR TO START OF WORK. FIELD DETERMINE ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. ALL TRENCHING SHOWN

ROUTING OF CONDUITS SHALL BE DETERMINED/VERIFIED BY THE CONTRACTOR IN FIELD.

COORDINATE ALL TRENCHING WITH LANDLORD, UTILITY COMPANY AND TESLA'S

CONDUIT TRENCHING AND ROUTING SPECIFICATIONS.

ON THIS PLAN SHALL BE CONSIDERED A GRAPHICAL REPRESENTATION. ALL TRENCHING AND

CONSTRUCTION MANAGER TO AVOID CONFLICTS/DAMAGE. COORDINATE RESPONSIBILITIES OF

PATCHING/REPAIRING PARKING LOT WITH LANDLORD AND TESLA'S CONSTRUCTION MANAGER.

REFER TO SERVING UTILITY COMPANY'S SPECIFICATION GUIDE FOR ADDITIONAL INFORMATION,

REQUIREMENTS AND RESPONSIBILITIES. INCLUDING TRANSFORMER PAD REQUIREMENTS,

- 13. EXISTING CONDITIONS AND BRANCH CIRCUITING ARE BASED ON BEST AVAILABLE EXISTING INFORMATION AND SURVEY OBSERVATIONS AND ARE NOT GUARANTEED TO BE ACCURATE. FIELD DETERMINE EXACT LOCATIONS AND ELECTRICAL INFORMATION PRIOR TO START OF WORK. NOTIFY TESLA PROJECT REP. IMMEDIATELY OF ANY DISCREPANCY AFFECTING THE INTENT OF THE DESIGN CONVEYED HERFIN.
- 14. GC SHALL DETERMINE FULL SCOPE OF WORK PRIOR TO BID. NO EXTRAS OR CHANGE ORDERS SHALL BE GIVEN FOR THE GC'S FAILURE TO FULLY UNDERSTAND SCOPE.



Stantec

Stantec Architecture Inc.
38 Technology Drive, Suite #100
Irvine, CA
92618-5312
Tel. 949.923.6000

Fax. 949.923.6121

www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing any errors or omissions shall be reported to Stantec without delay.

The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



206-364-3343 TEL
CONTACT: JESUS ESCALONA

ROB
No. GE47635

STATE-05

SERVICE CENTER MIAMI

TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

12/13/22 PLANNING FIRST SUBMITTAL 12/22/22 75% SET SUBMITTAL 1/31/23 1ST PLANCHECK SUBMITTAL

04/25/23/1 1ST PLANNING RESUBMITTAL 04/25/23/2 ST PLANCHECK RESUBMITTAL

DRAWING TITLE

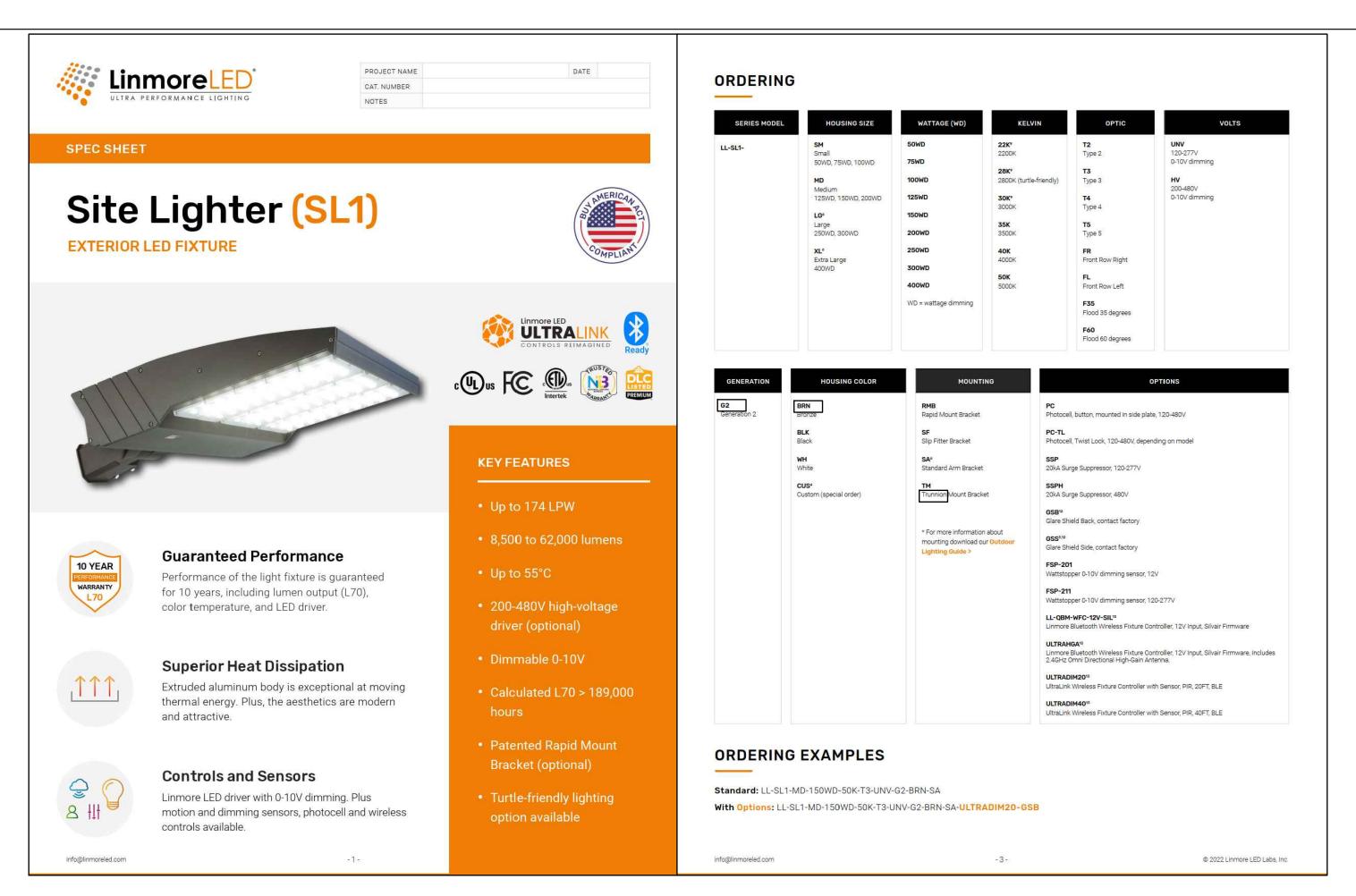
ELECTRICAL SITE PLAN

ELECTRICAL

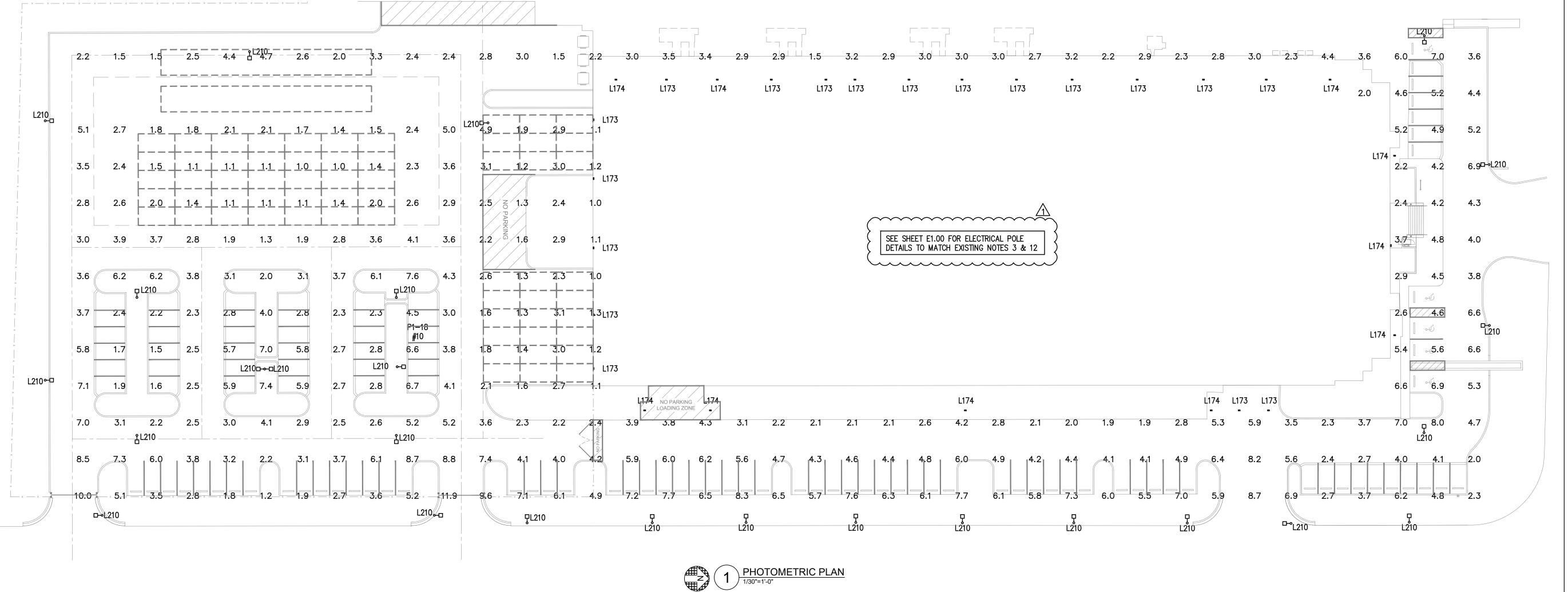
_ੋ **□**L210 L173 L173 L174 L173 L174 L173 L173 L173 L173 L173 L173 3 P1-18 MONUMENT SIGN 1.2KVA,120V1P2W • L173 _L210_3 L210 P1-24 L210 P1-20 L174 L174 L173 L173 8 11 UTILITY 12 | L210 | -----LOADING ZONE L4-1,3 L2B-37,39 L2A-17,19 1"C,2#4,#4N,#10G r □ L210

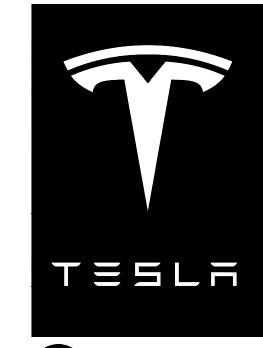
© COPYRIGHI 2019 IESLA MOIORS, INC. ALL RIGHIS RESERVED.

E1.00



General Pi Schedule	hotometric
AVERAGE FOOT-CANDLES	3.77
MAXIMUM FOOT-CANDLES	11.9
MINIMUM FOOT-CANDLES	1.0
MINIMUM TO MAXIMUM FC RATIO	0.08
MAXIMUM TO MINIMUM FC RATIO	12.36
AVERAGE TO MINIMUM FC RATIO	3.92





Stanted

Stantec Architecture Inc.
38 Technology Drive, Suite #100
Irvine, CA
92618-5312
Tel. 949.923.6000

Fax. 949.923.6121
www.stantec.com
Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing any errors or omissions shall be reported to Stantec without delay.

Stantec without delay.

The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

ROBISON ENGINEERING, INC

19401 40TH AVE W., SUITE 302 LYNNWOOD, WA 98036 206-364-3343 TEL CONTACT: JESUS ESCALONA



SERVICE CENTER
MIAMI
TRT ID # 32360

9950 NW 25TH ST DORAL, FL 33172

12/13/22 PLANNING FIRST SUBMITTAL
12/22/22 75% SET SUBMITTAL
1/31/23 1ST PLANCHECK SUBMITTAL

04/25/23/1\ST PLANNING RESUBMITTAL

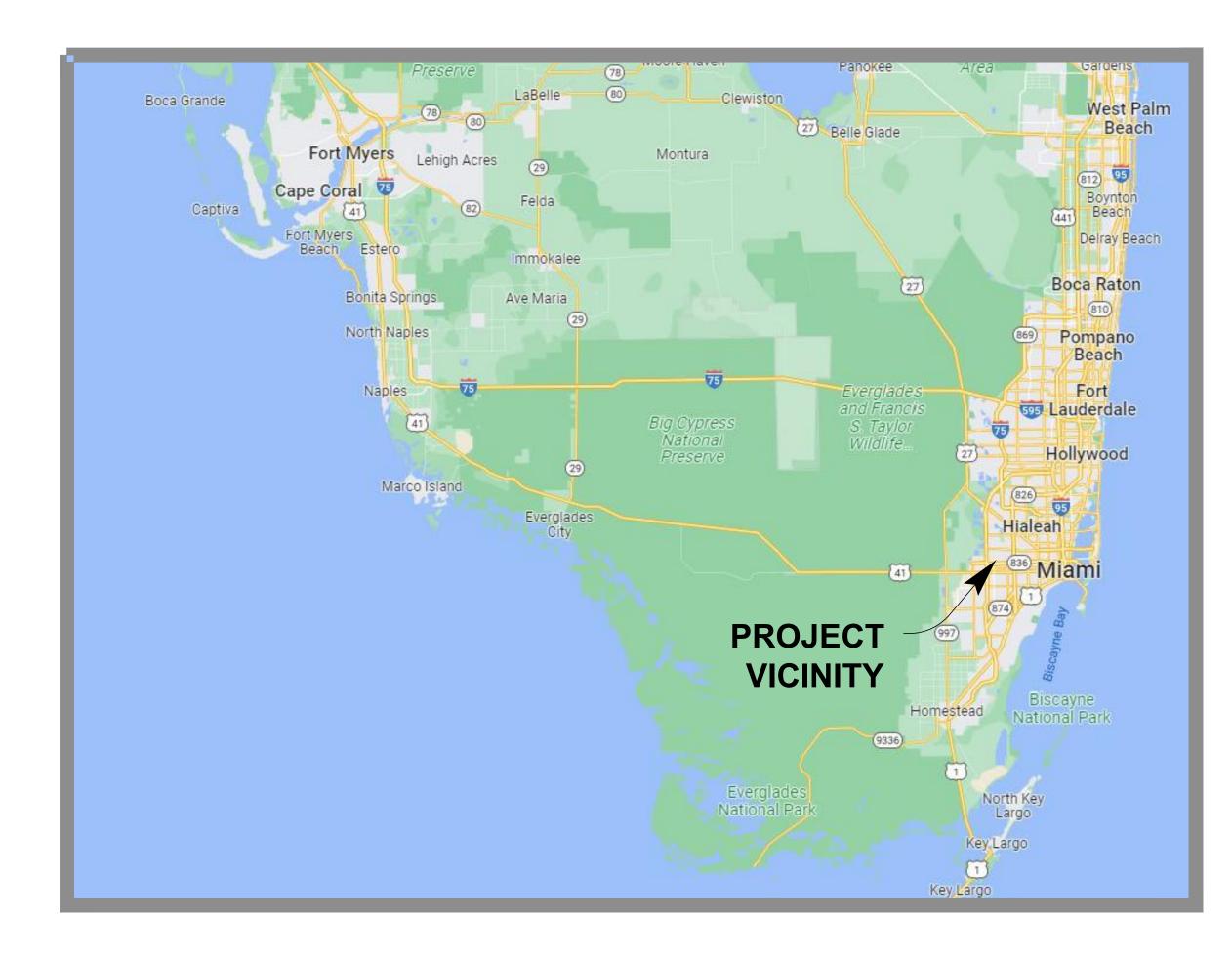
DRAWING TITLE

PHOTOMETRIC PLAN

E1.00A



PROJECT LOCATION MAP



STATE VICINITY MAP

PLAN STAGE: 1st PLANNING RESUBMITTAL REV01 (LANDSCAPE) CONSOLIDATED

DATE: 7 JULY 2023

PLANS PREPARED FOR:

Tesla Service Center Miami, TRT ID #32360

PLANS PREPARED BY:



PROJECT MANAGER: Kevin Mangan, PLA

DRAWING SUBMITTAL LOG and SHEET INDEX SUBMITTAL SHEET TITLE R = REVISION• = ISSUED LANDSCAPE ARCHITECTURE COMPONENT DRAWINGS L0000 n/a • COVERSHEET DRAWING SUBMITTAL LOG and SHEET INDEX n/a • • GENERAL LANDSCAPE, SITE, AND CONSTRUCTION NOTES GENERAL LANDSCAPE, SITE, AND CONSTRUCTION NOTES

	L0003	GENERAL LANDSCAPE, SITE, AND CONSTRUCTION NOTES	n/a	•	•		•		
	L0004	GENERAL LANDSCAPE, SITE, AND CONSTRUCTION NOTES	n/a	•	•		•		
	L0005	GENERAL LANDSCAPE, SITE, AND CONSTRUCTION NOTES	n/a	•	•		•		
	LS101	SITE PLAN	1"=30'	•	R	R	•		
	LD101	VEGETATION DISPOSITION PLAN	1"=30'	•	•	R	•		
	LD601	VEGETATION DISPOSITION SCHEDULE	n/a	•	•	R	•		
	LP101	PLANTING PLAN	1"=30'	•	R	R	•		
	LP501	PLANTING DETAILS	as shown	•	•		•		
	LP502	PLANTING DETAILS	as shown	•	•		•		
В	LP601	PLANTING SCHEDULE AND LDC TABULATIONS	n/a	•	R	R	•		
	IR000	IRRIGATION NOTES AND DETAILS	as shown	•	•		•		
	IR101	IRRIGATION PLAN	1"=30'	•	R	R	•		
	IR501	IRRIGATION DETAILS	as shown	•	•		•		
	IR502	IRRIGATION DETAILS	as shown	•	•		•		
	IR503	IRRIGATION DETAILS	as shown	•	•		•		
A									
A									
A A									
A									
A									
A									
A A									
A									
A									
A A									
A A									
A Permit/Seal		Client/Project Logo Client/Project				Title			
		Client/Project Logo Client/Project TESLA				Title	na Suhm	nittal Log	
	3C	Client/Project Logo Client/Project				Title	ng Subm	nittal Log	
Permit/Seal Stante	3C	Client/Project Logo Client/Project				Title	ng Subm	nittal Log ex	
Stante	3C	Client/Project Logo Client/Project TESLA	Miami, TRT ID #3	32360		Title	ng Subm neet Inde	nittal Log	
Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105	3C	Client/Project Logo Client/Project	Miami, TRT ID #3	32360		Drawin and Sh			
Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040	3C	Client/Project Logo Client/Project TESLA	Miami, TRT ID #3	32360		Drawin and Sh).	Scale	
Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com	3C	Client/Project Logo Client/Project TESLA Service Center I				Drawin and Sh	o. 09	Scale n/a	
Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com Ist Planning Resubmittal (Rev1) 2023,07.07 Ist Planning Resubmittal (Rev1) 2023,07.25 Owner Directed Changes Submittal 2023,07.24		Client/Project Logo Client/Project TESLA Service Center I 9950 NW 25th Street	r, Doral Florida 3317: 	"2 		Drawin and Sh	o. 09	Scale	1.0004
Stante Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com Ist Planning Resubmittal (Rev1) 2023.07.07 Ist Planning Resubmittal (Rev1) 2023.07.125 Ist Planning	cale the drawing - any errors or omiss production or use for any purpose oth of verified the accuracy and/or com	Client/Project Logo Client/Project TESLA Service Center I 9950 NW 25th Street File Name: L0000	-, Doral Florida 3317: 	72	2022.12	Drawin and Sh	o. 09	Scale n/a	L0001
Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: [239] 649-4040 www.stantec.com Ist Planning Resubmittal (Rev1) 2023.04.25 Inc. Compositor indiversity and be reported of dimensions, Do Not scale to the property of stance. Reprode	cale the drawing - any errors or omiss production or use for any purpose oth of verified the accuracy and/or com	Client/Project Logo Client/Project TESLA Service Center I 9950 NW 25th Street File Name: L0000	-, Doral Florida 3317: 	′2 	2022.12	Drawin and Sh	o. 09	Scale n/a	L0001
Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Noples FL 34105 Tel: (239) 649-4040 www.stantec.com Ist Planning Resubmittal [Rev1] Consolidated 2023.07.07 Ist Planning Resubmittal [Rev1] 2023.04.25 Revision By Appd YYYY.MM.DD Issued By Appd YYYY.MM.DD	cale the drawing - any errors or omiss production or use for any purpose oth of verified the accuracy and/or com	Client/Project Logo Client/Project TESLA Service Center I 9950 NW 25th Street File Name: L0000	-, Doral Florida 3317: 	′2 	2022.12	Drawin and Sh	o. 09	Scale n/a	L0001

I.MM.YYYY baaA

Client/Project Logo TESLA

Client/Project **TESLA**

Service Center Miami, TRT ID #32360

Project No. Scale 200713009 n/a 9950 NW 25th Street, Doral Florida 33172 Drawing No. Revision Sheet of L0002 File Name: L0002 2022.12 Dwn. Dsgn. Chkd. YYYY.MM.DD

General Landscape, Site,

and Construction Notes

Revision ORIGINAL SHEET - ANSI D

1st Planning Resubmittal (Rev1)

By Appd YYYY.MM.DD

Issued

Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay, The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.

such project is deemed complete by the Landscape Architect, an on-site inspection by Owner, Landscape Contractor and Landscape Architect will be completed prior to written acceptance. d. Following final acceptance, maintenance of plant material will become the Owner's responsibility. The contractor shall provide Owner with a recommended maintenance program.

9. GENERAL MAINTENANCE DURING ESTABLISHMENT:

SECTION 1, PART 2 - GENERAL NOTES (PRODUCTS)

8. WARRANTY:

1. PLANTS: a. QUANTITIES: The drawings, plant list, and specifications are complementary: anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plans PRIOR TO procurement and/or

iv. Should the Landscape Contractor cause damage to any utilities, necessary repairs shall be made as quickly as practicable, at the Landscape Contractor's expense, under supervision of the Landscape Architect and/or Owner.

At the end of the warranty period, staking and guying materials shall be removed from the site by the Landscape Contractor unless otherwise agreed upon through written acceptance by the Landscape Architect or Owner.

Until final acceptance, maintain plantings and trees by watering, cultivating, mowing, weeding, spraying, cleaning and replacing as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required.

The Landscape Contractor must notify the Landscape Architect thirty (30) days BEFORE INSTALLATION if plant material cannot be found meeting the specifications required in the contract documents. The Landscape Contractor is responsible to meet the plant material specifications provided in the Contract Documents. Plant material specifications provided ARE A MINIMUM. All minimum specifications shall be met and if any one of the specifications must be increased so that

vi. Coordinate landscape installation work with the irrigation contractor to prevent damage to underground sprinkler systems. Inspect irrigation system and ensure that adequate water is available before beginning planting operations. Irrigation systems will not provide

Replace plants and trees with same kind and size as originally planted, at no cost to Owner. Provide one (1) year warranty on replacement plants. These should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect

A written notice requesting final inspection and acceptance should be submitted to Landscape Architect seven (7) working days prior to completion. At that time Owner and Landscape Architect will prepare a final punch list to be reviewed with the Landscape Contractor. When

a. Warrant plants and trees for one (1) year after final acceptance. Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and/or upon notification by Landscape Architect. Replace plants, including trees, which in the opinion of

other collective minimum requirements are met, it is the contractor's responsibility to do so. Plants shall be equal to well-formed No. 1 grade or better (unless otherwise noted in the drawings), symmetrical, heavily branched with an even branch distribution, densely foliated and/or budded, and a strong, straight, distinct leader where this is characteristic of the species. Plants shall possess a normal balance between height and spread. The Landscape Architect will be the final arbiter of acceptability of plant form. Plants deemed unacceptable by the Landscape Architect either before or after planting shall be removed at the expense of the

Landscape Contractor and replaced with acceptable plants as specified. Plants shall be healthy and vigorous, free of disease, insect pests and their eggs, and larvae.

Plants shall have a well-developed fibrous root system.

Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned

irrigation system and other piping conduit or other work during replacement. Repair any damage immediately.

Landscape Architect have partially died thereby damaging shape, size, or symmetry.

sufficient quantities of water for newly planted materials. The landscape contractor is responsible for deep root hand watering.

Water must be made available on site. Provide necessary hoses and other watering equipment or vehicles required to complete work.

Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects, wildlife, or diseases.

All root balls shall conform to the size standards set forth in the "American Standards for Nursery Stock".

Plants shall be free of physical damage such as scrapes, broken or split branches, scars, bark abrasions, sun scalds, fresh limb cuts, disfiguring knots, or other defects. Pruning of all trees and shrubs, as directed by Landscape Architect, shall be executed by Landscape Contractor at no additional cost to the owner

Plants shall meet the sizes indicated on the plant list. Where a size or caliper range is stated, at least 80% of the material shall be closer in size to the top of the range stated. Plants indicated "B&B" shall be balled and burlapped. Plants shall be nursery grown unless otherwise specified in plant list. Balls shall be firm, neat, slightly tapered and well burlapped. Non-biodegradable ball wrapping material will not be accepted. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inches above ball. Trees grown in grow bags or grow bag type material must have the grow bag removed entirely prior to

Container grown plants shall be well rooted and established in the container in which they are growing. They shall have grown in the container for a sufficient length of time for the root system to hold the planting medium when taken from the container, but not long enough to

2. SOIL PREPARATION MATERIALS:

a. ORGANIC AMENDMENT: Well decomposed, stable, weed free organic compost. The product shall contain no substances toxic to plants, shall be free of nematodes, and shall be reasonably free (<1% dry weight) of man-made foreign matter. The compost will possess no objectionable odors and shall not resemble the raw material from which it is derived. The product shall have a Ph of between 5.3 and 6.5 (as determined in accordance with ASTM E70), a soluble salt concentration of less than 10 ds/m, and an organic matter content of 30-65% dry weight, with 98% passing through a 3/4" scree

FLORIDA PEAT shall be sterilized to make it free of all viable nut grass and other undesirable weeds. PRE-MIXED SOILS will be considered "as equals" when samples are submitted for the Landscape Architect's review with manufacturer's data and laboratory test reports. Samples not accompanied by the manufacturer's data and laboratory test reports will not be reviewed and

are rejected. SANDY LOAM TOPSOIL

Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign grasses. Soil containing nut grass and other undesirable weeds shall be rejected. Physical properties as follows: clay - between 7-27 percent; silt - between 28-50 percent; sand - less than 52 percent. SHARP SAND: Clean, washed sand, (fine aggregate) meeting ASTM C-33.

HERBICIDE: Apply an approved herbicide according to manufacturer's rate and specification within limits of all areas to be planted. Provide all manufacturer data to Landscape Architect for approval prior to application. Protect existing plants to remain from over-spray or spray within root zone. Contractor to ensure total weed eradication Scarify subsoil to a depth of three (3) inches then apply an approved pre-emergent herbicide in accordance with manufacturer's recommended

3. COMMERCIAL FERTILIZER:

a. ORGANIC FERTILIZER: Shall be delivered in manufacturer's standard container printed with manufacturer's name, material weight, and guaranteed analysis. Fertilizers with N-P-K analysis other than that specified may be used provided that the application rate per square foot of nitrogen, phosphorus, and potassium is equal to that specified.

TREES: 8-6-6 plus minor elements - slow release; 1/2 lb fertilizer per 1/2 inch caliper. PALMS: 13-3-13 plus minor elements - slow release; 1/2 lb fertilizer per 1/2 inch caliper. iii. SHRUBS & GROUNDCOVERS: 8-10-10 plus minor elements - slow release; 1/2 lb fertilizer per 100 ft2.

iv. TURF: 16-4-8 plus minor elements - slow release: 1 lb fertilizer per 1000 ft2 v. Note: The cost for landscape fertilizer as described above shall be included in the per plant price.

waiting period prior to new landscape installation.

Contractor shall mulch all plant beds and tree rings throughout and completely to a consistent three (3) inch depth with clean, weed free melaleuca in red color unless otherwise specified. Samples are required for approval by the Landscape Architect prior to procurement and/or installation.

Typical Specification: www.GOMULCH.com - no float "Brown Mantillo Mulch" or approved equal.

The preferred water source shall be potable, suitable for irrigation, and shall be free from ingredients harmful to plant life. A water source utilizing well or lake water shall be designed and maintained in a manner which eliminates staining of the building, walks, and other site improvements. Provide a strainer / filter for all water sources derived from a well or lake source. Reclaimed water sources must meet the Environmental Protection Agency's standards and must maintain setback separation from public bathing areas, food service, and healthcare facilities as prescribed by the Florida Department of Environmental Protection (FDEP) (F.A.C.

62-610.471) and the Florida Department of Health (FDOH) d. IRRIGATION AFTER PLANTING AND DURING ESTABLISHMENT: Regular irrigation after planting is essential for survival and establishment of all plant materials. Establishment is the amount of time required for plant materials to grow a sufficient root system to support growth in their planted environment. Regular irrigation after planting shall follow the below schedule guidelines per Florida Grades and Standards "Best Management Practices", Appendix A - Part Four for vitality and establishment of plant materials: <2" CALIPER: Irrigate daily for two (2) weeks; every-other day for two (2) months; weekly until established.

2" - 4" CALIPER: Irrigate daily for one (1) month; every-other day for three (3) months; weekly until established iii. > 4" CALIPER: Irrigate daily for six (6) weeks; every-other day for five (5) months; weekly until established.

iv. At each irrigation, apply two to three gallons per inch trunk caliper to the root ball surface. Apply it in a manner so all water soaks the entire root ball. Do not water if root ball is wet/saturated on the irrigation day.

6. MISCELLANEOUS MATERIALS (if applicable to this project as determined by the Landscape Architect):

Steel edging. Jute erosion mesh / matt. Coconut husk matting / Coir natural fiber matting. Filter fabric: Tencate Mirafi 140N non-woven fabric (unless otherwise noted) or approved equal.

Tree wrapping paper: waterproof 6" wide crepe. Staking and guying materials:

Wood stakes: 2" x 4" dense pine, pressure treated, painted dark brown. Turn buckles: galvanized steel, 3/8-inch eye, 6-inch opening. Tie wire: 12 gauge galvanized wire.

Plastic sheet: 4 mil black polyethylene, perforated at twenty four inches on center.

Black hose: 2 ply, fiber reinforced hose, minimum 1/2-inch inside diameter. Tree paint: asphaltic base paint with antiseptic properties, manufactured for use on tree wounds. Pea gravel: washed 3/8-inch diameter native pea gravel.

Crushed stone: 1" diameter crushed limestone. Antidesicant: Wiltpruf (Nursery Specialty Products, Inc., Stubbins Road, Grotton Falls, N.Y.) or approved equal. Fungicide: zinc ethylene bisdithiocarbonate (Zineb) or equal.

SECTION 1, PART 3 - GENERAL NOTES (EXECUTION)

1. CONDITION OF SURFACES:

The Landscape Contractor will be responsible for any required excavation and for raking and smoothing of grade. It is recommended that the Landscape Contractor coordinate with the grading contractor to establish subgrades for planting areas as required below. Examine subgrade upon which work is to be performed. Notify the Landscape Architect of unsatisfactory conditions immediately. It is the landscape contractor's responsibility to verify finish grade elevations prior to final landscape and irrigation installation. Failure to verify finish grade elevations as determined by the Landscape Architect will result in rejection of all installed elements and the subsequent

2. MIXING SOILS:

a. PLANTING MIX: Shall consist of sandy loam topsoil, organic amendments, and sharp washed sand. Sand component may be increased or decreased based on sand content of topsoil submitted to the Landscape Architect.

ROYAL PALMS: 60% sharp washed sand and 40% approved topsoil / solid waste compost. TREES / ALL OTHER PALMS: 90% washed sharp sand and 10% approved topsoil / solid waste compost.

replacement of plant materials, mulch, irrigation etc., at the contractor's expense after grading is brought to specification.

SHRUBS, AND GROUND COVERS: 70% washed sharp sand and 30% approved topsoil / solid waste compost Pre-mixed soils may be accepted in lieu of above mix as noted herein. Contractor to submit soil analysis test of the soil mixture for approval by the Landscape Architect.

Take imported, unamended soil from sources that are naturally well-drained sites where topsoil occurs at least 4 inches deep, not from agricultural land, bogs, or marshes; and that do not contain undesirable organisms; disease-causing plant pathogens; or obnoxious weeds and invasive plants including, but not limited to, quackgrass, Johnsongrass, poison ivy, nutsedge, nimblewill, Canada thistle, bindweed, bentgrass, wild garlic, ground ivy, perennial sorrel, and bromegrass.

d. Clean soil to be free of the following: UNACCEPTABLE MATERIALS: Concrete slurry, concrete layers or chunks, cement, plaster, building debris, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, acid, and other extraneous materials that are harmful to plant growth.

UNSUITABLE MATERIALS: Stones, roots, plants, sod, clay lumps, and pockets of coarse sand that exceed a combined maximum of 8 percent by dry weight of the imported soil.

Permit/Seal 1st Planning Resubmittal (Rev1) By Appd YYYY.MM.DD I.MM.YYYY baaA Revision Issued ORIGINAL SHEET - ANSI D

Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be

Client/Project Logo

Service Center Miami, TRT ID #32360

Dwn. Dsgn. Chkd. YYYY.MM.DD

9950 NW 25th Street, Doral Florida 33172

General Landscape, Site, and Construction Notes

Project No. Scale 200713009 n/a Drawing No. Revision Sheet of L0003 2022.12

responsible for any errors or omissions which may be incorporated herein as a result.

Replacement materials for maintenance purposes throughout the system shall be as specified and/or noted on the "Contract Documents", new, and in perfect working condition b. Irrigation shall be installed to meet or exceed Appendix F - "Proposed Construction Building Codes for Turf and Landscape Irrigations Systems" of the Florida Building Code, Plumbing (latest edition), and in accordance with ASTM D2855 unless otherwise noted herein. MATERIALS: Materials listed under this section are expressly specified for use but does not prohibit or restrict the contractor from providing other approved materials not listed to complete the work required herein as submitted to and approved by the Landscape Architect. All materials shall be new and in perfect condition. PRE-EMERGENCE WEED CONTROL: contractor option (granular) POST-EMERGENCE WEED CONTROL: contractor option HERBICIDE: contractor option. INSECTICIDE: contractor option FUNGICIDE: contractor option FIRE ANT CONTROL: Shall be slow release applied at six (6) week intervals. Spot treat weekly with a contact product where mounds appear. Alternate products each interval for effective control. SHRUB BED FERTILIZER: Apply at manufacturer's recommended slow-release rates for each plant used. LAWN FERTILIZER: 15-5-10 with 50% sulphur coated urea and 4% iron. TREE FERTILIZER: contractor option. Apply using the maximum manufacturer's recommended rate and procedures. MULCH: See Section 1. Landscape Products.

more than 1/3 of the leaf blade. Avoid moving when turf/lawn is wet.

TREE STAKES AND GUYS: See Section 1, Landscape Execution.

Machinery requirements listed under this section are not intended to be restrictions of specific manufacturers or models unless so stated. Specific mention of manufacturers is intended as a quide to illustrate the final product of maintenance operations desired. b. MOWERS: Shall be commercial grade rotary type in good working order, finely tuned to protect the lawn from excessive exhaust fumes. Blades shall be sharp to reduce shredding of the cut grass blades. Grass catchers not required. Blade height shall be set to never remove

a. Turf, trees, or plants that are damaged or killed due to Landscape Contractor's operations, negligence or chemicals as determined by the Landscape Architect shall be replaced at no expense to the project. If plant damage or death is caused by conditions beyond the Landscape

Sprinklers or structures that are damaged due to the contractor's operations as determined by the Landscape Architect must be replaced by the contractor promptly at no additional cost to the project. Likewise, damage to the irrigation system by others as determined by the

Landscape Architect shall be corrected immediately by the contractor, at the Owner's expense. It is however the landscape Architect and/or Owner within 24-hours of damage observed. Failure to provide clear and convincing

All damage to, or thefts of, landscaping and irrigation installations, equipment, supplies, etc. not caused or allowed by the contractor as determined by the contractor at the Owner's expense upon receipt of written authorization to proceed. It is however the landscape contractor's responsibility to notify the Landscape Architect and/or Owner within 24-hours of damage and/or theft. Failure to provide clear and convincing evidence in a timely manner will result in damaged and/or stolen materials being

Should an above or below ground utility be compromised during construction activities such as (but not limited to) a gas main, water main, irrigation main, electric power lines, etc., the contractor is obligated to stop work activities in the immediate area, remove themselves

The contractor shall answer emergency calls regarding the landscape irrigation system failure or need of repair, and take corrective action within eight (8) hours. Such work, unless caused due to neglect on the part of the landscape maintenance contractor as determined by the

and others from the hazardous environment, and report to their supervisor, the Client, and/or Prime Contractor immediately a potentially unsafe situation leading to injury or damage so they can take prompt action. Notify proper authorities as required and necessary.

a. Contractor shall acquaint himself with all site conditions. Should excavation be required, the contractor shall promptly notify the local utility locates. Failure to do so will make contractor liable for any and all damage thereto arising from his

b. Contractor shall take necessary precautions to protect site conditions, irrigation and plants. Should damage be incurred, the contractor shall repair damage to its original condition or furnish and install equal replacement at its expense

Contractor's control as determined by the Landscape Architect, replacement shall be at the Owner's expense. It is however the landscape Architect and/or Owner within 24-hours of damage observed. Failure to provide clear and

LAWN EDGERS: Shall be of a rigid blade type that will produce a fine clean edge where lawns meet walkways, pavements, or curbs. PRUNING TOOLS: Shall be maintained in good working order, cutting edges shall be sharp. Disinfect all tools when used for the removal of diseased limbs with a twenty (20%) percent solution of Clorox bleach and water.

SECTION 2, PART 3 - LANDSCAPE GROUNDS MAINTENANCE (EXECUTION)

1. LANDSCAPE IRRIGATION SYSTEM:

5. NEGLECT AND VANDALISM:

6. JOB CONDITIONS:

EMERGENCIES

8. RESTRICTION:

3. MACHINERY:

1. IRRIGATION SYSTEM MATERIALS:

replaced at the contractor's expense under warranty.

Landscape Architect, shall be considered "extra services".

a. DO NOT use growth regulators or growth retardants on this work.

- As applicable to this project and as determined by the Landscape Architect, the Landscape Irrigation Contractor shall, a total of 18 times a year, monitor and program the automatic controlling devices to provide optimum moisture levels in all planted areas The landscape contractor is solely responsible for all water and maintenance needs and shall not rely upon the Owner or other third-party entity to provide the required irrigation and maintenance during installation, establishment, or warranty phases. It is the contractor's responsibility to provide field observations at regular intervals throughout the installation, establishment, or warranty phases to verify irrigation operation and supply, maintenance needs, and plant material health and establishment. It is the contractor's responsibility to update watering times and durations, remove miscellaneous debris, replace damaged or dead plant materials, and repair irrigation heads, bubblers, connectors, etc. Should conflict arise with local maintenance staff regarding times, durations, etc. during installation, establishment, or warranty phases, it is the contractor's responsibility to notify the Owner, Landscape Architect, and maintenance staff immediately for resolution.
- c. Irrigation cycles shall be set to take place prior to sunrise (usually 4:00 5:00 am) unless otherwise instructed by the Owner or Landscape Architect, except during visits of grounds maintenance personnel. During such visits the irrigation system may be operated as desired by those personnel. d. DO NOT program controllers operating on the same water meter to water during the same time period so as to prevent over-draft of water meters. DO NOT switch controller to "off" at any time, except as required for testing and for maintenance operations.
- e. Complete sprinkler system servicing shall be performed as required to maintain sprinklers in correct operating condition, including all required labor. April through September the operation of sprinklers shall be inspected and monitored on a twice-per-month basis to assure proper cover and operation. October through March monitor and inspect sprinklers once per month or upon the request of the Owner. This check shall include visual "inspection" of all accessible components of the irrigation system including but not limited to controllers, remote control valves, rain sensors, drip irrigation, quick couplers, and heads
- Adjust sprinklers to avoid damage to windows, buildings and sign walls, also adjust heads to keep water off the street and sidewalks. Make repairs and alterations to the sprinkling system and water lines. All sprinkler repairs such as cleaning of head or breaks caused by the contractor shall be the contractor's responsibility to repair immediately at his expense.
- A fully automatic irrigation system with a controller and applicable moisture (rain) sensor located to receive direct rainfall shall be provided. All plantings shall have 100% full coverage with irrigation. Provide one bubbler per tree/ palm and drip or spray mechanisms for shrubs, groundcover, and grasses/turf.
- Valve sizing, detailing and mainline routing may be adjusted by the Landscape Architect to accommodate the needs of the landscape design in the field.
- Landscape Architect reserves the right to use drip, bubblers, stream bubbler, or spray irrigation in shrub areas as required by field conditions.

onvincing evidence in a timely manner will result in damaged materials being replaced at the contractor's expense under warranty.

All water damage, either natural or man-made, resulting from contractor's neglect shall be corrected at the contractor's expense without delay.

The contractor shall answer emergency or complaint calls within twelve (12) hours and corrective action shall be complete within twenty-four (24) hours.

evidence in a timely manner will result in damaged materials being replaced at the contractor's expense under warranty.

SECTION 2, PART 2 - LANDSCAPE GROUNDS MAINTENANCE (MATERIALS AND MACHINERY)

- The irrigation system will operate with separate valve zones for turf areas and shrub planting areas where efficiency of separation allows. The controller will be set to operate appropriate run times for the various zones and their required precipitation needs in accordance with best management practices for irrigation of Florida landscapes. The irrigation system will be installed to minimize the application of water to impervious areas, adjacent properties, and existing vegetation.
- m. Irrigation shall be installed to meet or exceed Appendix F "Proposed Construction Building Codes for Turf and Landscape Irrigations Systems" of the Florida Building Code, Plumbing (latest edition), and in accordance with ASTM D2855.

2. TREE MAINTENANCE:

- Trees that may require guys, stakes or special care during the seasonal winds and rains shall receive the required care prior to the time of rains and high winds to ensure that no damage results to the plant material. Contractor shall maintain staking and guying of trees at all times and shall be responsible for any damage to trees or plat materials caused by chafing or breakage or foliage or limbs coming in contact with stakes or guys. Replace broken plant stakes and ties as needed. If ties are too tight, they must be replaced or adjusted.
- All suckers shall be continually removed from trees Grass shall be trimmed at the base of trees in a manner that shall protect tree trunks from cutting of bark and cambium layer. DO NOT use "power trimmers". Each tree within a lawn or turf area shall have a 3" depth ring of mulch no less than twenty-four (24) inches beyond its trunk in all directions
- Annual tree pruning and/or shaping as needed. Always prune out dead wood. Refer to schedule. Contact Owner and/or Landscape Architect prior to commencing any pruning or shaping work. Mulch trees only when so directed by the Landscape Architect. Confirm and comply with Owner's mulch schedule if applicable.
- Spray all trees four times per year to control foliar feeding insects. The spray shall consist of alternately spraying 2 times with an insecticide spray and 2 times with a fungicide beginning in March, with the last spray in September. Monitor for aphids, powdery mildew and other common ailments and treat immediately to eliminate these problems.
- 3. GUIDELINES FOR CRAPE MYRTLE TREES (if applicable to this project per the contract documents):
- Prune Crape Myrtles in February to remove dead branches and to shape head for spring/summer growth.

- Fertilize in February each year with super phosphate applied per manufacturer's recommendations for flowering trees.
- 4. TURF MAINTENANCE:
- a. MOWING: All common Bermuda and/or St. Augustine grass shall be mowed approximately every seven days March through October. During periods of mild weather, the cut should not be lower than two and one-half (2 1/2") inches from the soil. Never scalp the lawn or cut more than one-third (1/3) the existing top growth in one mowing. On irrigated areas, remove any accumulated clippings or clumps, never allowing clippings or clumps to remain on lawn surface more than four (4) hours. All sidewalks and curbs shall be edged as well as other objects (nonliving) in the grass zone. Allow grass to grow up to but not over sprinkler heads. Trim grass around heads with a circular sprinkler head trimmer. DO NOT use "weed-eaters" to trim around sprinkler heads. Damaged sprinkler heads caused by improper maintenance shall be immediately replaced at contractor's expense
- WATERING: Provide a regular, deep watering program. The established turf should not be kept wet but should dry out somewhat between watering is good under regular conditions, but if it is hot or windy, water more often. In very hot weather, a fast watering with fine spray will cool the turf zone and can supplement the regular, deeper watering program. In shaded areas caused by trees, water more frequently because of the competition for soil moisture. If lawn wilts (shows grey-brown coloration) water more frequently. LAWN FERTILIZER: April 1st: 22-0-6 analysis at the rate of 10 pounds fertilizer per 1,000 square feet, nitrogen content shall consist of 50% sulphur coated urea. Analysis shall include 4% iron. May 15th: 24-6-12 analysis at the rate of 10 pounds fertilizer per 1,000 square feet, nitrogen content shall consist of 50% sulphur coated urea. Analysis shall include 4% iron. July 1st: 15-5-10 analysis at the rate of 10 pounds fertilizer per 1,000 square feet, nitrogen content shall consist of 50% sulphur coated urea. Analysis shall include 4% iron. August
- 15th: 15-5-10 analysis at the rate of 10 pounds fertilizer per 1,000 square feet, nitrogen content shall consist of 50% sulphur coated urea. Analysis shall include 4% iron. October 1st: 22-0-06 analysis applied at the rate of 10 pounds fertilizer per 1,000 square feet. No sulphur coated urea, d. FERTILIZER: Trace elements in fertilizer shall be based on the recommendations of the soil laboratory. The fertilization program will be closely monitored by the Owner. The contractor shall prepare submittals prior to each application showing the area to be covered, the
- quantity of fertilizer to be applied, and the rates of applications. The Owner will monitor the application to ensure that materials and procedures are as specified.
- WEED CONTROL AND UNDESIRABLE GRASS GENERAL Contractor shall use extreme care in the use of chemicals for weed control. Before such applications are made, the turf should be well established and in a vigorous condition.
- All chemical applications shall be properly licensed with the proper governing authorities.
- The contractor shall carry the insurance required by the governing authority.
- Apply chemicals at the manufacturer's recommended rate to achieve complete control of weeds and undesirable grasses. All products utilized on this project must be labeled for turf use.
- vi. Spot treatment of weeds and undesirable grasses shall be achieved without damaging the surrounding turf. WEED AND UNDESIRABLE GRASS CONTROL SCHEDULE: All turf shall be sprayed 2 times in early spring for post-emergent control of winter weeds, and 2 times in June - August for post-emergent control of crabgrass and other broadleaf grasses, for a total of 4 cycles. NOTE: If
- permanent turf establishment is not complete, do not apply pre-emergent herbicide. Summer/fall spot treat turf areas to achieve a minimum 98% pure stand of turf. INSECTS: Control insects with regular applications of commercial insecticides at the manufacturer's recommended rate
- DISEASES: Spray for diseases when they first become apparent with an approved commercial fungicide strictly according to the manufacturer's recommendations.
- Maintain mulched saucers around all trees for one year after planting. Trim grass as required to prevent grass from encroaching into the saucer area. No "weed-eaters" shall be used around the trunk of any tree at any time.

Client/Project

TESLA

File Name: L0002

- If initial installation (any or all) of the project site is in winter rye, the contractor will at that time change the mowing and trimming rate to 45 times a year. Contractor shall also during the 1-year maintenance period and at the appropriate season, chemically kill out winter rye
- and hydromulch bermuda. k. One application of herbicide will be applied to over-seeded turf to aid in the eradication of rye grass.

- Weeding of all shrubs, groundcover beds, and seasonal color beds shall be performed twice monthly (total 24 times). All shrub and groundcover beds shall be pruned 8 times a year March - October in an attempt to develop the natural form of the plant
- Pre-emergent weed control shall be applied 1 time in early spring and 1 time in late fall in planter beds only after careful thought of what is to occur in planters during the growing season All shrub, groundcover beds and seasonal color areas shall be fertilized 3 times per year at a rate of 2 pounds of fertilizer per 1,000 square feet. April 1st: 22-0-6, July 1st: 15-5-10, October 1st: 22-0-6.
- **USE OF HERBICIDES, INSECTICIDES, STERILANTS, POISON, AND ANIMAL TRAPS:**
- The contractor shall be granted permission upon Owner approval to use such herbicides, insecticides, poison, and animal traps as it may find necessary and advantageous in its ground maintenance activities. Herbicides, insecticides, sterilants, and animal traps must be used responsibly and in conformance with federal, state, and local laws and regulations. The contractor assumes all liability for damage and/or injury resulting from accident or misuse of these products and/or equipment. The owner retains the right to prohibit the use of any
- herbicide, insecticide, poison, or animal trap that they may judge to be undesirable for any reason. Product leaving an undesirable residue or odor (i.e., weed oil, bloodmeal, etc.) shall not be used.
- The owner shall be notified prior to application and advised of any danger associated with the use of these products (i.e., to avoid contact with sprayed areas, etc.).
- Apply insecticides as needed to protect all plant materials from damage. The insect control program shall include slugs and shall be responsible for choosing the chemicals and insecticides he uses and shall be accountable for any misuse of same. e. Apply the proper fungicide, herbicide and pesticides for the control of pests, weeds and plant diseases or treat cuts on turf, plants and trees.

7. GENERAL CLEAN UP:

- The contractor shall dispose of all waste materials or refuse from his operations off the property.
- All plant growth shall be prevented in any cracks in walks or within paved areas. Leaves, papers, grass clippings or other debris shall be removed at least weekly or at each visit from all areas.
- Sweep roads and walks of refuse, dirt and other materials which may be deposited as a result of the maintenance operation. Trash and plant litter shall NOT BE ALLOWED to enter storm water structures, catch basins, yard drains, deck drains, or collect at drainage flumes. Contractor will evaluate mulch four (4) times a year during the 1-year maintenance period and replace bare spots as needed.

SECTION 2, PART 4 - LANDSCAPE GROUNDS MAINTENANCE (SCHEDULE)

1. SCHEDULE:

- The schedule as included herein shall govern the work. Should the contractor require an alteration of the schedule, contact the Landscape Architect and Owner for review and approval prior to implementation Schedule for mowing, edging, trimming, litter clean up, irrigation monitoring and other related maintenance:

			MA	INTENA	ANCE S	CHEDUL	_E						
DESCRIPTION	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	ОСТ	NOV	DEC	TOTAL
моw						MOW V	VEEKLY						52
EDGE / TRIM						EDGE / TR	IM WEEKLY						52
CLEAN / TRASH / WEED BEDS		PRIOR TO EACH MOWING AND EDGE /TRIM ACTIVITIES								52			
IRRIGATION / SPRINKLERS		MANUALLY WET TEST IRRIGATION OPERATION WEEKLY							52				
POST-EMERGENT (LAWN)		1 1 1 1							4				
		POST EMERGENT OF WINTER WEEDS POST-EMERGENT OF CRABGRASS & OTHER BROADLEAF GRASSES											
FERTILIZE (LAWN, SHRUBS & GROUNDCOVERS)		1			1		1			1			4
FERTILIZE (TREE & PALMS)		1			1		1			1			4
PRE-EMERGENT (SHRUBS & GROUNDCOVERS)				1						1			2
PRUNE (SHRUBS & GROUNDCOVERS)		•	•	•	В	I-WEEKLY AN	ND AS NEEDE	D	•				26
PRUNE (ORNAMENTAL GRASSES)				1						1			2
PRUNE (TREES & PALMS)				1 TREE		1 PALM			1 TREE				3
INSECT & DISEASE CONTROL (LAWN & BEDS)			1	TREAT AS NE	EDED OR PER	R OWNER'S SI	PECIFIC MAII	NTENANCE RE	EQUIREMENT	S	•		
TREES & PALMS (INSECTICIDE)		TREAT AS NEEDED											
TREES & PALMS (FUNGICIDE)		TREAT AS NEEDED											
MULCHING					1						1		2

END OF SECTION 2

SECTION 3, PART 1 - LAWNS, TURF, AND GRASSES (GENERAL)

Furnish all labor, tools, transportation, materials, equipment, supervision, etc., required to adequately establish a dense lawn of permanent grasses, free from lumps and depressions as indicated by plans and specifications. Replace any part of the area failing to show uniform cover until a dense lawn is established. The cost of miscellaneous labor and materials for topsoil, weeding, tilling, pest control, fertilizing, etc., are not separate pay items and shall be included in the bid price for lawns, turf, and grasses.

a. Payment for grass planting or hydro-seeding for general turf areas will be made after final acceptance based on the method of payment stated in the bid proposal. If based on area units, such as square feet or square yards, payment will be based on actual field measurements. The contractor shall seed, fertilize, maintain and establish a healthy stand of grass before acceptance or payment for grass will be considered by the Landscape Architect and Owner. Bidders shall be aware that estimates of work under the specifications for monthly payments are made on non-perishable materials only. Payments for perishables will be made after final acceptance of the project. All grass planting, tilling, fertilizer, etc. shall be considered

MAINTENANCE OF GRASS:

a. The contractor shall maintain the grass until final acceptance. Such maintenance shall include spraying, weeding, cultivation, fertilizing, watering, mowing, disease and insect control, top dressing low spots, plus any procedures consistent with horticultural practice necessary to

Lawn areas will be left within 0.1 foot of finish grade by other trades. Fine grading, raking, and smoothing will be the responsibility of the landscape contractor. It is the landscape contractor's responsibility to verify finish grade elevations prior to final landscape and irrigation

4. JOB CONDITIONS:

WATER: Water must be made available on site. Provide necessary hoses and other watering equipment or vehicles required to complete work.

installation. Failure to verify finish grade elevations may result in rejection of all installed elements and replacement of plant materials, irrigation etc. after grading remediation at no cost to the Owner.

SEEDING / HYDRO-SEEDING (if applicable and called for in the contract documents).

perishable, therefore, no partial payments will be paid for grass planting and associated work.

- NORTH / CENTRAL FLORIDA: Complete only between May 1 to August 31 under favorable conditions (warm season). SOUTH FLORIDA: Complete only between April 1 to September 15 under favorable conditions (warm season).
- SEEDING/HYDROMULCHING (if applicable and called for in the contract documents)
- Complete seeding/hydromulching only between September 1 to April 30, except at front of project, as determined by Landscape Architect and Owner, under favorable climatic conditions.
- SODDING (if applicable and called for in the contract documents): NORTH / CENTRAL FLORIDA: May 1 to August 31 (warm season) and September 1 to April 30 (cool season) with overseed of perennial rye
- SOUTH FLORIDA: April 1 to September 15 (warm season) and September 16 to April 30 (cool season) (use nursery overseeded sod in cool season, if available). QUALIFICATIONS: Due to unseasonable weather, the above dates may vary; however, do not proceed with grassing operations beyond these dates without assuming full responsibility for a stand of grass.

6. ACCEPTANCE:

a. The work will be accepted only when a completed, undamaged stand of grass is established as determined and approved by the Landscape Architect and as accepted by the Owner.

SECTION 3, PART 2 - LAWNS, TURF, AND GRASSES (MATERIALS)

- Topsoil shall be friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones, and other extraneous material. Topsoil containing weeds and foreign grasses shall be rejected. Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil. It shall be free of stones, lumps, live plants and their roots, sticks, and other extraneous matter. Spread topsoil
- mixture to minimum depth of three (3) inches throughout all areas and six (6) inches in all shrub and groundcover beds. Remove all rocks and other objects over one (1) inch in diameter.
- Smooth all prepared topsoil to three (3) inches below top of surrounding pavement edges. Finish grade all prepared topsoil areas to a smooth, even surface assuring positive drainage away from the structures and and eliminate any low areas which may collect water. Smooth topsoil mixture to six (6) inches below grade in areas to be sodded. Topsoil shall not be extremely acidic or alkaline, nor contain toxic substances which may be harmful to plant growth. The Ph shall be in the range of 5.5 to 6.5. if necessary, the contractor shall apply the appropriate soil amendments adjusting soil Ph to assure a Ph range of 5.5 to 6.5.

Permit/Seal

- Physical properties as follows: Clay - between 7-27 percent
 - Silt between 28-50 percent
- iii. Sand less than 52 percent

2. GRASS:

a. GRASS SEED: Where called for in the contract documents, provide extra fancy, hulled and treated, lawn type seed, delivered to site in original, unopened containers meeting requirements of Florida state seed law. Minimum purity germination 90 percent. SOD: Where called for in the contract documents, provide solid sod, live, rich, dark green in color, free of foreign grasses, weeds, nutgrass, cut with a full 1 inch of heavy soil covering roots. Deliver to site in 16" x 24" rectangle slabs or 24-inch-wide rolls. Do not stack for more than 24-hours between time of cutting and time of delivery. Sod shall have tight, staggered joints. Sand all joints filling voids and roll to consistent surface free of clumps, dips, ridges, etc. The Landscape Architect and Owner shall review final sod installation for acceptance upon notification of completion by contractor. Areas not meeting specifications as determined by the Landscape Architect shall be removed and replaced at no additional cost to the project.

3. FERTILIZER:

Fertilizer shall be organic base, uniform in composition, dry and free flowing. deliver fertilizer to site in original, unopened containers, each bearing manufacturer's guaranteed statement of analysis.

First application: 12-12-12 element percentage with minimum 8% sulfur and 4% iron, plus micronutrients. Second application: 3:1:2 element ratio. nitrogen source to be a minimum 50% slow-release organic nitrogen (scu or uf) plus minimum 8% sulfur and 4% iron plus micronutrients

4. MULCH FIBER (if applicable and called for in the contract documents):

a. WOOD CELLULOSE FIBER FOR HYDROMULCH: Enviro-Gro Cellulose Fiber Hydraulic Mulch or approved equal with green color additive.

5. TACKIFIER (if applicable and called for in the contract documents)

a. Natural, non-asphaltic vegetable gum with gelling and hardening agents.

6. SHARP SAND:

a. Clear, washed sand (fine aggregate) per ASTM C-33.

7. HERBICIDE:

a. Apply an approved herbicide according to manufacturer's rate and specification within limits of all areas to be planted. Provide all manufacturer data to Landscape Architect for approval prior to application. Protect existing plants to remain from over-spray or spray within root zone. Contractor to ensure total weed eradication

Scarify subsoil to a depth of three (3) inches then apply an approved pre-emergent herbicide in accordance with manufacturer's rate and specifications. Provide all manufacturer data to Landscape Architect for approval prior to application. Follow manufacturer's recommended waiting period prior to new landscape installation

SECTION 3, PART 3 - LAWNS, TURF, AND GRASSES (EXECUTION)

1. PREPARATION:

- Scarify lawn areas where excessive compaction is greater than 85% standard proctor to a depth of 6-inches by discing or rototilling. Repeat cultivation as required to thoroughly loosen soil.
- Leave areas free of weeds and ready for final grading.
- c. Provide barricades around scarified areas to prevent compaction by construction vehicles.

2. SPREADING TOPSOIL:

- No topsoil shall be placed until subgrade is approved by Landscape Architect.
- Contractor to furnish and spread topsoil on lawn areas to a depth of six (6) inches unless otherwise noted in the contract documents
- Work topsoil to a smooth uniform surface and compact firmly. Feather topsoil into undisturbed areas creating a smooth, even transition. Spread additional topsoil in undisturbed areas to eliminate water ponding.

3. FINAL GRADING:

- Remove from site and legally dispose of stones 1-inch and larger, sticks, roots and other debris exposed during this operation.
- Provide finish grading leaving surface uniform without depressions and undulations, graded approximately 1 1/2-inch below paving.
- Secure approval from the Landscape Architect prior to proceeding with grassing or planting operations. It is the landscape contractor's responsibility to verify finish grade elevations prior to final landscape and irrigation etc. after grading remediation at no cost to the Owner.

4. HERBICIDE:

a. Apply herbicide to remove any remaining weeds. This work is to be performed by a licensed pesticide applicator following the manufacturer's recommendations.

5. FERTILIZER:

Place first application with hydromulch at rate of 12 pounds per 1,000 square feet.

Uniformly distribute second application using a rotary type fertilizer spreader 3-4 weeks after first application at 12 pounds per 1,000 square feet.

Use a 4' x 8' batter board against bed areas.

- 6. HYDROMULCH / SEEDING (if applicable and called for in the contract documents):
 - a. At the time of hydromulch/seeding, soil shall be moist but not muddy, and wind velocity shall not exceed ten (10) miles per hour. Add water if required to moisten soil. Hydromulch seed uniformly at the rate of 2 pounds of Bermuda Grass seed per 1,000 square feet or other rate as specified on plans.

Add tackifier to hydromulch mix for slopes 5:1 or greater at the rate of 1 lb. per bag of mulch.

7. MECHANICAL SEEDING (if applicable and called for in the contract documents):

a. Seed uniformly at a rate 125 pounds of Bermuda Grass seed per acre. Use grass drill, brillion seeder, or viking roller.

8. SOLID SOD (if applicable and called for in the contract documents):

- SOLID SOD: Plant grass by hand, edge to edge with staggered joints. Top dress with sharp sand raked in carefully to fill joints. Roll to eliminate undulations and provide complete soil contact. All grass installed during the winter months (September-April) shall be overseeded before installation (not overseeded at site.)
- b. FERTILIZING: Fertilize immediately after grass is planted at rate of 4 lbs. per 1,000 square feet. Repeat fertilizing at the same rate 3-4 weeks later. Modify application rate if recommended by soil testing lab.

9. ESTABLISHMENT AND MAINTENANCE OF LAWN AREAS:

- a. WATERING:
- Water lawn areas immediately after grassing operation. Continue watering as required to keep soil uniformly moist to a minimum depth of four (4) inches
- Be alert to over-watering newly planted grass, particularly in heavy clay soils. REPLANTING / EROSION CONTROL:
- Correct any erosion that may occur during the establishment of grass.
- Reseed (sod) any areas not showing sufficient growth within 3 weeks after initial grassing. Continue seeding (sodding) until a stand of grass is achieved at no additional cost to the project. i. A stand of grass will be defined as a uniform cover of actively growing turf.

Weed lawn areas until acceptance, removing all foreign vegetation, either by hoeing or pulling. If approved by the Landscape Architect, herbicide spot treatments may be used.

- MOWING/WEED CONTROL: Mow lawn areas weekly until a stand of grass is achieved. Begin mowing when the lawn reaches a height of 3-inches set mower to cut at 2-inches. a minimum of two mowings is required.
- 10. CLEANUP:
- a. During work, keep premises neat and orderly, including organization of storage areas. Remove trash, including debris resulting from removing weeds and rocks from site daily as work progresses. Keep paved areas clean by sweeping or hosing.

END OF SECTION 3

SECTION 4, PART 1 - GENERAL SITE AND CONSTRUCTION NOTES

- The limits of construction are defined by the "Project Limit Line" as noted on the contract documents
- Provide all labor, materials, and equipment for complete installation of all design elements as indicated on the contract drawings and specified herein. Install all work in conformance with industry standard trade practices as outlined in CSI Standards unless otherwise noted or amended on the drawings.
- The proposed construction shall comply with the Americans with Disabilities Act (ADA) and the ADA Compliance Handbook, latest edition. The construction shall also comply with The Florida Building Code and The Florida Accessibility Code for projects located within the State of
- e. There shall be no change or deviation from these plans without prior written approval by the Landscape Architect. SHOP DRAWING SUBMITTALS: The contractor and its subcontractors must demonstrate the way by which they propose to conform to the information given and the design concept expressed in the contract documents in a means that clearly denotes manufacturer/model,
- use, location, application and conformance via drawings, diagrams, schedules and other data as applicable for the Landscape Architect's review for design intent. The contractor and its subcontractors shall not be relieved of responsibility for deviations from the requirements of the contract documents or omissions in shop drawings, product data, samples, or similar submittals by the Landscape
- Architect's review and "acceptance" thereof.
- a. All work under this contract shall be performed in accordance with the project schedule as defined by the Owner or authorized representative.

Client/Project Logo

3. CONTRACTOR'S PERFORMANCE:

- a. It is expected that the landscape contractor will be licensed and insured within the state or municipality where the work is being performed. Per Florida Nursery, Growers and Landscape Association standards, a "Licensed Landscape Contractor" is a contractor licensed and insured to do business in the State of Florida that specializes and has a minimum experience of 3 years in the horticulture/landscape industry.
- The contractor's workmen shall be neat in appearance, perform their work in a professional manner, keep noise to a minimum and stage their work from a location on the site out of the way of the mainstream of the uses. In general, the contractor's presence on the site shall
- The intent and spirit of these Contract Documents is to provide a guideline for the contractor to follow in order to perform all necessary installation, maintenance, and protection of all built work services at the highest possible quality level. Nothing contained within these documents shall be interpreted as relieving the contractor of its responsibility to perform the work in a professional manner and
- If disputes arise as to the quality of the services performed between the contractor and the Owner (or Owners Designated Representative), the Landscape Architect shall make the final determination of all responsibilities and remedies Report any discrepancies between the contract documents and field conditions to the Landscape Architect immediately for resolution PRIOR TO PROCEEDING with procurement, installation, or construction.

Client/Proiect

- The contractor shall comply with all federal environmental protection, state, and local water quality standards. The contractor shall answer emergency or complaint calls regarding all site works within eight (8) hours and corrective action shall be complete within twenty-four (24) hours.
- It is the contractor's responsibility to fully secure all materials, tools, machinery, etc. when delivered to or stored at the project site. Failure to do so will make the contractor liable for any and all damages or theft there to arising from its operations and shall be immediately corrected by the contractor at no additional cost to the project.

Title

700007				() Stantec		TESLA	General Land		
)\dirawing\sheet				Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105		Service Center Miami, TRT ID #32360			
cape/design		1st Planning Resubmittal (Rev1) Consolidated	2023.07.07	Tel: (239) 649-4040 www.stantec.com		OOFO NIM OF the Street Devot Florida 22170	Project No. 200713009	Scale n/a	
9\lands		1st Planning Resubmittal (Rev1) Owner Directed Changes Submittal	2023.04.25	Copyright Reserved	TESLA	9950 NW 25th Street, Doral Florida 33172	Revision Sheet	Drawing No.	
1 1st Planning Resubmittal (Rev1) Revision	By Appd YYYY.MM.DD	Planning and Zoning Submittal ISSUEC	By Appd YYYY.MM.DD	The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.		File Name: L0002 2022.12 Dwn. Dsgn. Chkd. YYYY.MM.I	$\overline{}$ O of		L0004

The contractor shall comply with Florida State Statute 553.81 "Protection of Underground Pipelines" for projects located within the State of Florida. Contractor shall provide traffic control during construction in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, millennium edition, and the Florida Department of Transportation Design Standards, latest edition, Traffic Control Through Work Zones, Series 600 Indices.

Any maintenance of traffic needs by the landscape contractor shall be coordinated with the general contractor and ongoing construction activities. All clearing and grubbing debris is to be burned or removed from site and is part of the clearing and grubbing task. A BURN PERMIT IS REQUIRED FROM THE LOCAL ENVIRONMENTAL MANAGEMENT DEPARTMENT IF BURNING IS TO OCCUR. All burning shall be done in

compliance with local and governmental ordinances and restrictions regarding open fire sources. Notify the local fire department or fire control services forty-eight (48) hours prior to any burn. Where excavations are in close proximity of trees, the contractor shall use extreme care in not damaging the root system. No equipment, supplies, or vehicles shall be stored or parked within the drip line of trees to remain and be preserved. IT SHALL BE THE RESPONSIBILITY

OF THE CONTRACTOR TO INFORM ALL OF HIS EMPLOYEES AND SUBCONTRACTORS OF THIS REQUIREMENT AND TO ENFORCE SAME. Certain trees may be designated by the Owner and/or the Landscape Architect to be saved and protected by the contractor. It is assumed these trees are healthy and are expected to be part of the landscape development or protected by code requirements. Therefore, if any tree(s) are damaged by construction operations or by other means (excluding lightning, windstorm, and other acts of God) and perishes within the construction period, it shall be the responsibility of the contractor to remove and dispose of those trees. Approval from the

Landscape Architect and Owner is required prior to removal of any trees designated to remain. No additional compensation from the contractor if the damage and/or death of the tree(s) is due to the contractor's negligence as determined by the Landscape Architect. All existing site furnishings, paving, landscape, and other elements designated to remain shall be protected from any damage unless otherwise noted.

Caution should be exercised while working near existing at grade and/or overhead signs to prevent unnecessary damage. Signs and structures shall be repaired or replaced by the contractor at the contractor's expense if any are damaged as determined by the Landscape

ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. If a corner monument is in danger of being destroyed and has not been properly referenced, the contractor should notify the project surveyor without delay. Contractor and its subcontractors shall clean all work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion and in a designated area as directed by the Landscape Architect and/or Owner.

These plans are provided for the purposes of the Landscape Architecture design intent and specific project scope of services. These plans are intended to be coordinated with other project design professions (architecture, civil, M/E/P, structural, aquatics, etc.) and should be used in conjunction with those professions to develop the full contract document package. For information regarding those professions, please refer to the appropriate plan sheets. These drawings may include information provided by others. The Landscape Architect has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated within these contract documents as a

result. The location of the utilities shown in the plans are approximate only. The exact location shall be determined by the contractor prior to construction. All plantings may be subject to adjustment by the Landscape Architect to avoid conflicts with utilities and minor utilities may be adjusted at the direction of the Landscape Architect and/or Owner. The contractor shall verify all plant counts and report any discrepancies to the Landscape Architect PRIOR TO procurement, delivery, and/or construction.

5. REQUIRED COORDINATION OF JOB CONDITIONS AND LANDSCAPE WORK:

- Contractor and its subcontractors shall be responsible to replace all portions of existing lawn areas damaged during or caused by construction activities with same grass species to the satisfaction of the Landscape Architect and/or Owner at no additional cost to the project. Any rutting created by the treads or tires of equipment shall be re-graded prior to grass replacement.
- Contractor shall take necessary precautions to protect site conditions, irrigation and plants. Should damage be incurred, the contractor shall repair damage at its expense to its original condition or furnish and install equal replacement as determined by the Landscape Architect. Contractor and its subcontractors shall re-grade all areas disturbed by plant removal, relocation, and/or installation work. Contractor shall existing plant material disturbed or damaged by plant removal, relocation, and/or installation
- PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, preserve areas within and adjoining the area of construction activity shall be protected by erection barricades and/or silt barriers. Tree protection barricades shall meet the standards of the local Land
- Development Code (LDC). Silt barriers shall be constructed in accordance with the best management practices. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed by, or approved by, the Landscape Architect. Determination of final location and subsequent changes to meet these criteria, if necessary, shall not incur additional project costs.
- Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. Any adjustment necessary shall be documented and brought to the Landscape Architect's attention as soon as practical. Any adjustment greater than eight (8) feet shall be done under the approval and/or supervision of the Landscape Architect.
- All proposed ground elevations in landscape areas are finished sod elevations. Finish earthwork grading shall be three (3) inches below elevations shown to allow for sod and topsoil thickness. Sodding includes maintaining slopes and sod until completion and acceptance of total project or growth is established, whichever comes last. Until then, all erosion, silt control, and maintenance of grades and grass is the responsibility of the contractor. Where erosion, siltation, and loss of grade has become apparent as determined by the Landscape Architect, the contractor shall correct all occurrences at no additional cost to the project.
- All landscape materials shall be maintained to provide continuous clear zones for sight visibility for pedestrian and vehicular traffic and landscape maintenance shall conform to standards set forth in FDOT Roadway and Traffic Design Standards, latest edition, Series 500 Indices. The contractor of record shall ensure that installation in medians and rights of ways conforms to criteria set forth in FDOT Roadway and Traffic Design Standards, latest edition.
- The following guidelines shall be utilized to ensure successful transplanting of trees:

damage. Report any conflicts to the Landscape Architect within two (2) business days for resolution prior to construction.

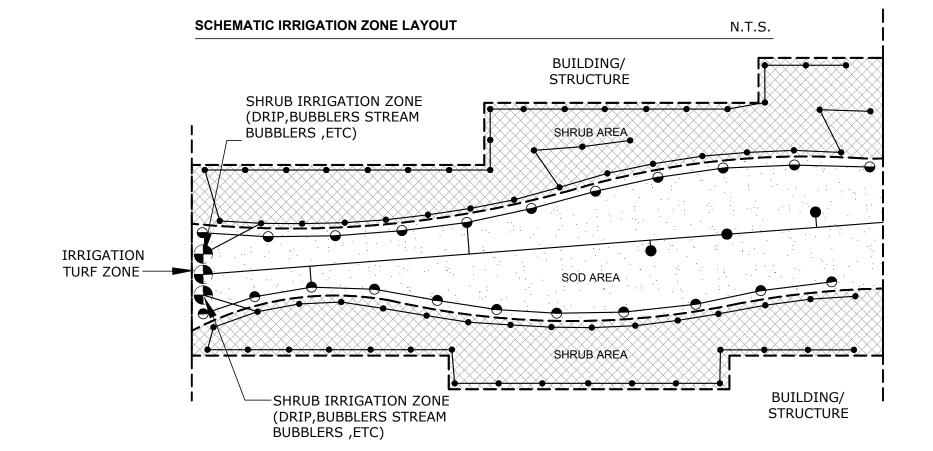
- Any tree being relocated shall not be unnecessarily damaged during removal, transport or replanting of that tree. During and following transplanting, the root ball shall be kept moist at all times.
- Transplanted trees shall be braced for at least one (1) year.
- Transplanted trees shall not be fertilized at planting time but shall be watered sufficiently until the tree growth is re-established. All crown pruning shall be done in accordance with National Arborist Association Standards or palm pruning in accordance with city/county standards and/or the standards listed in "Arboriculture Second Edition" by Richard W. Harris, as amended. All existing trees to remain shall be protected by installing protective barriers around the drip line of trees. The protective barriers shall be seen easily by operators of trucks and other equipment. Protective barriers shall be constructed of sturdy materials (not flagging or ribbons) and shall be installed prior to and during construction and/or land development. All existing planting shall remain intact and undisturbed on the plans. Contractor shall install a 4.0' height orange nylon or chain link type fence affixed with ties, nails or staples to sturdy posts (metal fence stakes or 2x4 wood, set to a depth of 2'-6" minimum) surrounding all existing vegetation to be protected and relocated. Contractor shall continuously maintain the fence for the duration of construction and repair or replace damaged or fallen sections as necessary. Fence to be installed in the critical protection zone - the area surrounding a tree within a circle described by a radius of one (1) foot for each inch of tree trunk diameter measured at 54" above finished grade (for groups of trees, locate fence between trees and construction activity). the fence shall be located to protect a minimum of 75% of the critical protection zone. Shrubs and groundcover vegetation shall have a minimum 5.0' buffer between fence and construction zone. No construction debris,
- vehicles, chemicals, or other construction activity shall be allowed within the root zone and/or critical protection zone: DO NOT STORE OR USE MATERIALS OR EQUIPMENT WITHIN THE DRIP LINE OF ANY TREE to be relocated or to remain in place on site unless the activity is being done to protect the trees. DO NOT DISCHARGE OR CONTAMINATE THE SOIL WITHIN THE DRIP LINE OF ANY TREE to be relocated or to remain on site with any construction materials such as paint, oil, solvents, petroleum products, asphalt, concrete, mortar, or other materials that may cause adverse impacts. The contractor and its subcontractors Failure to do so will make the contractor shall be responsible for protecting and enforcing these requirements. liable for any and all damages there to arising from its operations and shall be immediately corrected by
- the contractor at no additional cost to the project. Furthermore, the Owner may seek replacement of tree(s) of same species and physical specifications or other compensation from the contractor if the damage and/or death of the tree(s) is due to the contractor's negligence as determined by the Landscape Architect. iii. Clearing of vegetation within the drip line of trees designated for preservation shall be performed cautiously with hand tools only as to minimize the adverse impacts that may cause damage to tree roots while operating heavy equipment.
- iv. Make no attachments, other than those of a protective and non-damaging nature, to any tree to be retained on the site.
- Natural grade above the root system within the drip line of any preserved trees disturbed during construction shall be returned to its original grade after construction. m. Xeriscape principles as outlined in the South Florida Water Management District Xeriscape Plant Guide 2 shall be applied throughout landscape installation and maintenance for projects within the State of Florida.

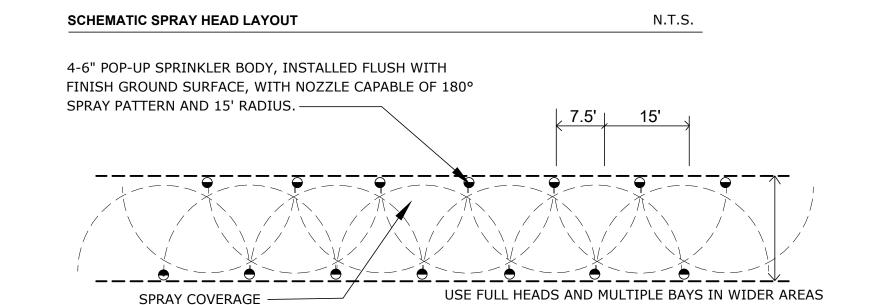
- a. Stantec Consulting Services Inc. supports a robust organizational safety culture encompassing Health, Safety, Security, and Environment (HSSE). Stantec Consulting Services Inc. reserves the right of their employees to follow Safe Work Practices and identify and limit their exposure to hazards in the work environment. Stantec Representatives are authorized and obligated to stop their own work activities, remove themselves from the hazardous environment, and report to their supervisor, the Client, and/or Prime Contractor an unsafe action, behavior, omission, or non-action of any party potentially leading to injury or damage so they can take prompt action. Work that has ceased due to a Stop Work order shall not be resumed until all safety aspects are cleared to the satisfaction of their supervisor and/or Stantec Corporate HSSE Manager. Should the project site be inaccessible to field staff for any reason outside of Stantec's control, and to the extent that there are cost or schedule impacts resulting from access restrictions, Stantec shall be entitled to an equitable change order and schedule relief. The Client and Prime Contractor agree that there shall be no blame, fault, or penalty of any type on any employee who follows this process and stops work (or notifies others to stop work if authorized to do so) in good faith, even if, upon investigation, the work
- stoppage was deemed unnecessary. It is expected that the Prime Contractor and its sub-consultants will identify and make aware to Stantec field staff any current or upcoming operations associated with chemical, physical, ergonomic, biologic, or environmental hazards prior to staff's commencement of project site activities. The Prime Contractor will also keep current, recommend, and maintain appropriate construction site PPE notifications. Hazardous project site activities are described as, but not limited to heavy equipment use, demolition, storage areas of hazardous or caustic materials, locations of ground disturbance, excavation, and fall areas, handling and remediation of chemicals, a change in traffic MOT, wildlife encounters, areas of venting and chemical off-gassing, overhead or underground electrical exposure, gray or wastewater contamination, pesticide, or herbicide applications, etc.

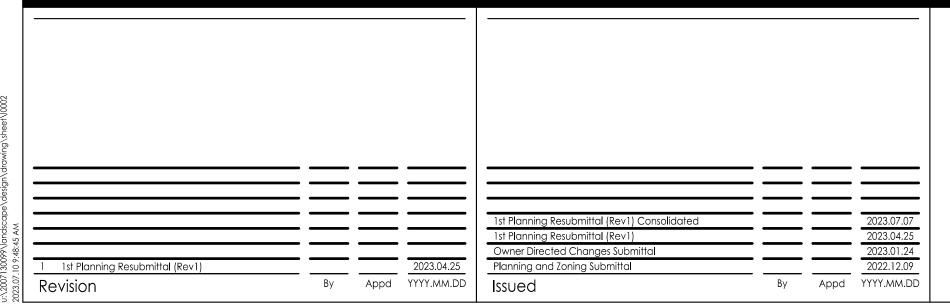
END OF SECTION 4

END OF DIVISION 32 - EXTERIOR IMPROVEMENTS (LANDSCAPING)

- 1. NOTES AND REQUIREMENTS:
 - A fully automatic irrigation system with a controller and applicable moisture (rain) sensor located to receive direct rainfall will be provided. Proposed irrigations system to be retrofit as additive to existing layout, supply, etc. as required to make the system operational.
 - All plantings shall have 100% full coverage with irrigation. Provide one (1) bubbler per tree and/or palm tree and drip or spray mechanisms for shrubs, groundcovers, grasses, and turf. Quantities and locations of valves may vary on area of coverage and zones required.
- This irrigation plan is schematic in nature and intended for the approval process only NOT FOR CONSTRUCTION. Detailed irrigation design and plans will be necessary and provided at Construction Documents issue.
- Valve sizing, detailing, and main line routing may be adjusted by the Landscape Architect to accommodate needs of the landscape design and site constraints. The Landscape Architect may choose to use drip, bubblers, stream bubblers, or spray irrigation in shrub areas for best efficiency of water application.
- The irrigation system will operate with separate valve zones for turf areas and shrub planting areas where efficiency of separation allows. The controller will be set to operate appropriate run times for the various zones and their required precipitation needs in accordance with best management practices for irrigation of Florida landscapes.
- The irrigation system will be designed to minimize the application of water to impervious areas, adjacent properties, and existing vegetation. i. Irrigation shall be installed to meet or exceed Appendix F - "Proposed Construction Building Codes for Turf and Landscape Irrigation Systems" of the Florida Building Code, Plumbing (Latest Edition), and in accordance with ASTM D2855.









Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Permit/Seal

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.



Client/Project **TESLA**

Service Center Miami, TRT ID #32360

9950 NW 25th Street, Doral Florida 33172

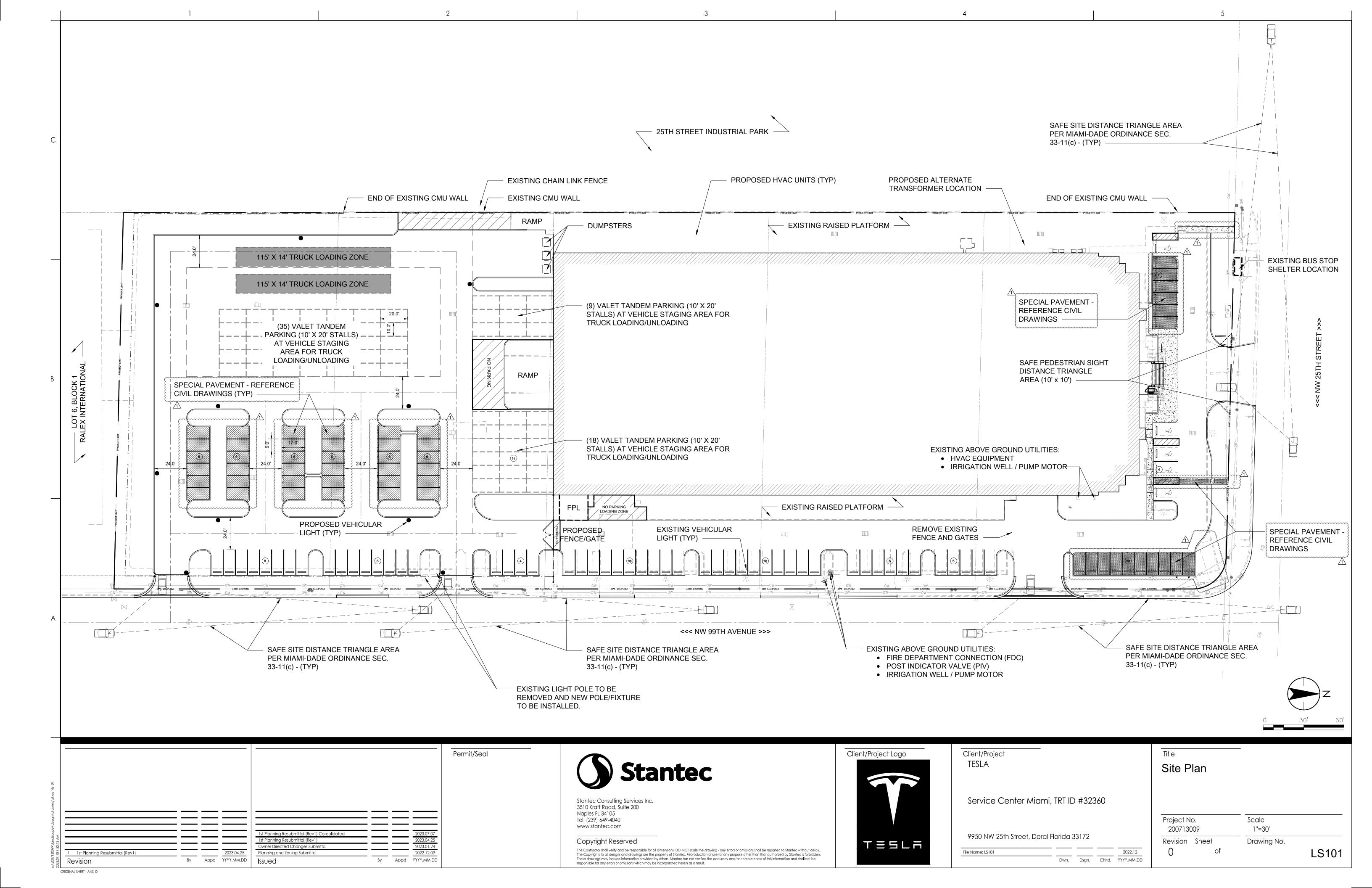
File Name: L0002

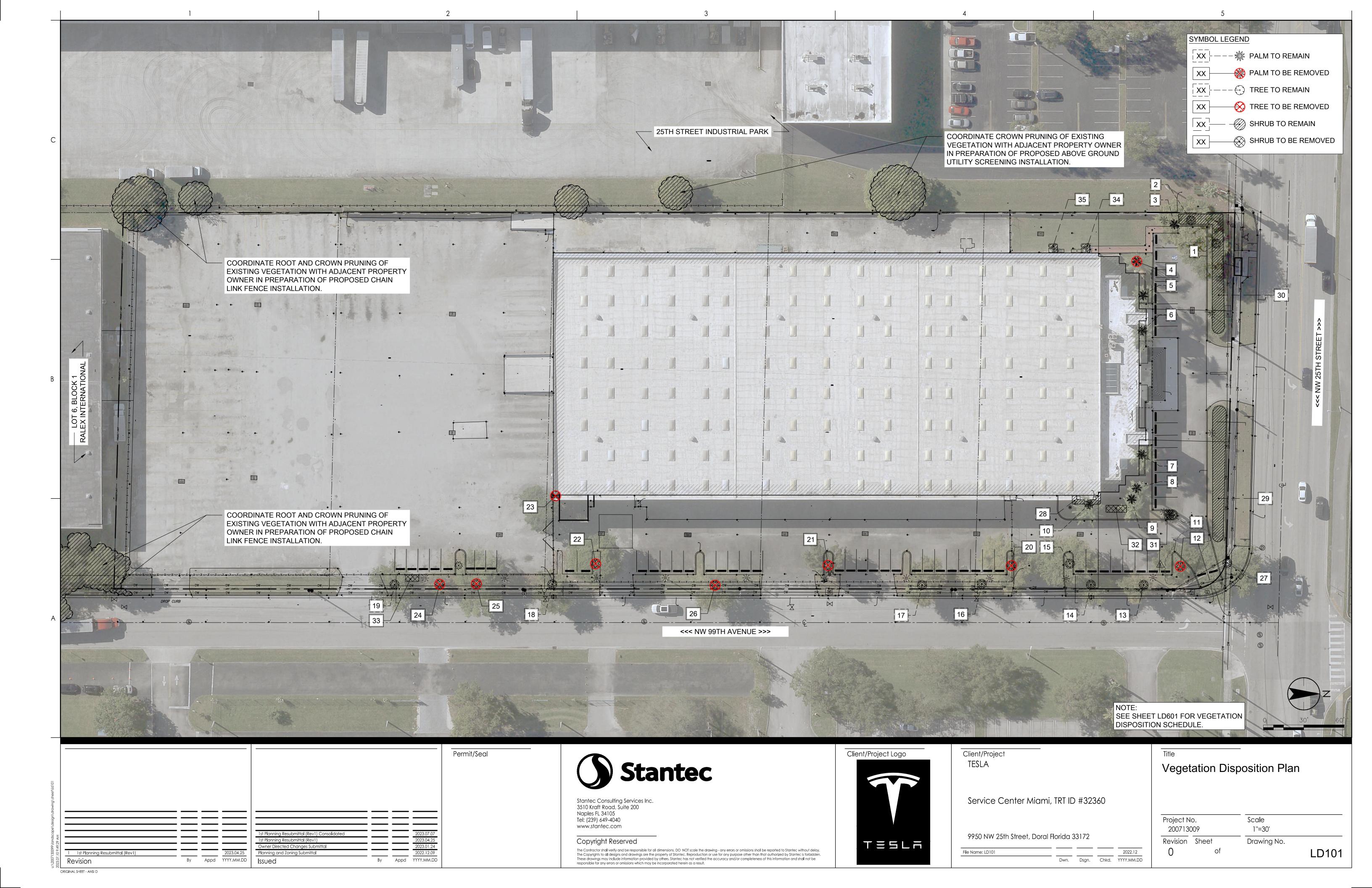
General Landscape, Site, and Construction Notes

2022.12

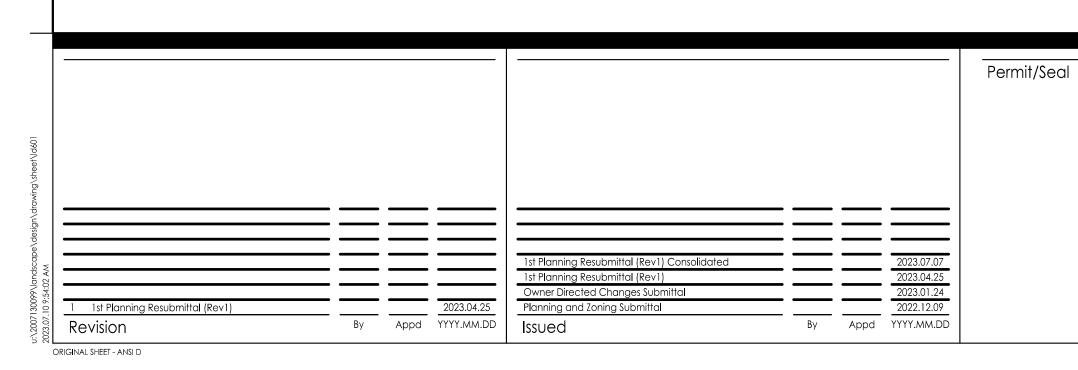
Dwn. Dsgn. Chkd. YYYY.MM.DD

Project No. Scale 200713009 n/a Revision Sheet Drawing No. L0005





VEGETATION DISPOSITON COMMON NAME HEIGHT DBH **BOTANICAL NAME** CONDITION DISPOSITION NOTES 30' OA | 22" Live Oak 1 Quercus virginiana Good Remain 2 Quercus virginiana 30' OA | 18" Live Oak Good Remain 3 Adonidia merrillii | 12' OA | Christmas Palm Good Remain 4 Syagrus romanzoffiana 16' OA Fair Queen Palm Remove 5 Roystonea regia 20' GW Royal Palm Good Remain 6 Roystonea regia 26' GW Royal Palm Good Remain 7 Roystonea regia 20'GW Royal Palm Good Remain | 30' GW | Fair Royal Palm 8 Roystonea regia Remain 24' GW Royal Palm Good Roystonea regia Remain 10 Roystonea regia 24' GW Good Royal Palm Remain Christmas Palm 12'0A — 11 — Adonidia merrillii — Good Remain~ ત્ર_riple 12 Bucida buceras 20' OA | 16" Black Olive Good Remove 18°OA 12" Fair Black Olive 13 Bucida buceras Remain 20' OA | 8" Black Olive 14 Bucida buceras Fair Remain 15 Bucida buceras Black Olive 28' OA | 12" Good Remain 16 Bucida buceras | 16' OA | 10" Black Olive Poor Remain 18' OA | 10" Black Olive Fair 17 Bucida buceras Remain 22" OA 14" Bucida buceras Black Olive Fair Double Trunk 18 Remain Bucida buceras Black Olive 20' OA | 14" Fair 19 Remain 28'OA | 12" 20 Bucida buceras Black Olive Good Remove 24' OA | 8" 21 Bucida buceras Black Olive Fair Remove 22'OA 8" 22 Bucida buceras Black Olive Fair Remove 24' OA | 10" 23 Bucida buceras Black Olive Poor Remove 24 Bucida buceras Black Olive 20' OA | 8" Poor Remove 25 Bucida buceras 24' OA | 10" Black Olive Poor Remove 24' OA | 8" Bucida buceras Black Olive Fair Remove 24' OA | 14" Adjacent property line in R/W - not part of this project 27 Quercus virginiana Live Oak Fair Protect 28 Podocarpus macrophyllus Podocarpus 4' OA Good Remain 5' OA 29 Coccoloba uvifera Sea Grape Good Remain 30 Coccoloba uvifera 5' OA Sea Grape Good Remain 31 Ixora 2.5' OA Ixora Poor Remove 32 Ixora Ixora 2.5' OA Poor Remove 6' OA 33 Psychotria nervosa Wild Coffee Poor Remove 4' OA 34 Podocarpus macrophyllus Podocarpus Good Remain Hedge 4' OA Podocarpus macrophyllus Podocarpus Good Remain Hedge



Stantec

Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.



Client/Project TESLA

Service Center Miami, TRT ID #32360

9950 NW 25th Street, Doral Florida 33172

File Name: LD601

Dwn. Dsgn. Chkd. YYYY.MM.DD

Vegetation Disposition Schedule

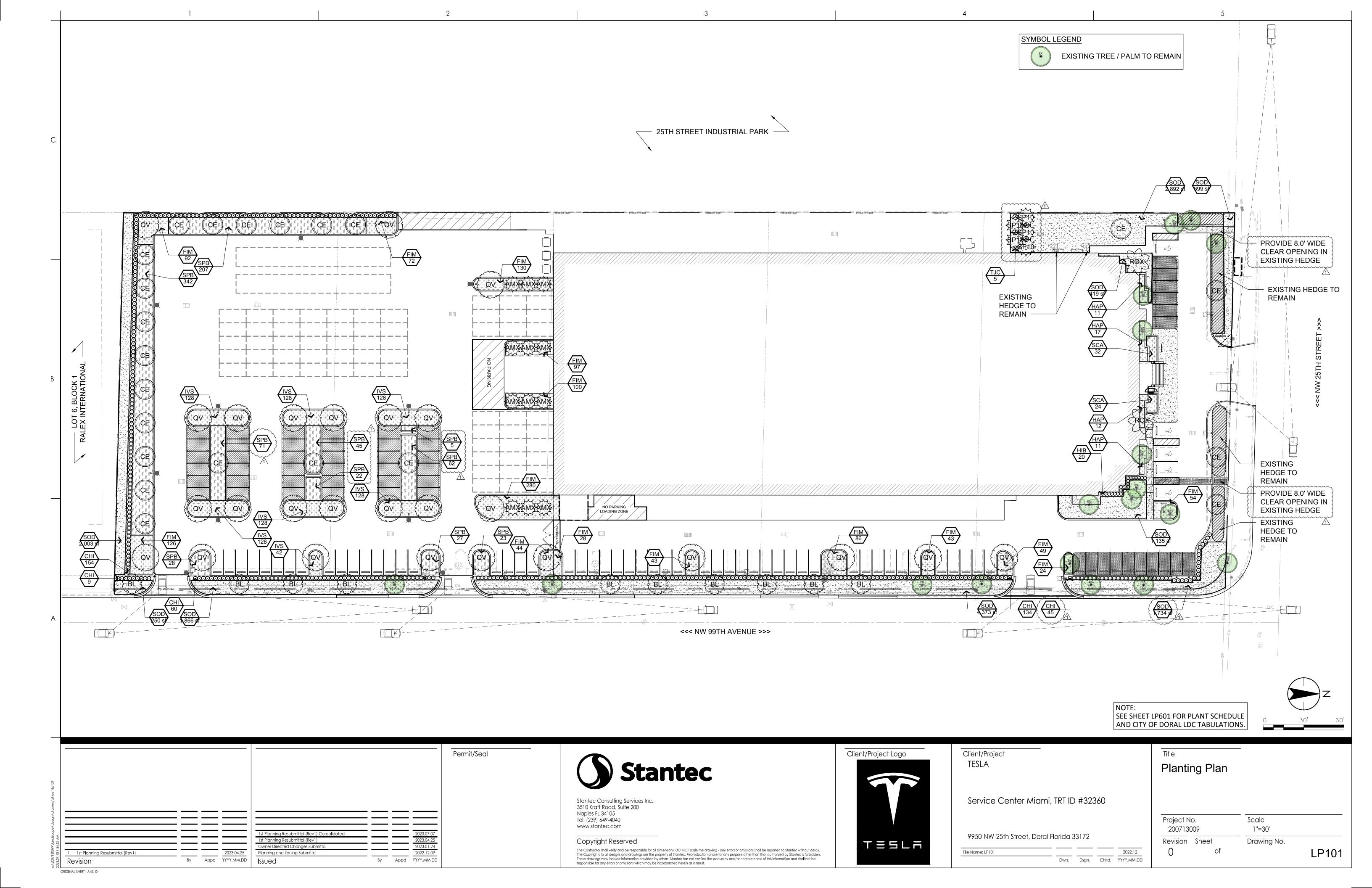
Project No. Scale 200713009 n/a

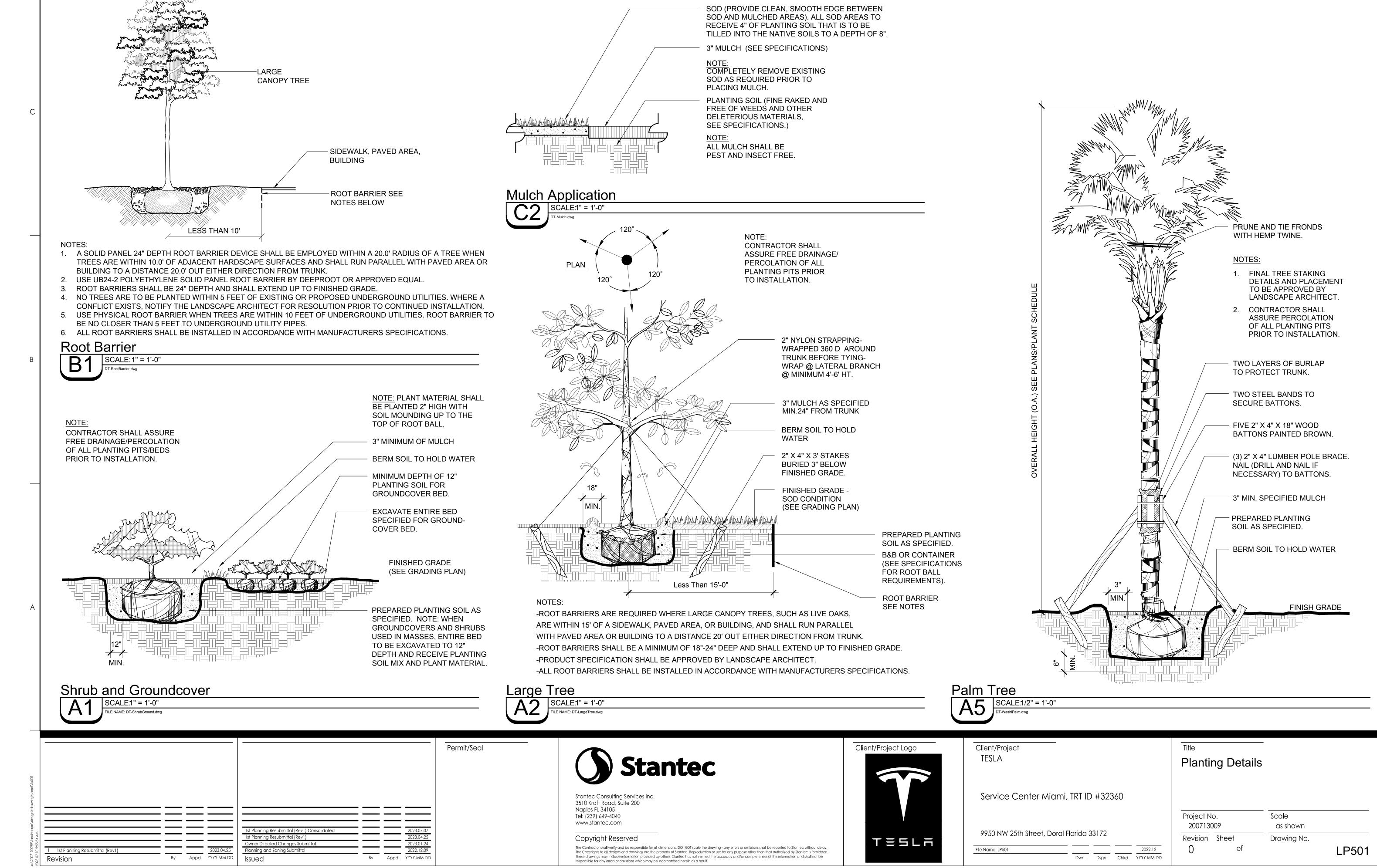
Florida 33172

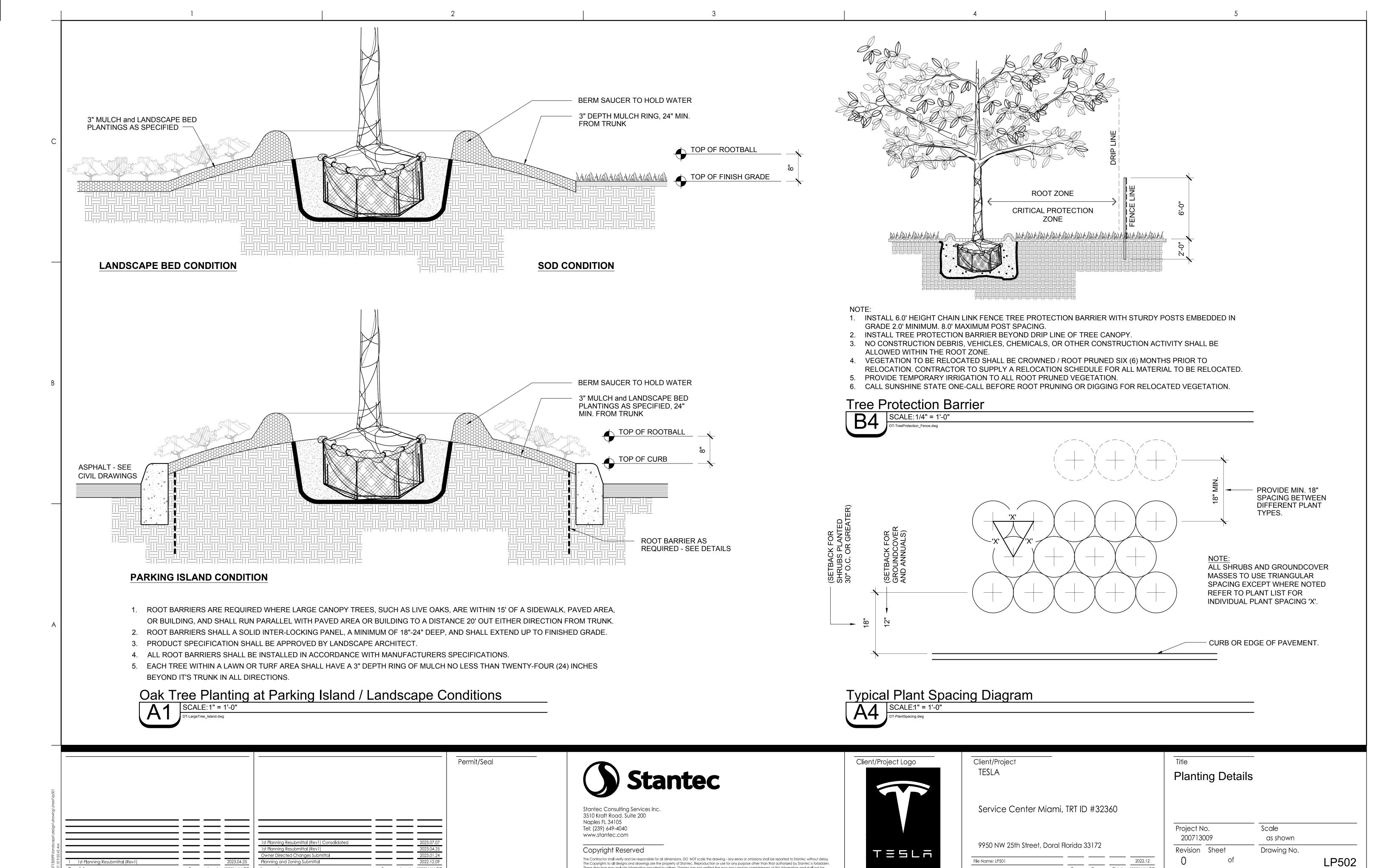
Revision Sheet Drawing No.

Drawing No.

LD601







The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.

Dwn. Dsgn. Chkd. YYYY.MM.DD

Revision ORIGINAL SHEET - ANSI D By Appd YYYY.MM.DD

Issued

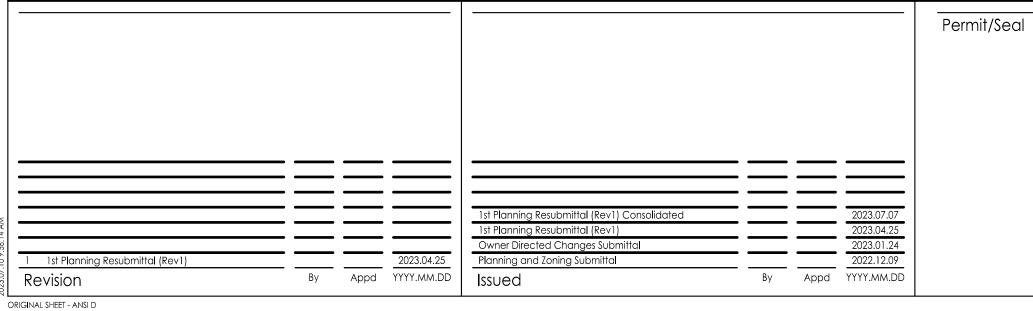
OF	RAL LDC - DEVELOPMENT TABULATIONS		
et	Lot Area - 5.30 Acres (230,947 SF)	٨	
and	d Use or Zoning District - IC dscape Area Provided (exclusive of parking and bufferyard areas	26 845 SE	
anc		20,043 31	
	Landscape Standards (Sec. 71-105)		
	15 Trees Required per Area of Net Lot Area 15 Trees x 5.30 Acre	:	80 Trees Required
	8 Existing Palms counted 2 for 1 =	4 🔨	
	19 Proposed Palms counted 2 for 1 =		
	1 Existing Trees counted 1:1 = 24 Proposed Trees counted 1:1 =	724	
	7 Existing Street Trees counted 1:1 =	7	
	13 Proposed Street Trees counted 1:1 =	13	
	21 Proposed Parking Trees counted 1:1 = 2	21	A
		80	80 Trees Provided
•	Buffer Requirements (Sec. 71-183)		
	South Buffer	::	Not Required
	North Buffer - Parking Lot Adjacent to Right-of-Way (Sec. 71-1 Continuous Planting Required	•	Hedge Provided @ 36" HT / 48" O.C.
	1 Tree per 35 LF (Sec. 71-103)	::	4 Trees Provided
	East Buffer - Parking Lot Adjacent to Right-of-Way (Sec. 71-18 Continuous Planting Required		Hedge Provided @ 36" HT / 48" O.C.
	1 Tree per 35 LF (Sec. 71-103)		16 Trees Provided
	West Buffer		Not Required
	Landscape Areas in Parking Lots (Sec. 71-213)		
	 Landscape islands shall be placed at a minimum interval of te Each island shall have a minimum of one tree. (Sec. 71-213) Landscaping between rows shall have one tree for every 25 I A full curb shall surround the landscape island. (Sec. 71-213) 	4)) _F. (Sec. 71-213(5	
	10 SF of Landscaped Area within Parking Lot per Parking Spa 10 SF x 108 Exterior Stalls		1.080 SF Required 9,527 SF Provided
	1 Tree per 80 SF of Landscape Area within parking lot (exclusi	ve of parking lot bu	uffers)
	1,080 SF / 80	::	14 Trees Required 22 Trees Provided
_	Native Variety Requirements	(
	50% of trees must be Florida native species (Sec. 71-111)	·····	······
	52 OF 74 Trees Provided:	70% Native Pro	vided
	50% of shrubs must be Florida native species (Sec. 71-144) 2,095 OF 3,439 Shrubs Provided:	61% Native Pro	vided
<u>e</u> n	neral Notes:		
	All plant material sizes specified are considered minimum. All p be considered acceptable. <i>Contract growing of code dedicated r</i>		=
	 installation due to market conditions. Trees must be a minimum of 10' HT and have a minimum 2.5 beneath power lines. (Sec. 71-101) 	5" CAL at time of pl	anting, except street trees and trees located
	 Street Trees must have be a minimum of 14' HT with 4' CT a Parking Trees must have be a minimum of 14' HT with 4' CT Trees beneath power lines must be a minimum of 8' HT and 	and have a minimu have a minimum 1.	um 4" CAL at time of planting. (Sec 71-213) .5" CAL at time of planting. (Sec 71-103)
	 Palms must be a minimum of 14' HT or have a minimum 4" C Palms must be a minimum of 10' HT or have a minimum 3" (71-107) 	-	· · · · · · · · · · · · · · · · · · ·
	- Shrubs must be a minimum 18" HT and a minimum 36" HT for The heights of all tress and shrubs shall be measured from the formation and the state of	inal grade of the pr	roject site.
	Where necessary, the contractor shall install root barrier to prote requirements for root barrier installation. Plants installed pursuant to this Land Development Code shall compared to the contractor of the contractor of the contractor shall install root barrier to protect the contractor of the co		•
	provided in the most current edition of "Grades and Standards for agriculture and consumer services.		

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	NATIVE DESIGNATION	REMARKS
BL	BL	10	Bucida buceras 'Shady Lady'	Shady Lady Black Olive		2.5" CAL	10.0` HT	4`-5` SPR	NON-NATIVE	Full
CE	CE	24	Conocarpus erectus	Green Buttonwood		4" CAL	14.0` OA	4` SPR	NATIVE	Full w/ Good Branching Characteristics
{QV}	QV	26	Quercus virginiana	Southern Live Oak		4" CAL	18.0` OA	5' SPR	NATIVE	
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	NATIVE DESIGNATION	REMARKS
AMX	AMX	12	Adonidia merrillii	Christmas Palm			10.0` CT		NON-NATIVE	Heavy Straight Trunk; Matched Heights
ROX	ROX	2	Roystonea regia	Royal Palm			18.0` GW		NATIVE	
\$P10	SP10	3	Sabal palmetto	Cabbage Palmetto	Field Grown		10.0° CT		NATIVE	FULL, SINGLE STRAIGH TRUNK, SMOOTH TRUN
ۍر \$18ٍ	SP18	2	Sabal palmetto	Cabbage Palmetto	Field Grown		18.0° CT		NATIVE	FULL, SINGLE STRAIGH TRUNK, SMOOTH TRUI

PLANT S	CHE	DULE								
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPR	NATIVE	MAX. MAINT. SIZE	REMARKS
0	СНІ		Chrysobalanus icaco 'Green Tip'	Green Tip Coco Plum	7 Gal.	36" HT	18" SPR	NATIVE	36"	Full, Plant as Hedge
\odot	HIB	20	Hibiscus rosa-sinensis `Seminole Pink`	Seminole Pink Hibiscus	3 gal	24" HT		NON-NATIVE	36"	FULL
٥	TJC	5	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	10 Gal.	6.0` OA	3` SPR	NON-NATIVE		FULL; TRELLIS GROWN; ALLOW GROWTH ON SABAL TRUNKS
	SHRUBS	SHRUBS CODE CHI HIB	SHRUBS CODE QTY CHI 402 HIB 20	CHI 402 Chrysobalanus icaco 'Green Tip' HIB 20 Hibiscus rosa-sinensis `Seminole Pink`	SHRUBS CODE QTY BOTANICAL NAME CHI 402 Chrysobalanus icaco 'Green Tip' Green Tip Coco Plum HIB 20 Hibiscus rosa-sinensis `Seminole Pink` Seminole Pink Hibiscus	SHRUBS CODE QTY BOTANICAL NAME COMMON NAME CONT CHI 402 Chrysobalanus icaco 'Green Tip' Green Tip Coco Plum 7 Gal. HIB 20 Hibiscus rosa-sinensis `Seminole Pink` Seminole Pink Hibiscus 3 gal	SHRUBS CODE QTY BOTANICAL NAME COMMON NAME CONT HT CHI 402 Chrysobalanus icaco 'Green Tip' Green Tip Coco Plum 7 Gal. 36" HT HIB 20 Hibiscus rosa-sinensis `Seminole Pink` Seminole Pink Hibiscus 3 gal 24" HT	SHRUBS CODE QTY BOTANICAL NAME COMMON NAME CONT HT SPR CHI 402 Chrysobalanus icaco 'Green Tip' Green Tip Coco Plum 7 Gal. 36" HT 18" SPR HIB 20 Hibiscus rosa-sinensis `Seminole Pink` Seminole Pink Hibiscus 3 gal 24" HT	SHRUBS CODE QTY BOTANICAL NAME COMMON NAME CONT HT SPR NATIVE CHI 402 Chrysobalanus icaco 'Green Tip' Green Tip Coco Plum 7 Gal. 36" HT 18" SPR NATIVE HIB 20 Hibiscus rosa-sinensis 'Seminole Pink' Seminole Pink Hibiscus 3 gal 24" HT NON-NATIVE	SHRUBS CODE QTY BOTANICAL NAME COMMON NAME CONT HT SPR NATIVE MAX. MAINT. SIZE CHI 402 Chrysobalanus icaco 'Green Tip' Green Tip Coco Plum 7 Gal. 36" HT 18" SPR NATIVE 36" HIB 20 Hibiscus rosa-sinensis `Seminole Pink` Seminole Pink Hibiscus 3 gal 24" HT NON-NATIVE 36"

SHRUB	AREAS	CODE	~QTY~~	BOTANICAL NAME	COMMON NAME	CONT	HT	SPR	NATIVE	MAX. MAINT. SIZE	SPACING	REMARKS
		FIM	1,268	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	5 Gal.	18" HT		NON-NATIVE	24"	24" o.c.	Full
++++++ ++++++ ++++++++++++++++++++++++	++++++++++++++++++++++++++++++++++++++	HAP		Hamelia patens	Fire Bush	3 gal	24" HT	18" SPR	NATIVE		36" o.c.	Full
+ + + + +	+`+`+`+`+\+\+ `+`+\+\+\+\ + _` + _\ + _\ + _\ +	IVS	810	llex vomitoria 'Schillings Dwarf'	Schillings Dwarf Yaupon Holly	5 Gal.	18" HT		NATIVE	24"	24" o.c.	Full
		SCA	56	Schefflera arboricola `Trinette`	Variegated Schefflera	3 gal	24" HT		NON-NATIVE	24"-30" HT	24" o.c.	FULL
		SPB	832	Spartina bakeri	Sand Cord Grass	1 gal	24" HT		NATIVE		36" o.c.	FULL

PLANT SCH	HEDULE					
SOD/SEED.CO	DEQTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
SOE) 15,443 st	Stenotaphrum secundatum `Floritam`	Floritam St. Augustine Sod	SOLID SOD		FULL SOLID PANELS; TIGHT STAGGERED JOINTS; SAND JOINTS AND ROLL



Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.



Client/Project TESLA

Service Center Miami, TRT ID #32360

9950 NW 25th Street, Doral Florida 33172 File Name: LP601

Plant Schedule and

LDC Tabulations Project No. Scale

200713009 n/a Drawing No. Revision Sheet LP601

GENERAL NOTES

- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED. CALL 811 AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT. CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES, HAND EXCAVATE AS REQUIRED.
- IRRIGATION SYSTEM TO BE INSTALLED PER ALL APPLICABLE CODES, LAWS AND ORDINANCE, TYPICAL
- IRRIGATION SYSTEM TO BE INSTALLED PER FLORIDA BUILDING CODE APPENDIX F, PLUMBING, PROPOSED CONSTRUCTION BUILDING CODES FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS.
- INSTALL MAINLINE PIPE WITH A MINIMUM DEPTH OF 18" OF COVER IN NON-VECHICLAR AREAS AND WITHIN SLEEVES AT A MINIMUM DEPTH OF 24" OF COVER UNDER VEHICULAR AREAS. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. NOTE THESE ARE MINIMUM REQUIREMENTS THAT APPLY TO PIPE 3" AND LESS IN SIZE. SEE FDOT REQUIREMENTS AND FLORIDA BUILDING CODE APPENDIX F, WHICH REFERENCES SOIL CONSERVATION SERVICE CODE 403-DD. WHERE APPLICABLE CODE REQUIREMENTS EXCEED THE ABOVE REQUIREMENTS ALL APPLICABLE CODE REQUIREMENTS INCLUDING BUT NOT LIMITED TO, FDOT, SCS CODE 403-DD, AND THE FLORIDA BUILDING CODE APPENDIX F SHALL TAKE PRECEDENCE.
- SLEEVES SHALL BE PLACE UNDER PAVEMENT AS SHOWN ON PLANS AND SHALL BE A MINIMUM OF 2X THE SIZE OF THE IRRIGATION PIPE
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. THE SMALLEST LATERAL PIPE SIZE TO A SINGLE SPRAY OR ROTOR HEAD SHALL BE 3/4"
- ALL SOLVENT WELD JOINTS TO BE MADE IN COMPLIANCE WITH ASTM D2855 USING BOTH PRIMER AND GLUE
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE AND SHRUB LOCATIONS.
- WHERE POSSIBLE DO NOT TRENCH UNDER THE DRIPLINE / ROOT PLATE OF EXISTING TREES. SHOULD IT BE NECESSARY THE OWNERS REPRESENTATIVE MAY REQUIRE THE CONTRACTOR TO RELOCATE PROPOSED IRRIGATION WORK, BORE LINES BENEATH ROOTS, OR USE AN AIR SPADE TO DIG TRENCHES THROUGH AND UNDER ROOT THE ROOT SYSTEM. IF CUTTING ROOTS IS NECESSARY, ROOTS EQUAL TO OR GREATER THAN 3/4" MUST BE PRUNED. IN THE EVENT THAT ROOT PRUNING SHOULD BE REQUIRED, IT SHOULD BE DONE UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST AND MEET OR EXCEED ANSI A300 AND BEST MANAGEMENT PRACTICES AND BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODE LAWS AND ORDINANCES
- ALL SPRAY HEADS IN THE ROW/ ZONE SHALL BE EITHER 6" OR 12" POP-UP AS INDICATED ON THE PLANS
- ALL POP-UP SPRAY HEADS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE OR SWING JOINT CONNECTION. ALL ROTOR HEADS SHALL BE INSTALLED USING SWING JOINTS. CONTRACTOR SHALL NOT USE FUNNY PIPE
- ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATIO OR ROAD.
- ALL RISERS SHALL BE STAKED WITH A 1" P.T. WOOD DOWEL AND SECURED WITH UV RESISTANT PLASTIC CABLE TIES. RISERS AND DOWEL SHALL BE PAINTED FLAT BLACK WITH OUTDOOR UV
- 14. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO DETERMINE THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED ON SITE.
- ALL REMOTE CONTROL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER(S) SHALL BE APPROVED BY THE OWNER.
- CONTROL WIRE SHALL BE 14-1 UF DIRECT BURIAL, COMMON WIRE TO BE 12-1 UF DIRECT BURIAL. WIRES TO BE COLORED RED FOR CONTROL WIRES AND WHITE FOR COMMON WIRES. NO CROSS CONNECTION BETWEEN CONTROLLERS SHALL BE ALLOWED. WIRE SPLICES SHALL BE MADE ONLY IN VALVE BOXES USING RAINBIRD DBRY OR 3-M DBY WATERPROOF CONNECTORS.
- ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION. (BY OTHERS. NOT A PART OF THIS CONTRACT) THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CONNECTION FROM THE JUNCTION BOX TO ALL EQUIPMENT.
- RAIN SWITCH SHALL BE PLACED ON A STATIONARY STRUCTURE, WITH A MINIMUM CLEARANCE OF FIVE FEET (5') FROM EQUIPMENT, FREE OF OVERHEAD OBSTRUCTIONS AND ABOVE THE HEIGHT OF SPRINKLER COVERAGE.
- 20. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH, AND EXERCISE CARE SO AS TO NOT DAMAGE ANY EXISTING BERMS, WALLS, STRUCTURES, PLANT MATERIALS AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OR REPLACEMENT OF ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF SLEEVES AND PIPING THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.
- MAIN LINE AND VALVES SHOWN OUTSIDE THE PROPERTY LINE OR OUTSIDE OF A LANDSCAPE AREA ARE SHOWN THERE FOR DESIGN CLARITY ONLY. ALL MAIN LINE AND VALVES SHALL BE INSTALLED ON THE PROPERTY AND WITHIN LANDSCAPE AREAS.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS.
- CONTRACTOR SHALL PERFORM PRESSURE AND VOLUME TEST ON IRRIGATION WATER SOURCE OVER A CONTINUOUS 24 HOUR PERIOD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK. SHOULD THE AVAILABLE SUPPLY NOT BE ADEQUATE TO MEET THE DEMANDS OF THE IRRIGATION SYSTEM AS DESIGNED THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR DESIGN MODIFICATIONS.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES TO PROVIDE OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC. IN ORDER TO ACCOMPLISH THIS. THE CONTRACTOR MAY SUBSTITUTE VARIABLE ARC NOZZLES IN PLACE OF THE SPECIFIED FIXED ARC NOZZLES WHERE NECESSARY. PRESSURE COMPENSATING SCREENS MAY ALSO BE USED TO REDUCE SPRAY DISTANCE.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING FILE IN AN AUTOCAD FORMAT SHOWING THE IRRIGATION INSTALLATION AND PROVIDE BOTH THE CAD FILE AND A PDF TO THE OWNER. A CAD FILE OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE AS-BUILT DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. NOTE THIS IS A MINIMUM REQUIREMENT. CONTRACTOR TO PROVIDE AS-BUILT INFORMATION AS REQUIRED BY OWNER, CONTRACT AND/OR BY ANY AND ALL APPLICABLE CODES, LAWS AND STANDARDS AS REQUIRED.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- REMOVE ALL UNUSED AND ABANDONED IRRIGATION LINES AND EQUIPMENT.
- ALL VALVES TO BE LOCATED IN SHRUB AREAS AS OPPOSED TO TURF AREAS WHERE POSSIBLE.

SYSTEM PERFORMANCE NOTES

1) IRRIGATION SYSTEM AS SHOWN IS DESIGNED TO OPERATE OFF EXISTING IRRIGATION PUMP PROVIDING A MINIMUM FLOW OF 60 GPM AND A MINIMUM PRESSURE OF 65 PSI AT THE POINT OF CONNECTION.

CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION IF AVAILABLE FLOW AND PRESSURE DEVIATES FROM MORE THAN 5%, AND WILL AFFECT PERFORMANCE OF SYSTEM.

MINIMUM PRESSURE REQUIREMENTS-60 PSI AT POINT OF CONNECTION

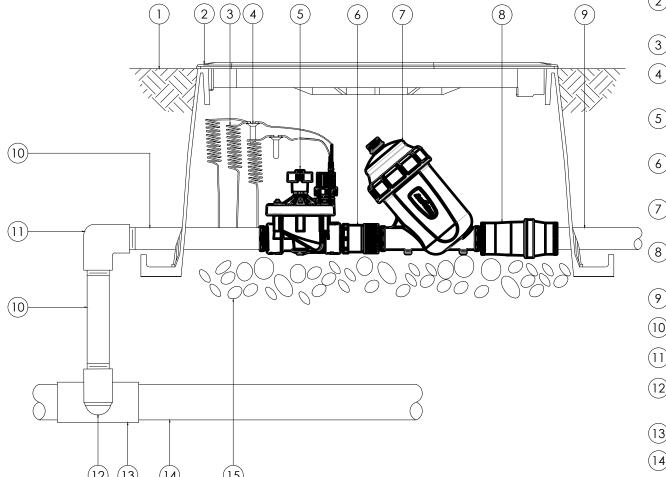
30 PSI AT BASE OF BUBBLERS 40 PSI AT BASE OF SPRAYS AND ROTATORS 45 PSI AT BASE OF ROTORS 55 PSI AT DRIP VALVES

- 2) HEAD LAYOUT BASED ON BASE INFORMATION PROVIDED. HEADS SHALL BE ADJUSTED TO ACCOMMODATE FIELD VARIATIONS WHILE MAINTAINING 100% HEAD TO HEAD COVERAGE AND MINIMIZING OVERSPRAY ONTO PAVED AREAS AND BUILDINGS.
- 3) LATERAL PIPE SHALL BE SIZED SO THAT WATER VELOCITY DOES NOT EXCEED 5 FEET PER SECOND. MAXIMUM GPM fFOR CLASS 200 PIPE SIZE WITH ALLOWANCES FOR FOR FIELD ADJUSTMENTS AND MINOR MODIFICATIONS AS FOLLOWS

3/4" PIPE	8 GPM
1" PIPE	12 GPM
1 1/4" PIPE	20 GPM
1 1/2" PIPE	28 GPM
2" PIPE	45 GPM
2 1/2" PIPE	62 GPM
3" PIPE	100 GPM

1/2" PIPE SHALL NOT BE USED FOR LATERAL PIPE EXCEPT FOR SHRUB RISERS

4) ALL ROTORS TO BE INSTALLED ON SWING JOINTS, PER MANUFACTURES SPECIFICATIONS AND RECOMMONDATIONS. ROTORS SHALL NOT BE INSTALLED ON FLEX PIPE.



(1) FINISH GRADE/TOP OF MULCH

(2) JUMBO VALVE BOX WITH PURPLE COVER: RAIN BIRD VBJMBPL

(3) 30-INCH LINEAR LENGTH OF WIRE, COILED

(4) WATERPROOF CONNECTION: RAIN BIRD DB SERIES

(5) 1 1/2" PESB-R VALVE (INCLUDED IN XCZ-150-LCDR

(6) 1 1/2" SCH 40 ADAPTER (MALE X FEMALE) INCLUDED IN XCZ-150-LCDR KIT

(7) 1 1/2" FILTER - RAIN BIRD LARGE CAPACITY DISC FILTER (INCLUDED IN XCZ-150-LCDR KIT)

(8) 1 1/2" HIGH FLOW PRESSURE REGULATOR (INCLUDED

(9) LATERAL PIPE

(10) PVC SCH 80 NIPPLE 1 1/2"

IN XCZ-150-LCDR KIT)

(11) PVC SCH 40 ELBOW

40 ELBOW

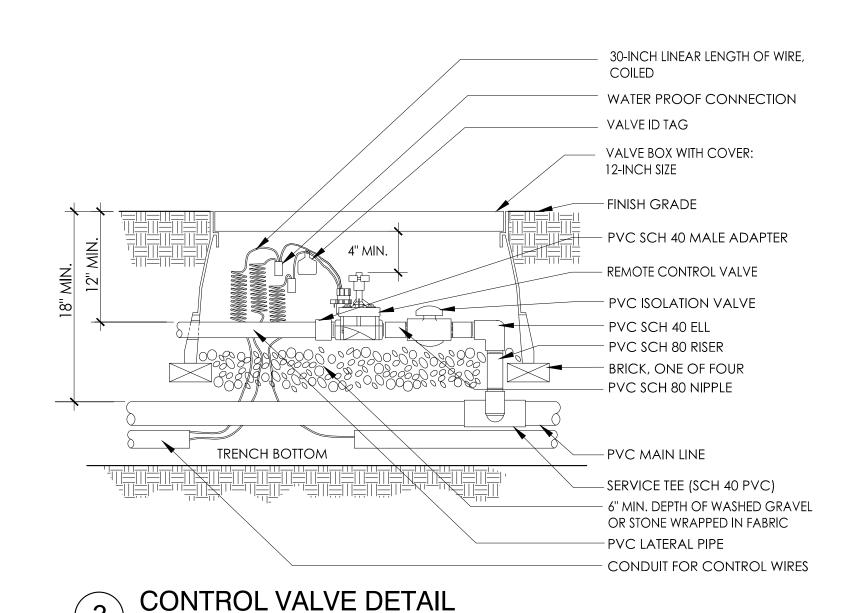
(12) PVC SCH 80 NIPPLE (2" LENGTH, HIDDEN) AND PVC

(13) PVC SCH 40 TEE OR ELBOW

(14) MAINLINE PIPE

(15) 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL





1800-15F-HF-VAN 1800-15TQ-HE-VAN 1800-15H-HF-VAN 1800-15Q-HE-VAN 12221-0081 1800-12F-HE-VAN 1800-12TQ-HE-VAN 1800-12H-HE-VAN 1800-12Q-HE-VAN 1800-10F-HE-VAN 1800-10TQ-HE-VAN 1800-10H-HE-VAN 1800-10Q-HE-VAN 1800-8F-HE-VAN 0.88 1800-8TQ-HE-VAN 1800-8H-HF-VAN 1800-8Q-HE-VAN

RADIUS

1800-5Q 1800-4V PLAN SYMBOLS LEGEND

SPRAY NOZZLE CHART

RAINBIRD MODEL

ALL WITH SAM-PRS

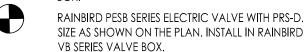
RAINBIRD 1806-SAM-PRS SERIES 6" POP-UP SPRAY HEAD

RAINBIRD 1402 SERIES PRESSURE COMPENSATING BUBBLER, 0.50 GPM AT 30 PSI

RAINBIRD WIDE FLOW COMMERCIAL CONTROL ZONE KIT WITH PRESSURE REGULATING BASKET FILTER. XCZ-100-PRB-COM, WITH 1" PESB VALVE, INSTALL IN

RAINBIRD VB SERIES VALVE BOX. RAINBIRD 1.5" INLINE COMMERCIAL CONTROL ZONE KIT WITH 40 PSI DISC FILTER XCZ-150-LCDR, WITH 1-1/2"

PESB VALVE, INSTALL IN RAINBIRD VB SERIES VALVE



IRRIGATION CONTROLLER LOCATION ESP-LXME2, 12 STATION MODULAR CONTROLLER, EXPAND CONTROLLER AS REQUIRED TO ACCOMMODATE ALL EXISTING AND NEW VALVES AND PUMP WITH ES-LXM-SM-12 STATION MODULES, INSTALL RAINBIRD RSD RAIN SHUTOFF FOR

CONTROLLER. INSTALL CONTROLLER IN RAINBIRD STAINLESS STEEL LXMSS ENCLOSURE. CONTROLLER REQUIRES POWER PER MANUFACTURERS SPECIFICATIONS, 120 VAC, ± 60Hz VERIFY POWER REQUIREMENTS WITH MANUFACTURER PRIOR TO CONSTRUCTION. INSTALL AND GROUND CONTROLLERS PER ALL MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS

2-1/2" SCHEDULE 40 PVC MAIN LINE

———— CLASS 200 PVC LATERAL LINE, SIZE AS SHOWN

3" OR LESS, SCHEDULE 40 / > 3", CLASS 200 PVC SLEEVE, MIN. 2 x SIZE OF THE PIPE

AINBIRD XFD-09-12 DRIPLINE WITH QF DRIPLINE HEADERS, NOTE INSTALL PER ALL MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. DO NOT EXCEED MAXIMUM DRIPLINE LATERAL LENGTHS TO BE STALLED IN 12" ROWS, SEE DETAILS.

NDICATES AREA WHERE EXISTING IRRIGATION SYSTEM S TO BE RENOVATED TO PROVIDE 100% HEAD TO HEAD COVERAGE AND ADJUSTED TO COVER NEW

IRRIGATION VALVE KEY

ZONE ID SIZE GPM

NOTES

1. IRRIGATION TO PROVIDE 100% HEAD TO HEAD COVERAGE 2. IRRIGATION TO BE SEPARATED INTO HYDROZONES SUCH THAT

ALL SOD AND SHRUB AREAS SHALL BE IRRIGATED SEPARATELY. 3. IRRIGATION TO BE INSTALLED PER THE FLORIDA BUILDING CODE APPENDIX F, PLUMBING, PROPOSED CONSTRUCTION BUILDING

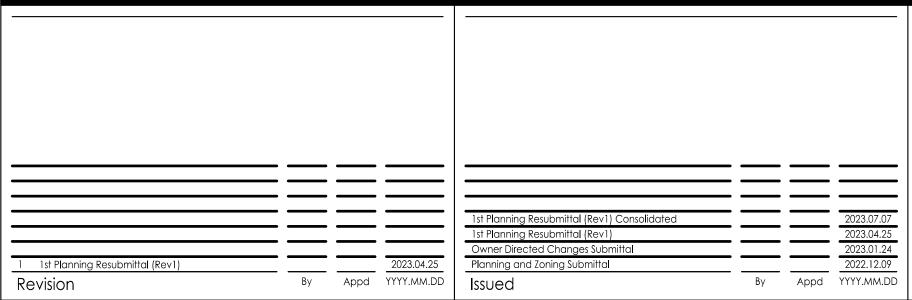
CODE FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS. 4. IRRIGATION TO BE INSTALLED PER ALL APPLICABLE CODES,

LAWS AND ORDINANCES. 5. IRRIGATION TO BE INSTALLED IN ACCORDANCE WITH ASTM

D2855 USING BOTH PRIMER AND GLUE. 6. MAINLINE ROUTE AND PROPOSED TREES AND PALMS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY THE

LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. 7. ROOTS EQUAL TO OR GREATER THAN 3/4" IN DIAMETER WITHIN

THE DRIP LINE / ROOT PLATE OF A TREE, MUST BE PRUNED. IN THE EVENT ROOT PRUNING IS NECESSARY, IT SHOULD BE DONE UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. PRUNING TO MEET OR EXCEED ANSI A300, TYPICAL.



Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Copyright Reserved

" DRIP CONTROL ZONE KIT

Permit/Seal

The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result

(1) FINISH GRADE/TOP OF MULCH

(2) VALVE BOX WITH COVER: RAIN BIRD VB-STD

(3) 30-INCH LINEAR LENGTH OF WIRE, COILED

(6) (INCLUDED IN CZK-100-PRB-LC KIT)

(INCLUDED IN CZK-100-PRB-LC KIT)

PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)

PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND

6-INCH MINIMUM DEPTH OF 3/4-INCH WASHED

PVC SCH 40 FEMALE ADAPTOR

7) PRB-100

LATERAL PIPE

PVC SCH 40 ELL

PVC SCH 40 TEE OR ELL

(12) PVC SCH 40 ELL

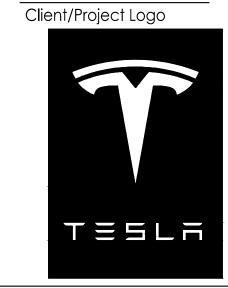
MAINLINE PIPE

GRAVEL

(4) WATERPROOF CONNECTION: RAIN BIRD DB SERIES

REMOTE CONTROL VALVE: RAIN BIRD 100-PGA

PRESSURE REGULATING BASKET FILTER: RAIN BIRD



Client/Project **TESLA**

Service Center Miami, TRT ID #32360

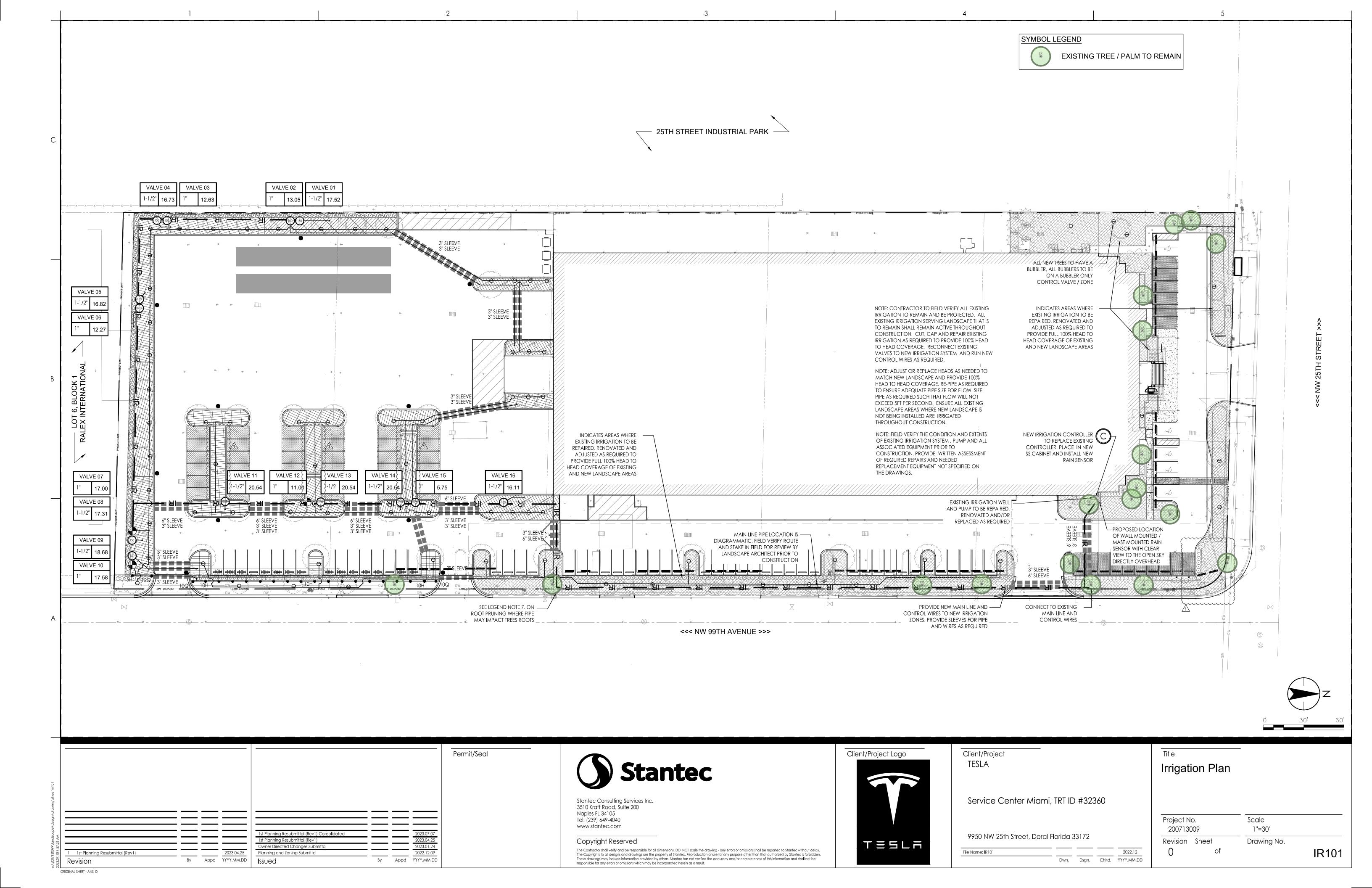
9950 NW 25th Street, Doral Florida 33172

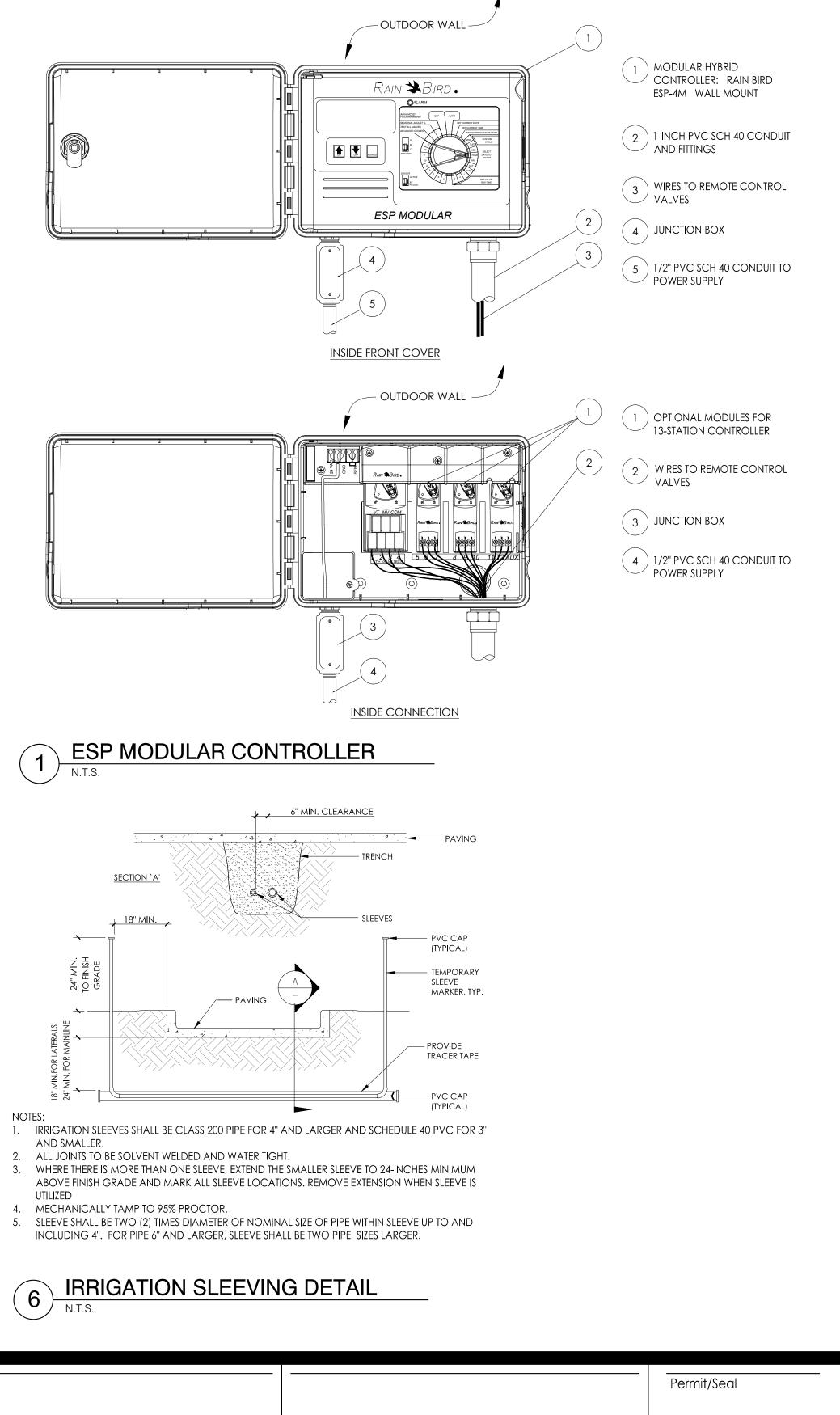
File Name: IR000 2022.12 Dwn. Dsgn. Chkd. YYYY.MM.DD

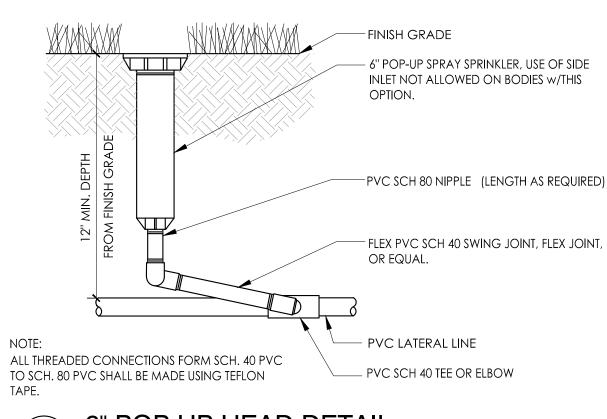
Irrigation Notes and Details

Project No. Scale 200713009 as shown

Revision Sheet Drawing No. IR000





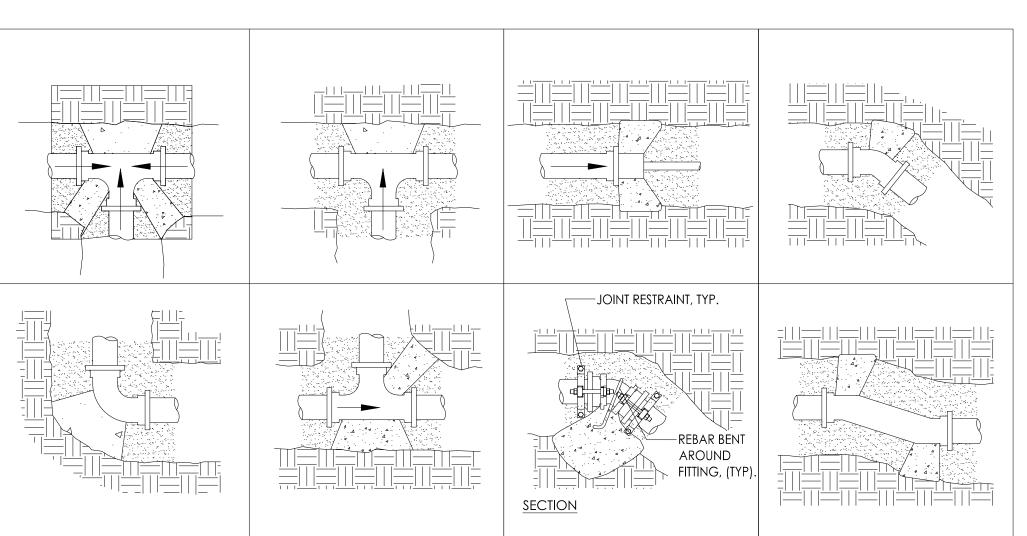


6" POP UP HEAD DETAIL

DRIPLINE NOTES

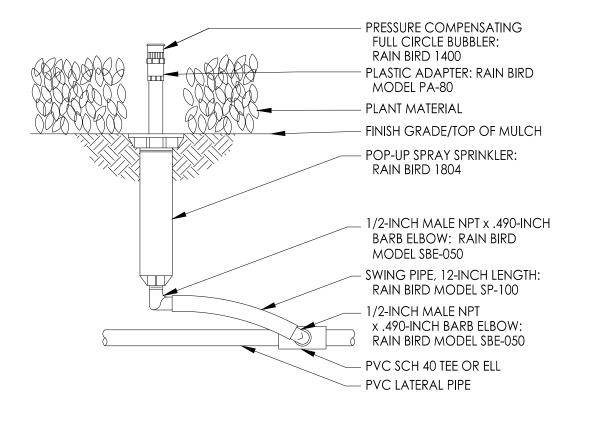
- 1. DO NOT EXCEED MANUFACTURERS RECOMMENDED MAXIMUM DRIPLINE LATERAL LENGTHS, PROVIDE HEADER AND FOOTER PIPE PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS
- 2. INSTALL RAINBIRD DRIPLINE USING RAINBIRD EASY FIT COMPRESSION FITTINGS.
- 3. INSTALL A RAINBIRD MDCFCAP EASY FIT FLUSH CAP AT THE END OF ALL LATERAL RUNS.
- 4. INSTALL A GATE VALVE AFTER EACH LOW VOLUME CONTROL VALVE
- 5. INSTALL RAINBIRD XFD OPERATION INDICATOR ON EACH ZONE PER ALL MANUFACTURERS
- RECOMMENDATIONS AND SPECIFICATIONS 6. ALL VALVES, PIPES AND HEADS TO BE PLACED WITHIN LANDSCAPE AREAS WHEN EVER POSSIBLE. UNLESS CROSSING FROM ONE LANDSCAPE AREA TO ANOTHER PIPE AND EQUIPMENT IS SHOWN IN PAVED AREAS FOR CLARITY ONLY.
- 7. DRIP TUBING LAYOUT TO BE PER ALL MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- FLOWS INDICATED FOR VALVES ARE ESTIMATED BASED UPON THE DRAWINGS, ACTUAL FLOW MAY VARY. AT NO TIME SHOULD THE FLOW WITHIN THE PVC LATERALS EXCEED 5 FEET PER SECOND.

DRIP LINE NOTES

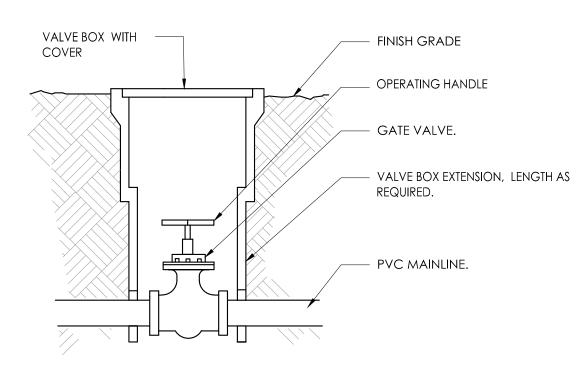


- 1. THRUST BLOCKS ARE TO BE CONSTRUCTED WITH 3,000 PSI CONCRETE AT 48 HRS. THRUST BLOCKS TO BE A MIN. OF 6" THICK. STEEL REINFORCING RODS WILL BE REQ'D IF SURROUNDING SOIL HAS A BEARING VALUE OF LESS THAN 2,000 PSF.
- 2. THRUST BLOCKS REQUIRED AT ALL FITTINGS AND DIRECTION CHANGES ON MAIN LINES
- 3. NOTE THRUST BLOCK LOCATIONS ON AS-BUILT DRAWINGS.
- 4. CONTROL WIRES SHALL NOT BE INCASED IN CONCRETE.
- 5. ARROWS INDICATE PRIMARY DIRECTION OF FLOW.



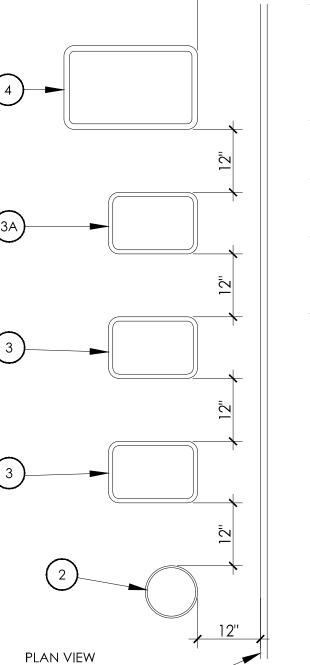


POP UP BUBBLER DETAIL



SIZE GATE VALVE TO MATCH MAINLINE SIZE

GATE VALVE



LEGEND

- EDGE OF LAWN, WALK, FENCE, CURB, ETC.
- 10" DIAMETER ROUND VB SERIES VALVE BOX BY RAINBIRD OR APPROVED EQUAL. (QUICK COUPLER VALVE).
- STANDARD RECTANGULAR VB SERIES VALVE BOX BY RAINBIRD OR APPROVED EQUAL. (ELECTRIC REMOTE CONTROL VALVE).
- 3A. 12" X 18" RECTANGULAR VALVE BOX BY CARSON OR APPROVED EQUAL. (ELECTRICAL PULL BOX AND SPLICE BOX).
- JUMBO RECTANGULAR VB SERIES VALVE BOX BY RAINBIRD OR APPROVED EQUAL. (AIR RELIEF VALVE AND GATE VALVE).

- CENTER VALVE BOX OVER VALVE TO FACILITATE SERVICING OF VALVE.
- SET VALVE BOX AND VALVE ASSEMBLY IN GROUNDCOVER/SHRUB AREA WHERE POSSIBLE, INSTALL IN TURF ONLY IF THERE IS NO ADJACENT SHRUB OR GROUNDCOVER BEDS.
- VALVE BOXES TO BE SET:
- a. 2" MAXIMUM ABOVE GRADE IN MULCH COVER OR GROUNDCOVER/SHRUB AREAS.
- b. 1" ABOVE FINISH GRADE IN TURF AREAS.
- SET VALVE BOXES PARALLEL TO ONE ANOTHER AND PERPENDICULAR TO EDGE OF PAVEMENT OR BUILDING.
- AVOID HEAVY COMPACTION OF SOIL AROUND VALVE BOXES TO PREVENT THEIR DEFORMATION/COLLAPSE.

VALVE BOX ALIGNMENT



Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.



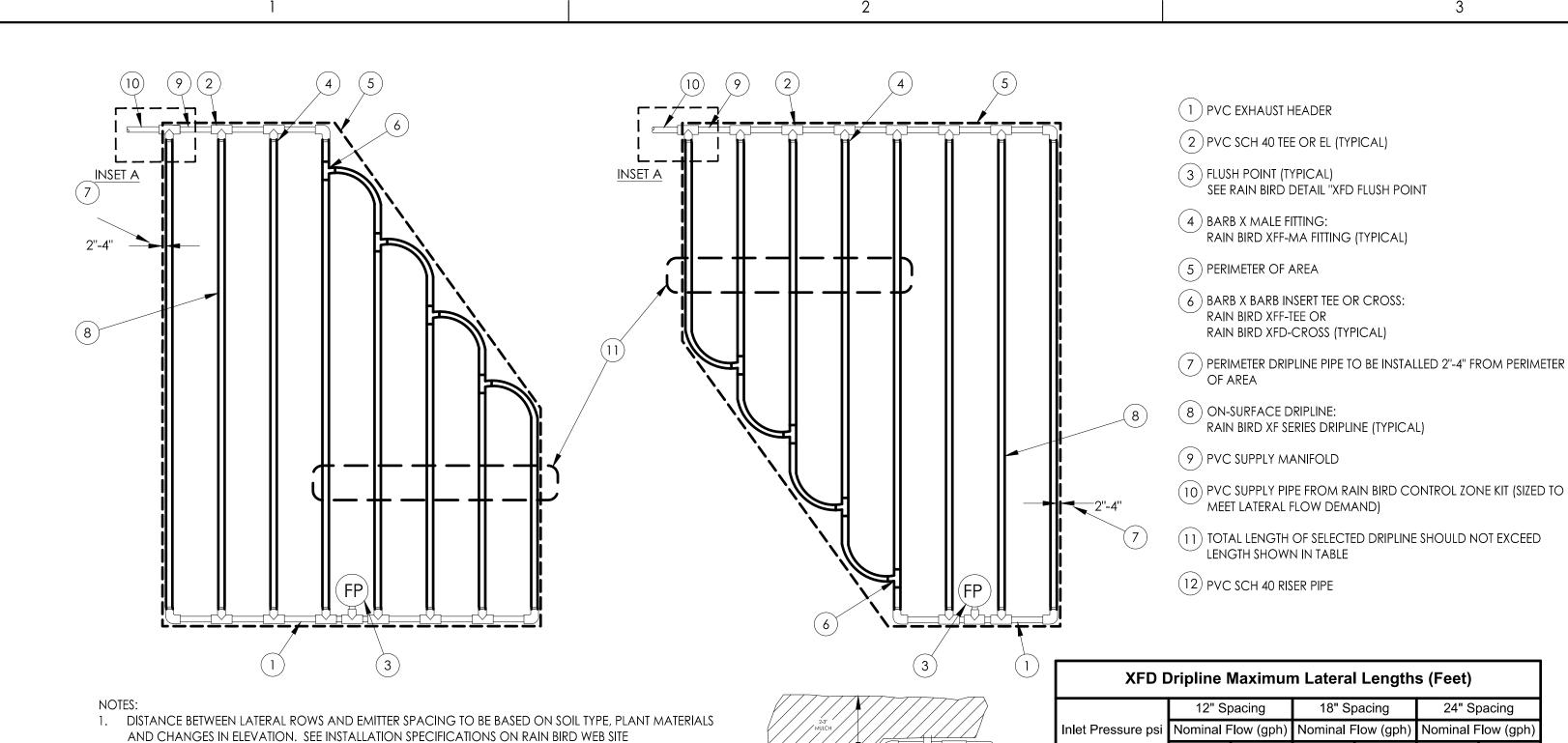
Client/Project TESLA

Service Center Miami, TRT ID #32360

9950 NW 25th Street, Doral F	Iorida 3	33172		
File Name: IR501				2022.12
	Dwn.	Dsgn.	Chkd.	YYYY.MM.DD

Irrigation Details

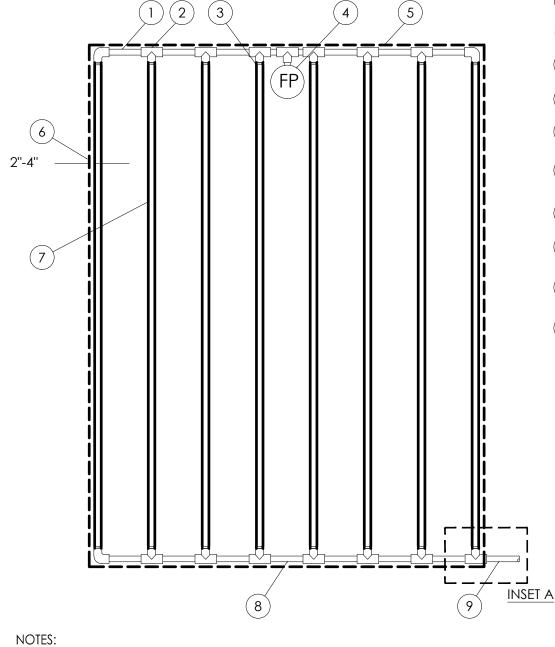
Project N 2007130		Scale as shown	
Revision 0	Sheet of	Drawing No.	IR501



Permit/Seal

INSET A

(10)(2)(9)



1 PVC EXHAUST HEADER (2) PVC SCH 40 TEE OR EL (TYPICAL) (3) BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL) (4) FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFD FLUSH POINT" (5) PERIMETER OF AREA 6 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA (7) ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE

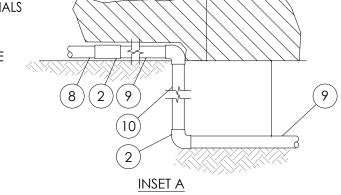
(8) PVC SUPPLY HEADER

9 PVC DRIP MANIFOLD FROM RAIN BIRD CONTROL ZONE VALVE KIT (SIZED TO MEET LATERAL FLOW DEMAND)

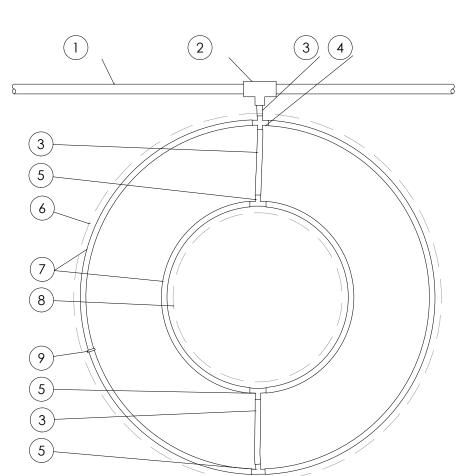
(10) PVC SCH 40 RISER PIPE

XFD [XFD Dripline Maximum Lateral Lengths (Feet)												
	12" Sp	pacing	18" Sp	pacing	24" Sp	pacing							
nlet Pressure psi	Nominal Flow (gph)		Nominal F	low (gph)	Nominal F	low (gph)							
	0.6	0.9	0.6	0.9	0.6	0.9							
15	273	155	314	250	424	322							
20	318	169	353	294	508	368							
30	360	230	413	350	586	414							
40	395	255	465	402	652	474							
50	417	285	528	420	720	488							
60	460	290	596	455	780	514							

- 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
- 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
- WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.



ON SURFACE END FEED LAYOUT



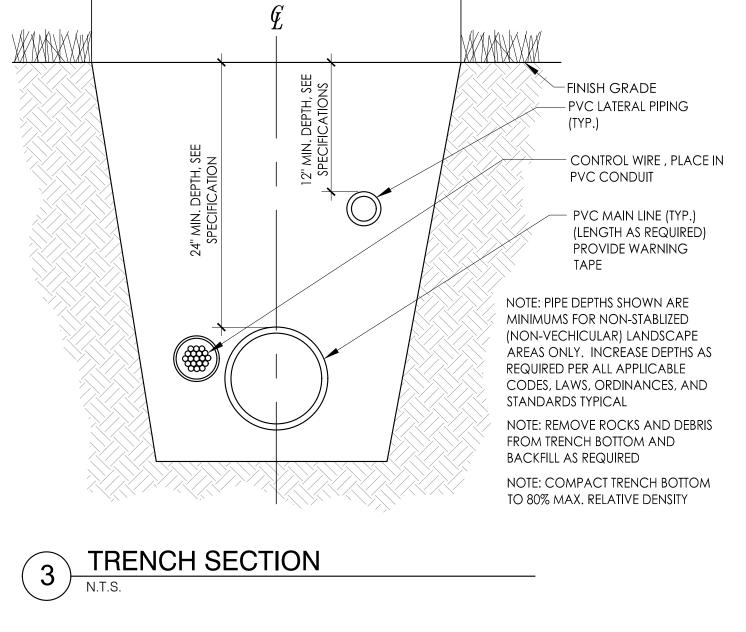
- (1) PVC DRIP MANIFOLD PIPE
- (2) PVC SCH 40 TEE OR EL
- (3) RAIN BIRD XF SERIES BLANK TUBING
- BARB CROSS INSERT FITTING: RAIN BIRD XFD-CROSS
- 5 BARB TEE INSERT FITTING: RAIN BIRD XFF-TEE
- (6) PROJECTED CANOPY LINE OF TREE
- ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE. PLACE AS SHOWN (LENGTH AS REQUIRED)
- (8) ROOT BALL
- 9 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (QUANTITY AS REQUIRED TO NOTES 2-3 BELOW)

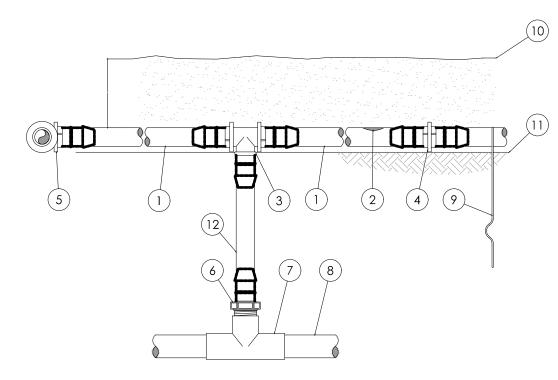
- DISTANCE BETWEEN LATERAL RINGS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, AND TREE CANOPY. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
- PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.



Client/Project

File Name: IR501





0.6 0.9

155

169

230

255

285

290

273

318

360

395

417

460

15

20

30

40

50

60

0.6

314

353

413

465

528

596

0.9

250

294

350

402

420

455

1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM,

AND FIVE FEET IN CLAY. 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF

SAVE YOUR HANDS. USE THE RAIN BIRD FITTINS-TOOL XF INSERTION TOOL FOR FITTING ASSEMBLY.

DRIPLINE RISER ASSEMBLY



Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Copyright Reserved

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.

0.6 0.9

322

368

414

474

488

514

ON-SURFACE DRIPLINE:

BARB TEE 17x17x17mm
RAIN BIRD XFF-TEE

6 BARB MALE ADAPTER 17mm X 1/2" MPT

7 PVC TEE SxSxT

(11) FINISH GRADE

(10) MULCH

RAIN BIRD XF SERIES DRIPLINE

for dripline outlet spacing.

BARB COUPLING 17x17mm RAIN BIRD XFF-COUP

5 BARB ELBOW 17x17mm RAIN BIRD XFF-ELBOW

RAIN BIRD XFF-MA-050

RAIN BIRD XFF-MA-075

(8) PVC LATERAL SUPPLY HEADER

9 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYPICAL)

RAIN BIRD XF SERIES BLANK TUBING LENGTH AS REQUIRED

17mm X 3/4" MPT

INLINE DRIP EMITTER OUTLET, SEE PLANS

POTABLE: XFD DRIPLINE

424

508

586

652

720

780



TESLA

Service Center Miami, TRT ID #32360

9950 NW 25th Street, Doral Florida 33172

Irrigation Details

Scale Project No. 200713009 as shown Revision Sheet Drawing No. IR502 of 2022.12 Dwn. Dsgn. Chkd. YYYY.MM.DD

Revision ORIGINAL SHEET - ANSI D

1st Planning Resubmittal (Rev1)

(WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.

STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE

WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT

ON SURFACE IRREGULAR LAYOUT

TWICE THE PIPE | DIAMETER - 6" MIN.

By Appd YYYY.MM.DD

t Plannina Resubmittal (Rev)

Issued

Appd YYYY.MM.DD

 Γ — — \neg INSET A (3) RAIN BIRD XFF-MA FITTING (TYPICAL)

1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.

- 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
- 3. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY. 4. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES
- ON EACH LEG OF THE CHANGE OF DIRECTION. 5. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

1 PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)

(2) PERIMETER OF AREA

PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA

(4) PVC SUPPLY MANIFOLD

(5) PVC SCH 40 TEE OR EL (TYPICAL)

BARB X MALE FITTING:

ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE (TYPICAL), POTABLE: XFD DRIPLINE

(8) BARB X BARB INSERT TEE: RAIN BIRD XFF-TEE (TYPICAL)

7 TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE

(10) PVC FLUSH HEADER

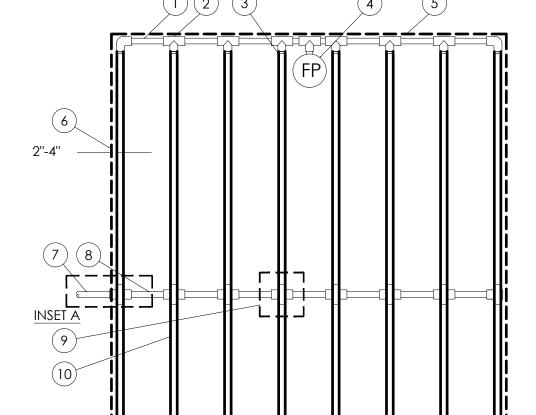
(11) FLUSH POINT: SEE RAIN BIRD DETAIL "XFD FLUSH POINT"

(12) PVC RISER PIPE

(13) 2"-3" DEPTH OF MULCH

(14) FINISH GRADE

XFD Dripline Maximum Lateral Lengths (Feet)												
	12" Sp	pacing	18" Sp	pacing	24" S _l	pacing						
Inlet Pressure psi	Nominal Flow (gph)		Nominal F	low (gph)	Nominal Flow (gph)							
	0.6	0.9	0.6	0.9	0.6	0.9						
15	273	155	314	250	424	322						
20	318	169	353	294	508	368						
30	360	230	413	350	586	414						
40	395	255	465	402	652	474						
50	417	285	528	420	720	488						
60	460	290	596	455	780	514						



(WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.

STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

ACCOMPANYING TABLE.

1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT

MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE

2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE

3. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT

ON SURFACE CENTER FEED LAYOUT

(1) PVC EXHAUST HEADER

(2) PVC SCH 40 TEE OR EL (TYPICAL)

BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)

FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFD FLUSH POINT"

(5) PERIMETER OF AREA

6 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA

7 PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)

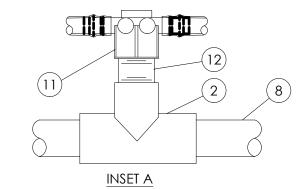
(8) PVC SUPPLY MANIFOLD

9 CONNECTION FROM SUPPLY MANIFOLD TO DRIPLINE ✓ (TYPICAL) SEE INSET A.

ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE (TYPICAL)

(11) BARB X FEMALE FITTING: RAIN BIRD XFD-TFA-075 FITTING

(12) 3/4" PVC NIPPLE, LENGTH AS NECESSARY



XFD Dripline Maximum Lateral Lengths (Feet)								
Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing			
	Nominal Flow (gph)		Nominal Flow (gph)		Nominal Flow (gph			
	0.6	0.9	0.6	0.9	0.6	0.9		
15	273	155	314	250	424	322		
20	318	169	353	294	508	368		
30	360	230	413	350	586	414		
40	395	255	465	402	652	474		
50	417	285	528	420	720	488		
60	460	290	596	455	780	514		
•								

RAIN BIRD MDCFTEE

RAIN BIRD XF SERIES DRIPLINE POTABLE: XFD DRIPLINE

NON-POTABLE: XFDP DRIPLINE

ON SURFACE ODD CURVES LAYOUT



(2) (3)

EASY FIT COMPRESSION TEE: EASY FIT COMPRESSI RAIN BIRD MDCFTEE

> ON-SURFACE DRIPLINE: 2 RAIN BIRD XF SERIES DRIPLINE

(3) INLINE DRIP EMITTER OUTLET

TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYPICAL)

(5) MULCH

6 FINISH GRADE

7 RAIN BIRD XF SERIES BLANK TUBING

8 RATCHET CLAMP (INCLUDED WITH ADAPTER)

INSERT ADAPTER FOR PVC PIPE: 9 RAIN BIRD XFD-INVPC

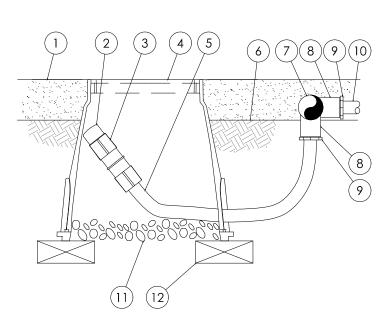
PVC LATERAL PIPE MINIMUM 1½" IN DIAMETER

FOR 1-1/2" OR LARGER PVC

1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE

FEET IN CLAY. 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.





Permit/Seal

FOR 1-1/2" OR LARGER PVC

BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.

(6) FINISH GRADE (8) PVC SCH 40 TEE OR EL

ALLOW A MINIMUM OF 6-INCHES OF DRIPLINE TUBING IN VALVE (11) 3-INCH MINIMUM DEPTH OF 3/4" WASHED GRAVEL

1 MULCH 2) FLUSH CAP FOR EASY FIT COMPRESSION FITTINGS: POTABLE:RAIN BIRD MDCFCAP NON-POTABLE: RAIN BIRD MDCFPCAP (3) EASY FIT COUPLING: RAIN BIRD MDCFCOUP

(4) SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB

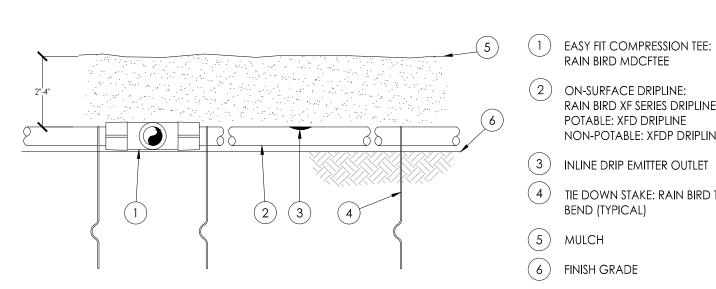
(5) RAIN BIRD XF BLANK TUBING

7 PVC EXHAUST HEADER

9 BARB X MALE FITTING: RAIN BIRD XFF-MA FITTING (TYPICAL)

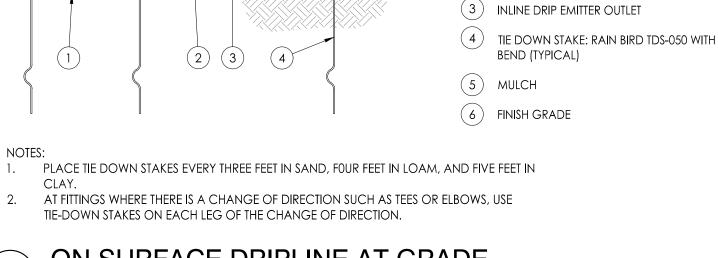
ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE

ON SURFACE FLUSH POINT

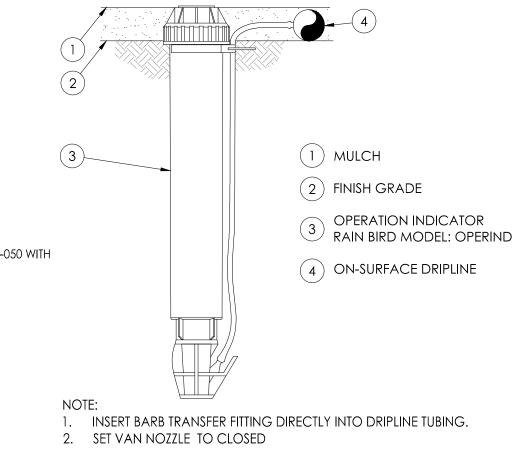


1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN

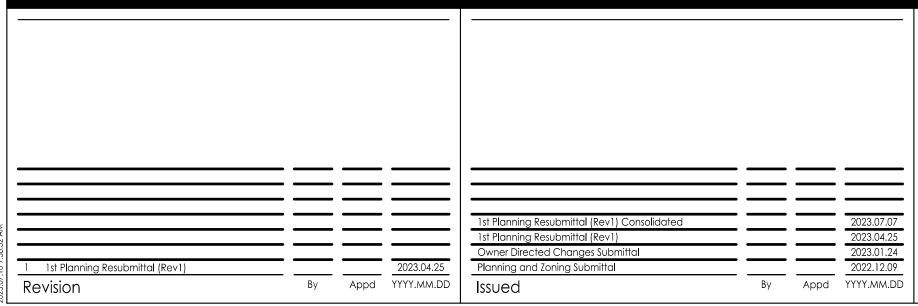
ON SURFACE DRIPLINE AT GRADE



Client/Project



DRIP OPERATION INDICATOR





Stantec Consulting Services Inc. 3510 Kraft Road, Suite 200 Naples FL 34105 Tel: (239) 649-4040 www.stantec.com

Copyright Reserved The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden. These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.



TESLA

Service Center Miami, TRT ID #32360

9950 NW 25th Street, Doral Florida 33172 2022.12 File Name: IR501

Irrigation Details

	Project No. 200713009	Scale as shown
lorida 33172	Revision Sheet	Drawing No.
	O of	IR503